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Attorneys at Law

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nmacphee@freemanlawgroup.com
Tel. (508) 362-4700 ext 3

HAND DELIVERED

January 24, 2024

Paul Fowler, Building Commissioner
Town of Dennis
685 Route 134
South Dennis, MA 02660

Re: 1 Love Lane – Housing Assistance Corporation
Application for Planning Board Special Review by Planning Board for
Dover Amendment Exempt Property

Dear Mr. Fowler:

I represent Housing Assistance Corporation in connection with the above-referenced property. On September 8, 2023 you issued your written determination that the proposed Family Shelter Program and Educational Use to be operated at this facility is a Dover Amendment exempt use. See copy attached hereto as Exhibit 1 and incorporated herein by reference. Said determination indicated that my client must obtain “Planning Board Special Review pursuant to Section 2.2.2 of the Town of Dennis Zoning Bylaws.”

Due to the fact that there are no provisions or explanations in the Zoning Bylaws or elsewhere as to the process for such Special Review, I spoke to you and you indicated that I should apply for informal Staff Review followed by a meeting with the Planning Board. Also, you indicated that I should file utilizing the E-Permitting section on the Town website, even though there is no category listed for “Special Review.” I tried filing on said website, but to no avail. Therefore, this letter and attached Exhibits constitute Housing Assistance Corporation’s application for Planning Board Special Review, preceded by informal Staff Review.

The following additional materials are attached hereto and incorporated herein by reference in support of this application, which is for the Family Shelter Program and Educational Use described in Exhibit 1 listed below, with 79 proposed bedrooms:

1. Exhibit 2: My July 12, 2023 Memorandum to you and the Dennis Town Planner describing the proposed Family Shelter Program and Educational Use, including the Exhibits A through G that were made a part of said Memorandum;
2. Exhibit 3: Drawings prepared by Catalyst Architects dated January 19, 2024 showing existing floor plans, demolition plans, and proposed floor plans, as follows (11” X 14” and 8” X 11”):

Cover Sheet

D1-N 1ST Floor North Wing Existing Conditions-Demo Plan

D1-S 1ST Floor South Wing Existing Conditions-Demo Plan

D2-N 2nd Floor North Wing Existing Conditions-Demo Plan

D2-S 2nd Floor South Wing Existing Conditions-Demo Plan

A1-N 1ST Floor North Wing Proposed Floor Plan

A1-S 1ST Floor South Wing Proposed Floor Plan

A2-N 2nd Floor North Wing Proposed Floor Plan

A2-S 2nd Floor South Wing Proposed Floor Plan; and

3. Exhibit 4 Site Plan dated October 16, 1996 (2 sheets).

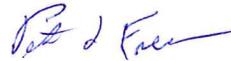
No exterior changes are being proposed.

I would greatly appreciate it if you could schedule this application for the informal Staff Review and then for a Planning Board meeting.

Please feel free to contact me with any questions.

Thank you.

Very truly yours,



Peter L. Freeman

cc: Alisa Magnotta, President and Chief Executive Director of Housing Assistance Corporation
Kurt Raber, Catalyst Architects
Keith Trott, Housing Assistance Corporation



Exhibit 1

SUBMITTAL SUMMARY REPORT (ZP-022514-2023) FOR TOWN OF DENNIS

PERMIT ADDRESS: 1 LOVE LANE
SD,

PARCEL: 168-9-0

APPLICATION DATE: 08/22/2023

SQUARE FEET: 0

DESCRIPTION: Dover Amendment Use

EXPIRATION DATE:

VALUATION: \$0.00

CONTACTS

NAME

COMPANY

ADDRESS

Applicant

Nancy MacPhee

Freeman Law Group LLC

86 Willow Street
Yarmouthport, MA 02675

Peter L. Freeman

Freeman Law Group LLC

Owner

ONE LOVE LANE SOUTH DENNIS, LLC 45 BROADWAY
NEW YORK, NY 10006

SUBMITTAL

STARTED

DUE

COMPLETE

STATUS

Building Review v.1

08/24/2023

09/08/2023

08/29/2023

Approved

SUBMITTAL DETAILS

Building Review v.1

ITEM REVIEW NAME (DEPARTMENT)

ASSIGNED TO

DUE

COMPLETE

STATUS

Building (Building)

Paul Fowler

09/08/2023

08/29/2023

Complete

Health (Health)

Kristen Keller

09/08/2023

08/29/2023

Complete

Natural Resources (Conservation - DNR)

Erin Burnham

09/08/2023

08/25/2023

Complete

Comments

Not in conservation jurisdiction

Zoning (Building)

Paul Fowler

08/24/2023

08/29/2023

Complete

Comments

Conversion of an existing Health Care facility to a Family Shelter program and Educational use. The use is exempt and authorized after Planning Board Special Review pursuant to section 2.2.2 of the Town of Dennis Zoning Bylaws.

Housing Assistance Corp.

