

APPENDIX



SOUTH ELEVATION (LEFT FROM FRONT)



SOUTHWEST CORNER (LEFT + BACK)



WEST ELEVATION (BACK)



NORTHWEST CORNER (BACK + RIGHT)



NORTH ELEVATION (RIGHT FROM FRONT)



NORTHEAST CORNER (RIGHT + FRONT)



EAST ELEVATION- ROUTE 6A (FRONT)



EAST ELEVATION (FRONT) FROM ROUTE 6A



EAST ELEVATION FROM ROUTE 6A



EAST ELEVATION (FRONT) FROM ROUTE 6A

LIST OF DRAWINGS:

- SITE PLAN DOWN CAPE ENGINEERING
- A0.0 COVERSHEET
- A1.0 FOUNDATION PLAN & FND DETAILS
- A1.1 FIRST FLOOR PLAN
- A1.2 SECOND FLOOR PLAN
- A2.0 SOUTH & EAST ELEVATION
- A2.1 NORTH & WEST ELEVATION
- A3.0 BUILDING SECTION
- A3.1 BUILDING SECTION
- A4.0 SCHEDULES
- S1.1 FIRST FLOOR FRAMING
- S1.2 SECOND FLOOR FRAMING
- S1.3 ROOF FRAMING PLAN
- E1.0 BASEMENT ELECTRICAL
- E1.1 FIRST FLOOR ELECTRICAL
- E1.2 SECOND FLOOR ELECTRICAL
- EX1 EXISTING PLANS & ELEVATIONS
- D1 DEMO PLANS & ELEVATIONS

AREA CALCULATIONS:

EXISTING:
 1ST FLOOR: 1090 SF
 2ND FLOOR: 870 SF
TOTAL: 1960 SF

PROPOSED:
 1ST FLOOR: 1090 SF
 2ND FLOOR: 687 SF
 BASEMENT: 1090 SF
TOTAL: 2867 SF

PROJECT CODE RESEARCH:

1. CONSTRUCTION CLASSIFICATION
2. LIMITS 2 STORIES - 30'-0" HEIGHT
 PROPOSED FLOOR AREA
 FIRST FLOOR -B-BUSINESS 1,090 SF
 SECOND FLOOR - B-BUSINESS 687 SF
 LOWER LEVEL - B-BUSINESS 1090 SF
TOTAL: 2,867 SF

 FIRE SEPARATION - PER 508.4 NONE REQUIRED
3. OCCUPANCY: BUSINESS B
4. OCCUPANCY ALLOWED BY LAYOUT -
 BUSINESS AREA - < 50 OCCUPANTS
 (50 TRIGGERS A-ASSEMBLY)
5. OCCUPANCY ALLOWED BY OCCUPANT LOAD - TABLE 1004.1.2
 BUSINESS AREAS 2,867 100 SF GROSS =
TOTAL: 28 OCCUPANTS**
6. MINIMUM EGRESS WIDTH
 REQUIRED PER- 1005.1 - 0.2" PER OCCUPANT
 DOORS - 36"/0.2" = 180 MAX OCCUPANTS
7. EXIT WAY PASSAGEWAY WIDTH PER 1023.2
 NOT LESS THAN 44" EXCEPT SERVING
 OCCUPANT LOAD LESS THEN 50.
8. MEANS OF EGRESS - PER 1006
 MAX LOAD 49 - ONE MEANS OF EGRESS
 75'-0" OF TRAVEL
9. NUMBER OF EGRESS - PER 1006.3.2
 ONE MEANS OF EGRESS PER LEVEL FOR BUSINESS USE-
 B ALLOWED FOR OCCUPANCY OF LESS THAN 29
10. PLUMBING FIXTURES PER 248 CMR 10
 BUSINESS - B
 TOILETS M: TOILETS F: URINALS: LAVS/EACH SEX:
 BUSINESS: 1 PER 20 1 PER 25 33% 1 PER 50