1 Love Lane, Dennis, MA



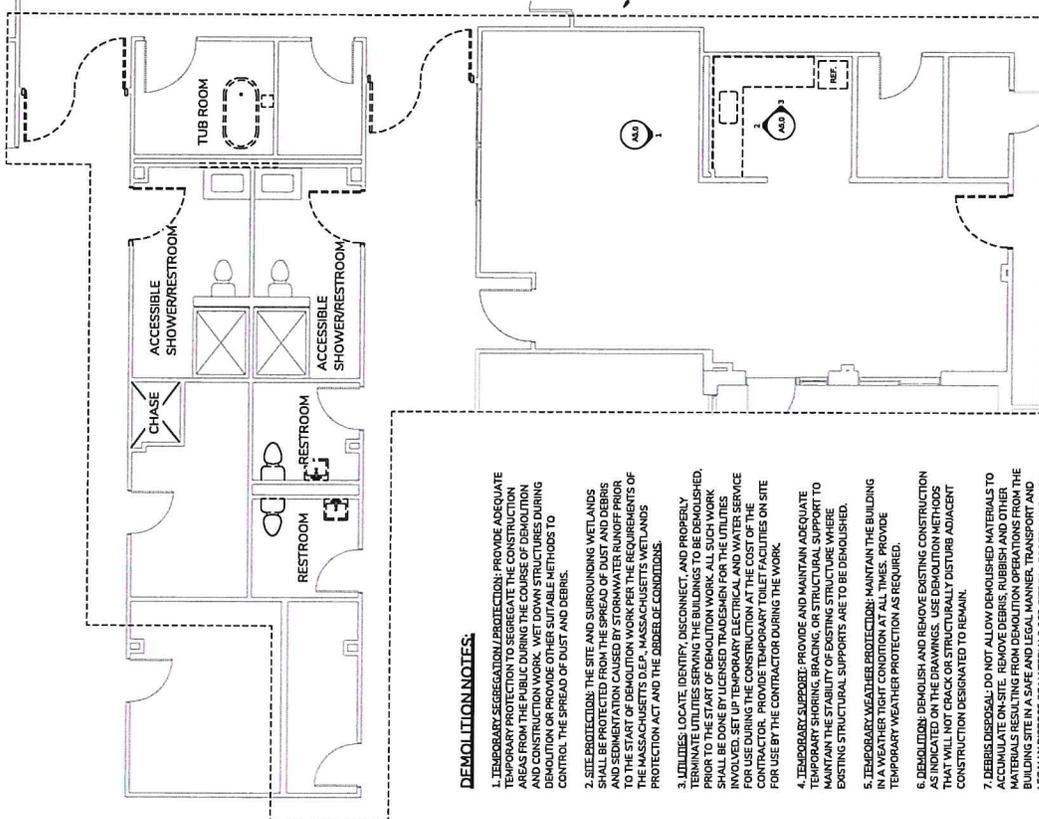
Catalyst
Architecture Interiors

Where visions take shape

203 WILLOW STREET, SUITE A, YARMOUTHPORT, MA 02675
P. 508-362-8382 WWW.CATALYSTARCHITECTS.COM

01/19/2024

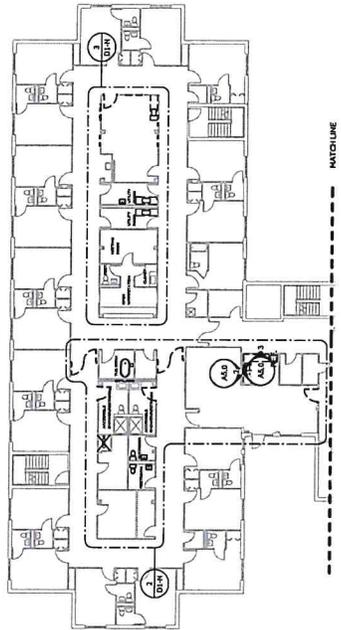
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SUBMITTED WITH
APPROVED BOARD FOR
SPECIAL REVIEW



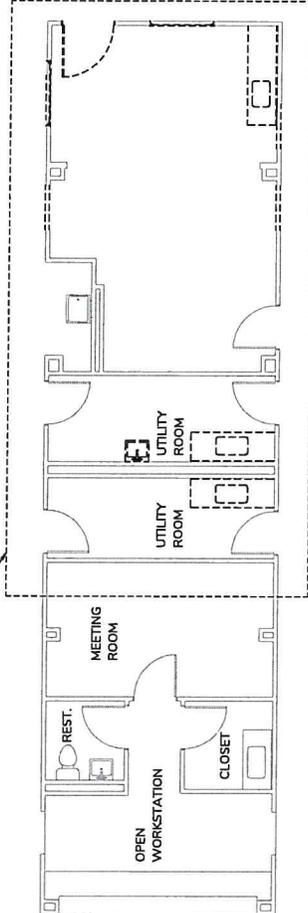
DEMOLITION NOTES:

1. TEMPORARY SEGREGATION / PROTECTION: PROVIDE ADEQUATE TEMPORARY PROTECTION TO SEGREGATE THE CONSTRUCTION AREAS FROM THE PUBLIC DURING THE COURSE OF DEMOLITION AND CONSTRUCTION WORK. WET DOWN STRUCTURES DURING DEMOLITION OR PROVIDE OTHER SUITABLE METHODS TO CONTROL THE SPREAD OF DUST AND DEBRIS.
2. SITE PROTECTION: THE SITE AND SURROUNDING WETLANDS SHALL BE PROTECTED FROM THE SPREAD OF DUST AND DEBRIS AND SEDIMENTATION CAUSED BY STORMWATER RUNOFF PRIOR TO THE START OF DEMOLITION WORK PER THE REQUIREMENTS OF MASSACHUSETTS DEP., MASSACHUSETTS WETLANDS PROTECTION ACT AND THE APPLICABLE CONDITIONS.
3. UTILITIES: LOCATE, IDENTIFY, DISCONNECT, AND PROPERLY TERMINATE UTILITIES SERVING THE BUILDINGS TO BE DEMOLISHED. PRIOR TO THE START OF DEMOLITION WORK, ALL SUCH WORK SHALL BE PERFORMED BY LICENSED TRADESMEN FOR THE UTILITIES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, AND SEWER SERVICE FOR USE DURING THE CONSTRUCTION AT THE COST OF THE CONTRACTOR. PROVIDE TEMPORARY TOILET FACILITIES ON SITE FOR USE BY THE CONTRACTOR DURING THE WORK.
4. TEMPORARY CURBING: PROVIDE AND MAINTAIN ADEQUATE TEMPORARY CURBING TO MAINTAIN THE STABILITY OF EXISTING STRUCTURE WHERE EXISTING STRUCTURAL SUPPORTS ARE TO BE DEMOLISHED.
5. TEMPORARY WEATHER PROTECTION: MAINTAIN THE BUILDING IN A WEATHER TIGHT CONDITION AT ALL TIMES. PROVIDE TEMPORARY WEATHER PROTECTION AS REQUIRED.
6. DEMOLITION: DEMOLISH AND REMOVE EXISTING CONSTRUCTION AS INDICATED ON THE DRAWINGS. USE DEMOLITION METHODS THAT WILL NOT CRACK OR STRUCTURALLY DISTURB ADJACENT CONSTRUCTION DESIGNATED TO REMAIN.
7. DEBRIS DISPOSAL: DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS FROM THE BUILDING SITE IN A SAFE AND LEGAL MANNER. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS. LEAVE THE SITE CLEAN UPON COMPLETION OF DEMOLITION.

② FIRST FLOOR DEMO - NORTH WING ENLARGED PLAN A
1/4" = 1'-0"



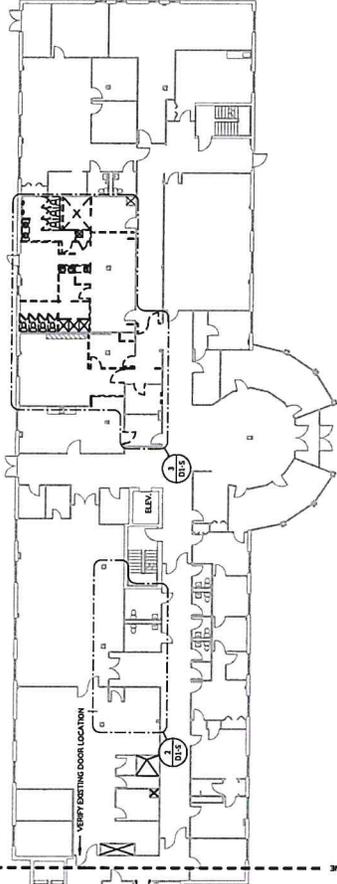
① FIRST FLOOR DEMOLITION KEY PLAN - NORTH WING
1/16" = 1'-0"



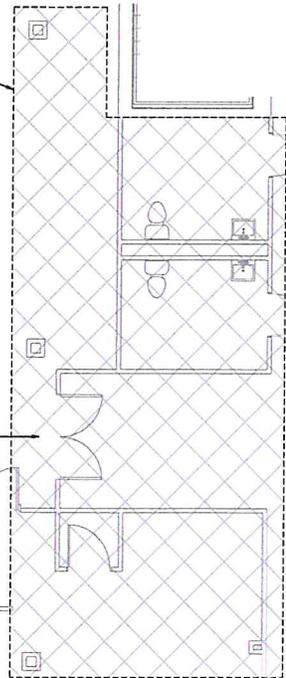
③ FIRST FLOOR DEMO - NORTH WING ENLARGED PLAN B
1/4" = 1'-0"

DEMOLITION NOTES:

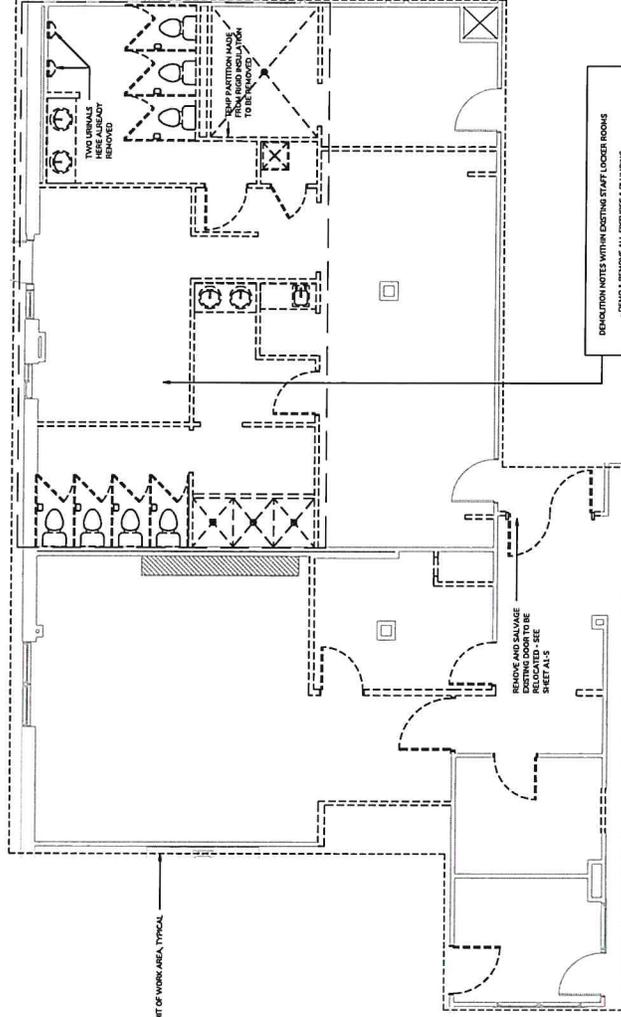
1. TEMPORARY SEGREGATION / PROTECTION: PROVIDE ADEQUATE TEMPORARY SEGREGATION / PROTECTION FROM THE PUBLIC DURING THE COURSE OF DEMOLITION AND CONSTRUCTION WORK. WET DOWN STRUCTURES DURING DEMOLITION OR PROVIDE OTHER SUITABLE METHODS TO CONTROL THE SPREAD OF DUST AND DEBRIS.
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3. UTILITIES: LOCATE, IDENTIFY, DISCONNECT, AND PROPERLY TERMINATE UTILITIES SERVING THE BUILDING TO BE DEMOLISHED. PRIOR TO THE START OF DEMOLITION WORK. ALL SUCH WORK SHALL BE DONE BY LICENSED TRADESMEN FOR THE UTILITIES INVOLVED. SET UP TEMPORARY ELECTRICAL AND WATER SERVICE TO MAINTAIN THE CONSTRUCTION AT THE COST OF THE CONTRACTOR. PROVIDE PROTECTION FOR UTILITIES ON SITE FOR USE BY THE CONTRACTOR DURING THE WORK.
4. TEMPORARY SUPPORT: PROVIDE AND MAINTAIN ADEQUATE TEMPORARY SHORING, BRACING, OR STRUCTURAL SUPPORT TO MAINTAIN THE STABILITY OF EXISTING STRUCTURES WHERE EXISTING STRUCTURAL SUPPORTS ARE TO BE DEMOLISHED.
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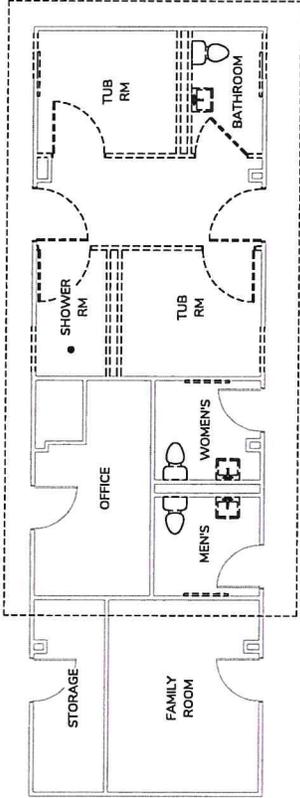
1 FIRST FLOOR DEMOLITION KEY PLAN - SOUTH WING
1/16" = 1'-0"



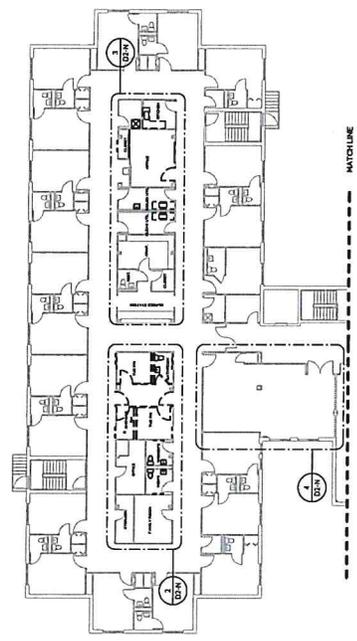
2 FIRST FLOOR DEMO - SOUTH WING ENLARGED PLAN A
1/4" = 1'-0"



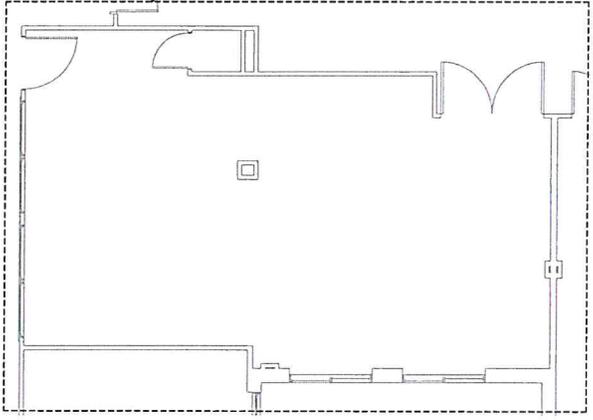
3 FIRST FLOOR DEMO - SOUTH WING ENLARGED PLAN B
1/4" = 1'-0"



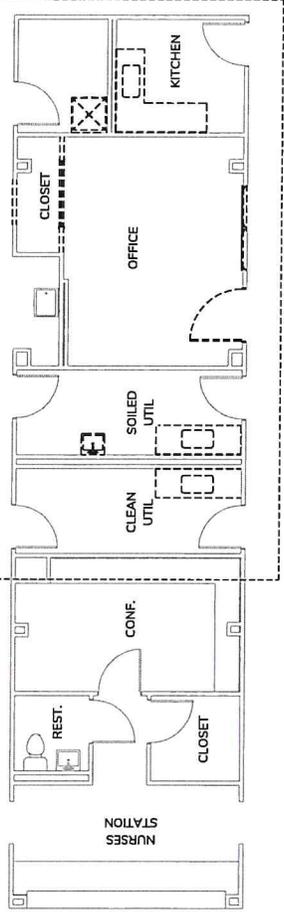
② SECOND FLOOR DEMO- NORTH WING ENLARGED PLAN A
1/4" = 1'-0"



① SECOND FLOOR DEMOLITION KEY PLAN - NORTH WING
1/16" = 1'-0"



④ SECOND FLOOR DEMO- NORTH WING ENLARGED PLAN C
1/4" = 1'-0"



③ SECOND FLOOR DEMO- NORTH WING ENLARGED PLAN B
1/4" = 1'-0"

DEMOLITION NOTES:

1. TEMPORARY SEGREGATION/PROTECTION: PROVIDE ADEQUATE TEMPORARY PROTECTION TO SEGREGATE THE CONSTRUCTION AREA FROM THE ADJACENT AREAS AND PREVENT ACCESS AND CONSTRUCTION WORK. WET DOWN STRUCTURES DURING DEMOLITION OR PROVIDE OTHER SUITABLE METHODS TO CONTROL THE SPREAD OF DUST AND DEBRIS.
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7. DEBRIS DISPOSAL: DO NOT ALLOW DEMOLISHED MATERIALS TO BE STORED ON SITE FOR MORE THAN 90 DAYS. REMOVE ALL DEMOLISHED MATERIALS RESULTING FROM DEMOLITION OPERATIONS FROM THE BUILDING SITE IN A SAFE AND LEGAL MANNER. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF-SITE IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND ORDINANCES. LEAVE THE SITE CLEAN UPON COMPLETION OF DEMOLITION.

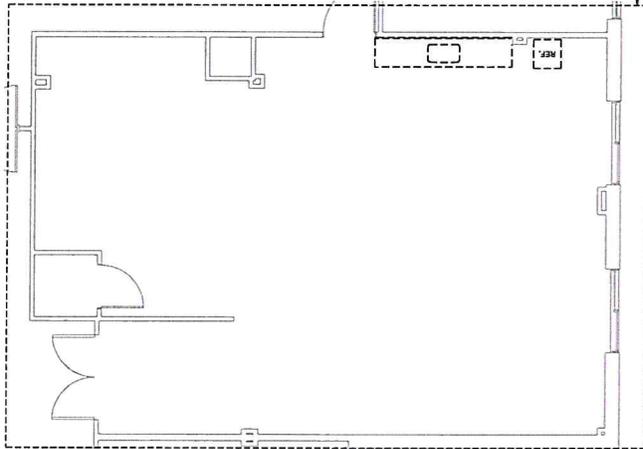
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PROVISIONS:	DATE:
REVISIONS:	DATE:
DATE:	DATE:

THIS DRAWING IS SUBMITTED WITH APPLICATION TO THE BOARD OF ARCHITECTS FOR SPECIAL REVIEW

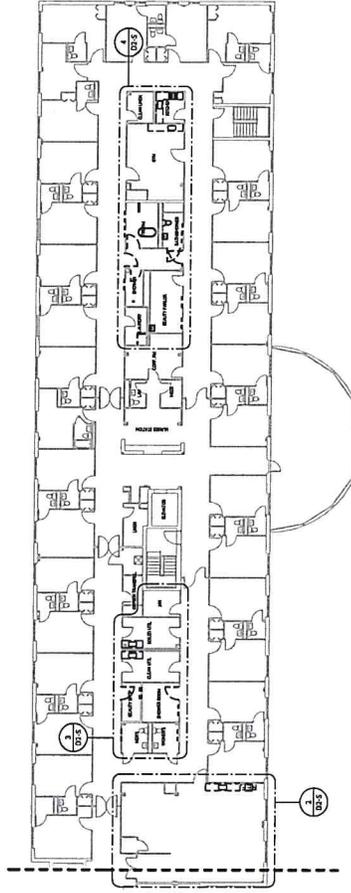
DRAWN BY:	JD
SCALE:	As Indicated

DEMOLITION NOTES:

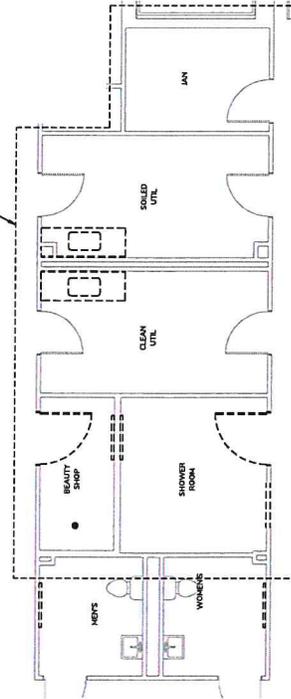
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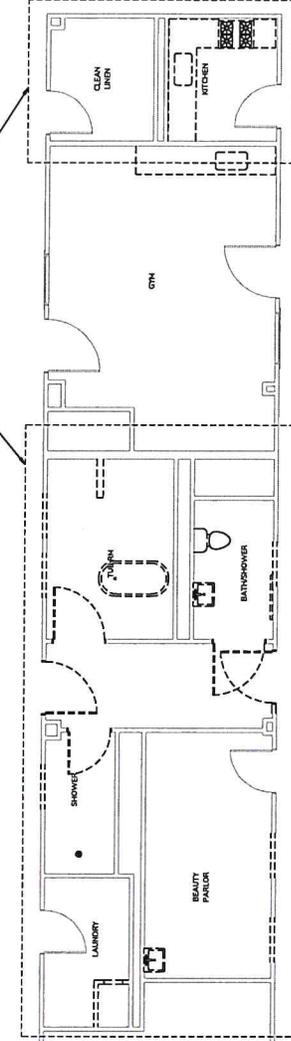
② SECOND FLOOR DEMO - SOUTH WING ENLARGED PLAN A
1/4" = 1'-0"



① SECOND FLOOR DEMOLITION KEY PLAN - SOUTH WING
1/16" = 1'-0"



③ SECOND FLOOR DEMO - SOUTH WING ENLARGED PLAN B
1/4" = 1'-0"



④ SECOND FLOOR DEMO - SOUTH WING ENLARGED PLAN C
1/4" = 1'-0"

DATE ISSUED:	01/20/2024
PROJECT NO.:	24-001
DATE:	
DESCRIPTION:	

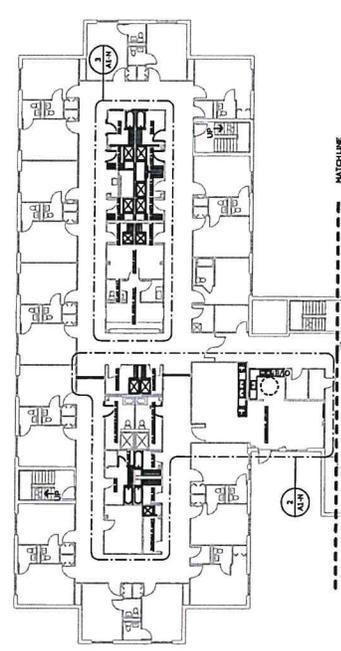
THIS DRAWING IS THE PROPERTY OF CATALYST ARCHITECTURE INTERIORS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF CATALYST ARCHITECTURE INTERIORS IS STRICTLY PROHIBITED.

DRAWN BY: AS
SCALE: AS SHOWN
DRAWING NO.:

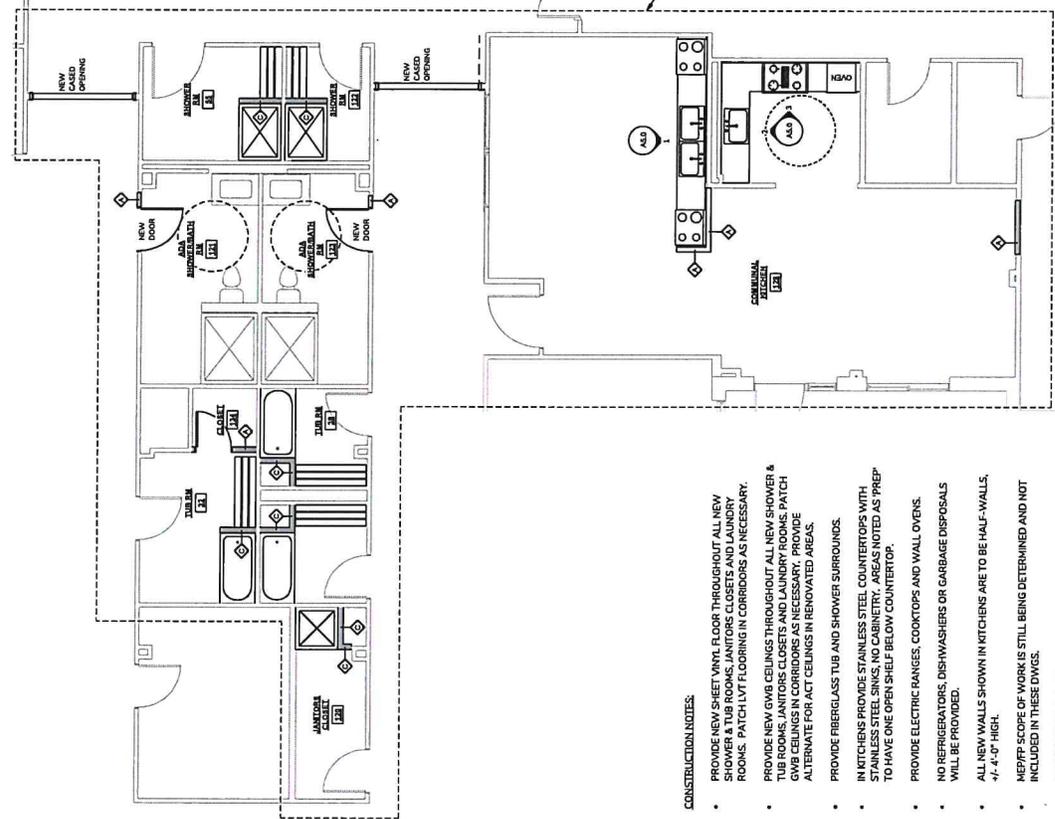
D2-S
PHASE - 1

PROJECT: HOUSING ASSISTANCE CORP. 1 LOVE LANE, DENNIS, MA

ADA SHOWERS	= 2
STANDARD SHOWERS	= 7
SMALL SHOWERS	= 2
TUB SHOWERS	= 5
TOTAL	= 16

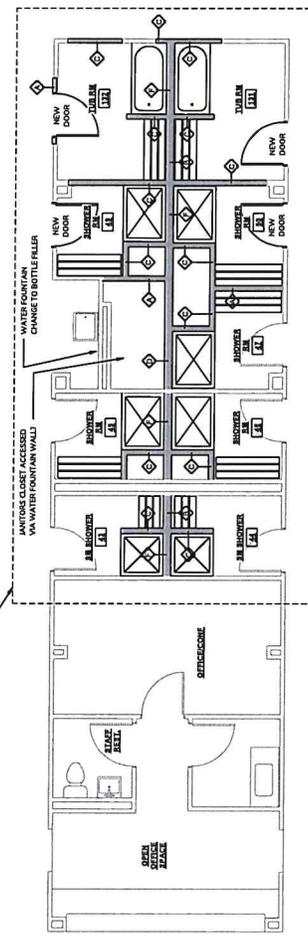


① PROPOSED FIRST FLOOR KEY PLAN - NORTH WING
1/16" = 1'-0"



② PROPOSED FIRST FLOOR -
NORTH WING ENLARGED PLAN A
1/4" = 1'-0"

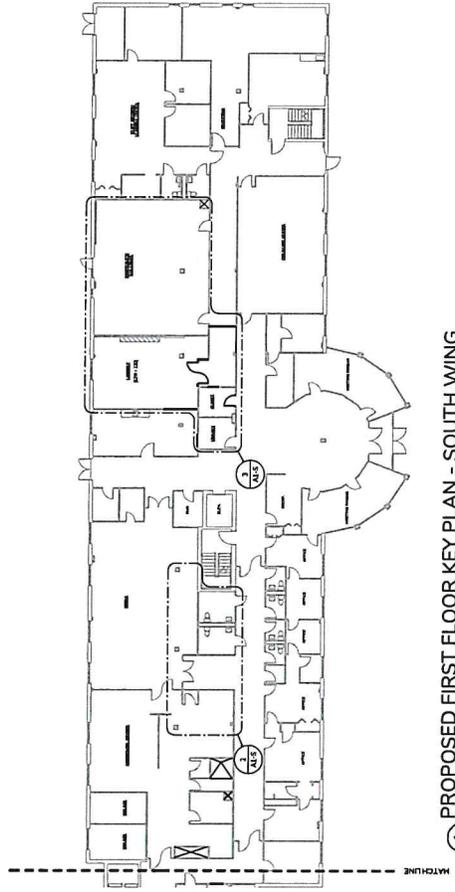
- CONSTRUCTION NOTES:**
- PROVIDE NEW SHEET WALL FLOOR THROUGHOUT ALL NEW RENOVATED AREAS. PATCH LVT FLOORING IN CORRIDORS AS NECESSARY.
 - PROVIDE NEW GWB CEILINGS THROUGHOUT ALL NEW SHOWER & TUB ROOMS, JANITORS CLOSETS AND LAUNDRY ROOMS. PATCH GWB CEILINGS IN CORRIDORS AS NECESSARY. PROVIDE ALTERNATE FOR ACT CEILINGS IN RENOVATED AREAS.
 - PROVIDE FIBERGLASS TUB AND SHOWER SURROUNDS.
 - IN KITCHENS PROVIDE STAINLESS STEEL COUNTERTOPS WITH STAINLESS STEEL SINKS. NO CABINETS, AREAS NOTED AS 'PREP' TO HAVE ONE OPEN SHELF BELOW COUNTERTOP.
 - PROVIDE ELECTRIC RANGES, COOKTOPS AND WALL OVENS.
 - NO REFRIGERATORS, DISHWASHERS OR GARBAGE DISPOSALS WILL BE PROVIDED.
 - ALL NEW WALLS SHOWN IN KITCHENS ARE TO BE HALF-WALLS, +/- 4'-0" HIGH.
 - MEFPF SCOPE OF WORK IS STILL BEING DETERMINED AND NOT INCLUDED IN THESE DWGS.
 - DASHED LINE INDICATES SCOPE OF WORK.



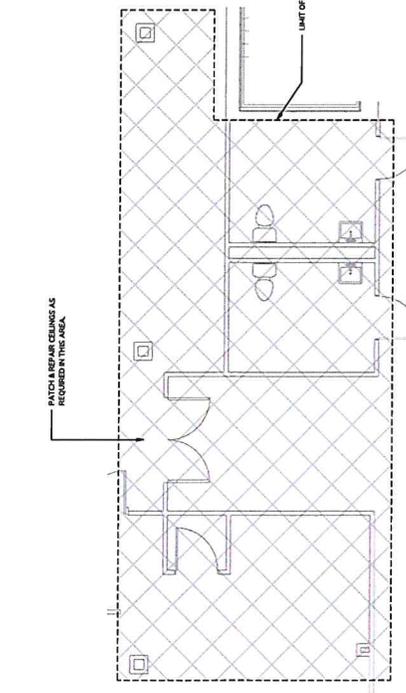
③ PROPOSED FIRST FLOOR -
NORTH WING ENLARGED PLAN B
1/4" = 1'-0"

CONSTRUCTION NOTES:

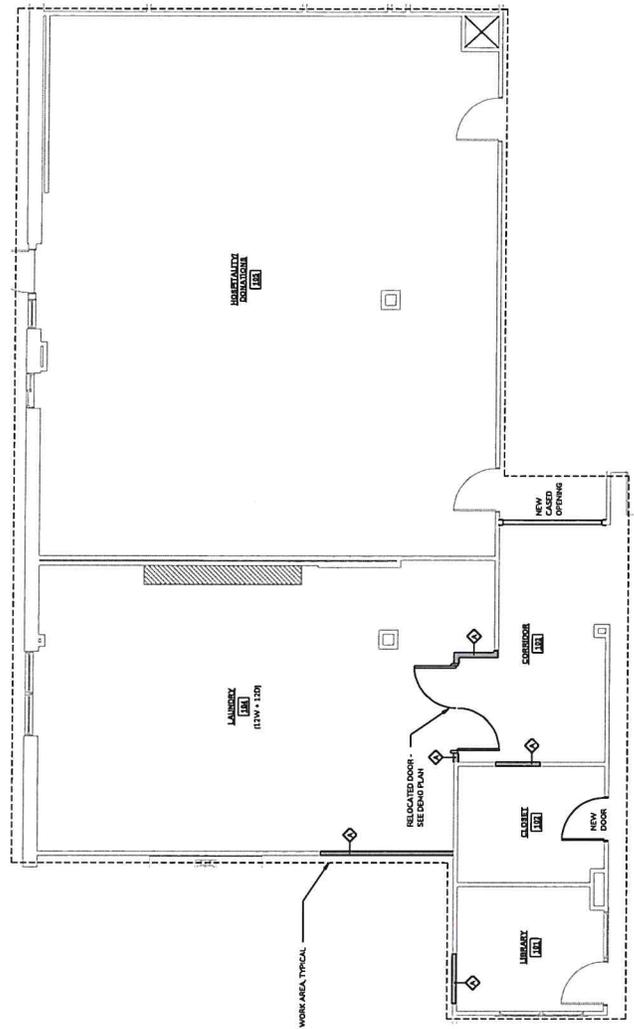
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- ALL NEW WALLS SHOWN IN KITCHENS ARE TO BE HALF-WALLS, 4'-4 1/2" HIGH.
- MEP/FP SCOPE OF WORK IS STILL BEING DETERMINED AND NOT INCLUDED IN THESE DWGS.
- DASHED LINE INDICATES SCOPE OF WORK



1 PROPOSED FIRST FLOOR KEY PLAN - SOUTH WING
1/16" = 1'-0"



2 PROPOSED FIRST FLOOR - SOUTH WING ENLARGED PLAN A
1/4" = 1'-0"



3 PROPOSED FIRST FLOOR - SOUTH WING ENLARGED PLAN B
1/4" = 1'-0"

NO.	DESCRIPTION	DATE
001	ISSUED FOR PERMIT	03/28/2024

PROGRESS PERMIT APPLICATION TO THE SPECIAL REVIEW

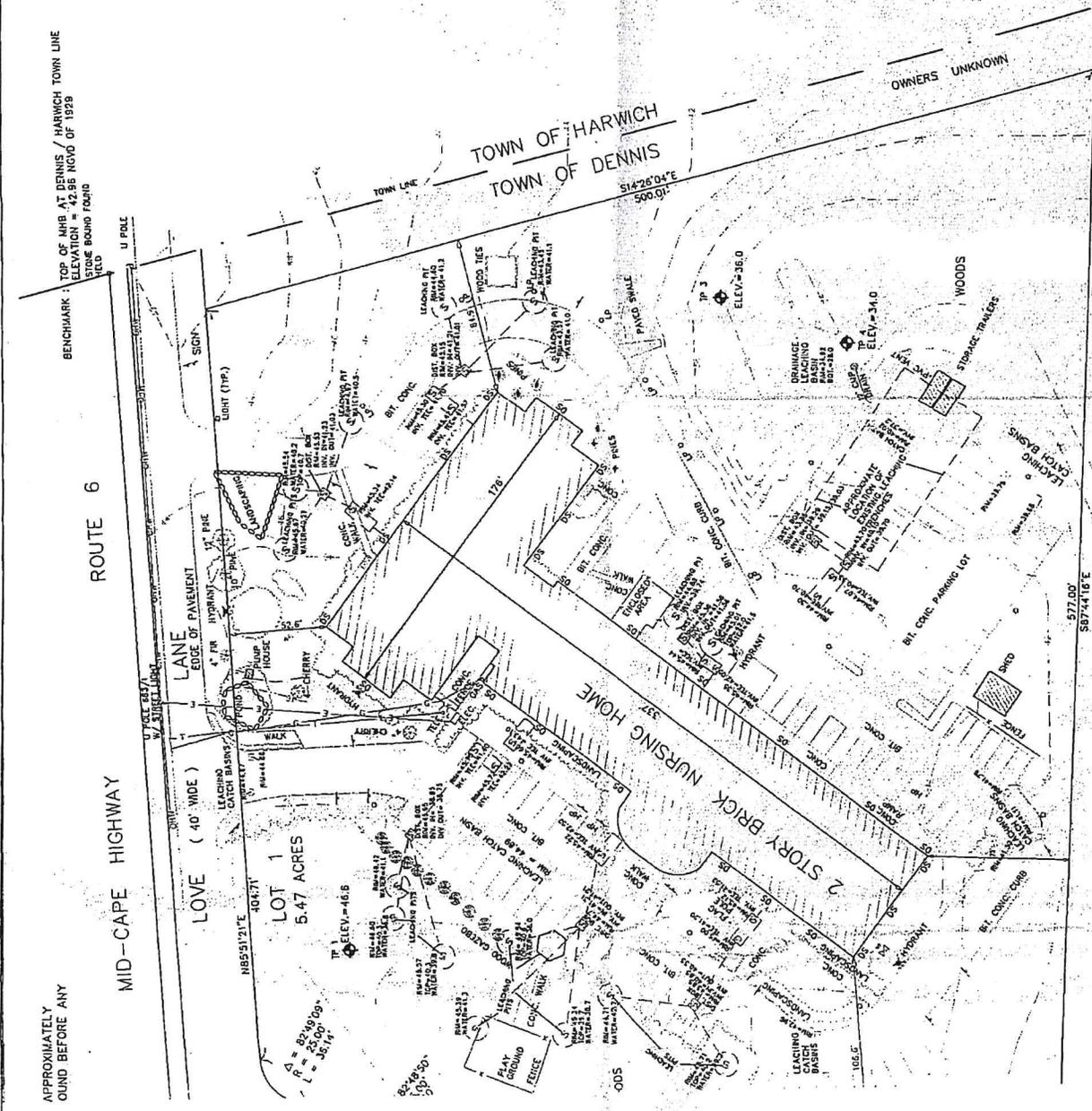
CONSTRUCTION REQUIREMENTS

1. Utilities indicated on drawings 1770-1 are indicated as approximate. The contractor shall verify the location and depth of all utilities before commencing construction. The contractor shall be responsible to employ DDD and any other methods to locate utilities. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the safety of all workers and the public.
2. Prior to the start of construction, the contractor shall provide to the Owner a schedule of construction to include a list of all construction activities, including the location and extent of all excavations, the location and extent of all foundations, and the location and extent of all retaining walls. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the safety of all workers and the public.
3. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the safety of all workers and the public.
4. The manhole and concrete structures shall be fabricated to the standards for MASTRO M-20-44 loading.
5. Where excavations occur in paved areas, the paving shall be restored with a minimum 2" thick concrete surface. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the safety of all workers and the public.
6. Prior to placing paving material or backfill, the contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the safety of all workers and the public.
7. This contractor shall advise Board of Health and the Health Officer of all excavations. This notice shall be given 72 hours before the material is to be placed in the excavation. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the safety of all workers and the public.
8. All material and workmanship shall be guaranteed for twelve months after acceptance.

LEGEND

- MH MANHOLE
- SMH SEWER MANHOLE
- FULCRUM
- FULCRUM OF LANDSCAPING
- WATER
- GAS
- TELEPHONE
- BITUMINOUS CONCRETE
- RETAINING WALL
- LAMP POST
- BUSH
- SHRUB
- INVERT
- BENCH MARK
- GARAGE
- EXISTING CONTOUR
- WATER GATE
- FIRE HYDRANT
- A/C
- CATCH BASIN (DRAINAGE)
- LIGHT POLE
- SIGN
- SEPTIC SYSTEM COVERS
- DOWN SPOUTS
- SOIL OBSERVATION TEST
- CORRUGATED METAL PIPE

MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION
 APPROVED
 4/14/23



APPROXIMATELY QUOND BEFORE ANY
 MID-CAPE HIGHWAY
 ROUTE 6
 BENCHMARK : TOP OF MHB AT DENNIS / HARWICH TOWN LINE
 ELEVATION = 42.96 NGVD OF 1929
 STAKE BOUND 10010
 U POLE

OWNERS UNKNOWN
 WOODS
 LEACHING BASINS
 2 STORY BRICK NURSING HOME
 LOT 1
 5.47 ACRES
 LOT 2
 2 STORY BRICK NURSING HOME
 LOT 3
 LEACHING BASINS

N/F ROLF V. ROSSHAM
 N/F MARSHALL SIEBENMANN, JR.

DEED REFERENCE : BARNSTABLE COUNTY REGISTRY OF DEEDS BOOK 639B PAGE 85
 PLAN REFERENCE : PLAN BOOK 372 PAGE 46
 SURVEYED BY: PAUL N. ROBINSON ASSOCIATES, INC.
 37 EXCHANGE STREET, MILLIS, MASS.
 (508) 378-4440

REV.	DATE	DESCRIPTION
1		EXISTING CONDITION SITE PLAN
2		EAGLE POND NURSING HOME
3		LOVE LANE
4		DENNIS, MASSACHUSETTS
5		JOHN J. DRISCOLL, JR. Consulting Engineers
6		487 POND STREET FRANKLIN, MASS. (508) 528-2808

DATE : OCTOBER 16, 1996
 SCALE: 1" = 30'
 DRAWN BY: 1770-1