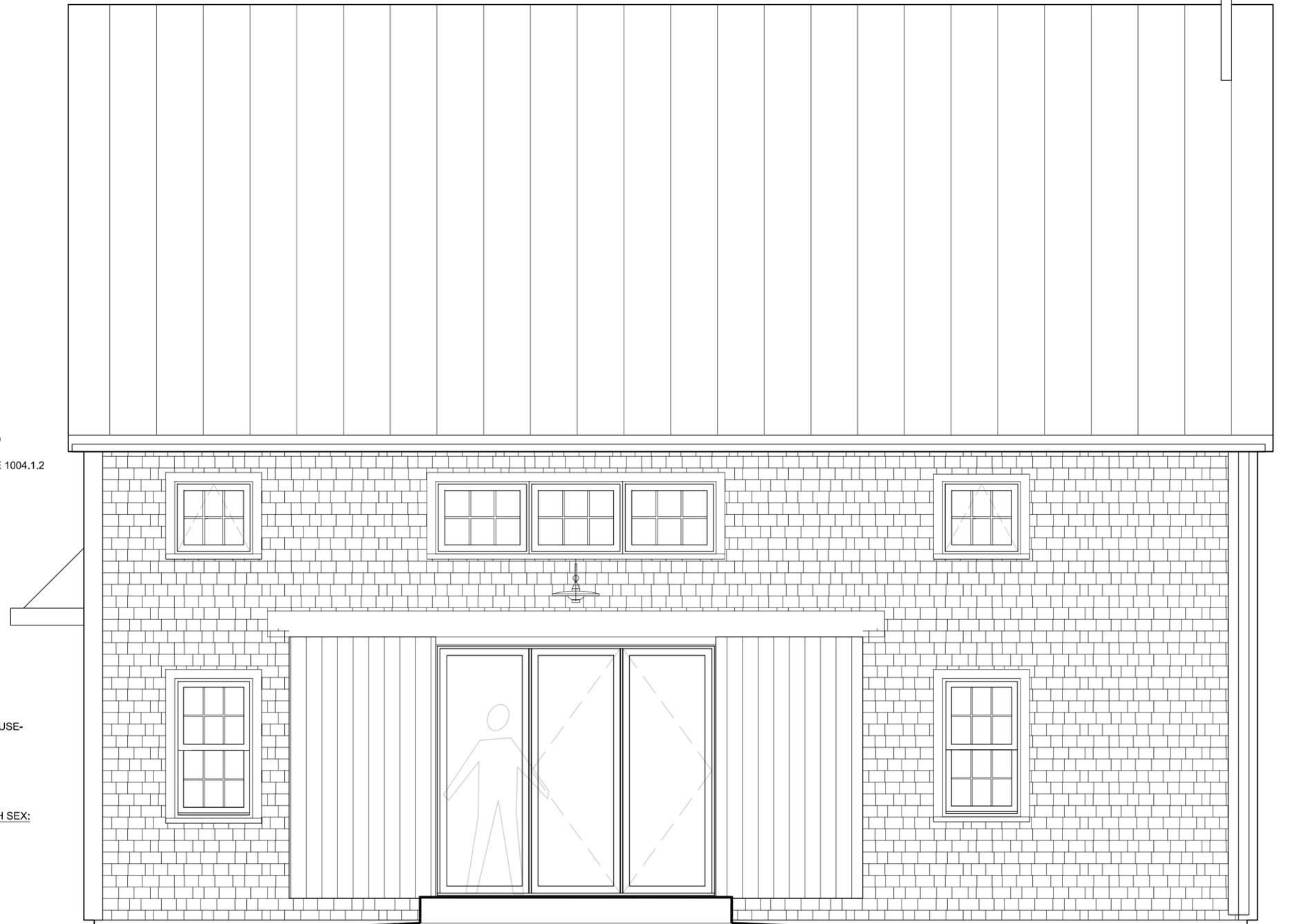
PROJECT TEAM:

ARCHITECT
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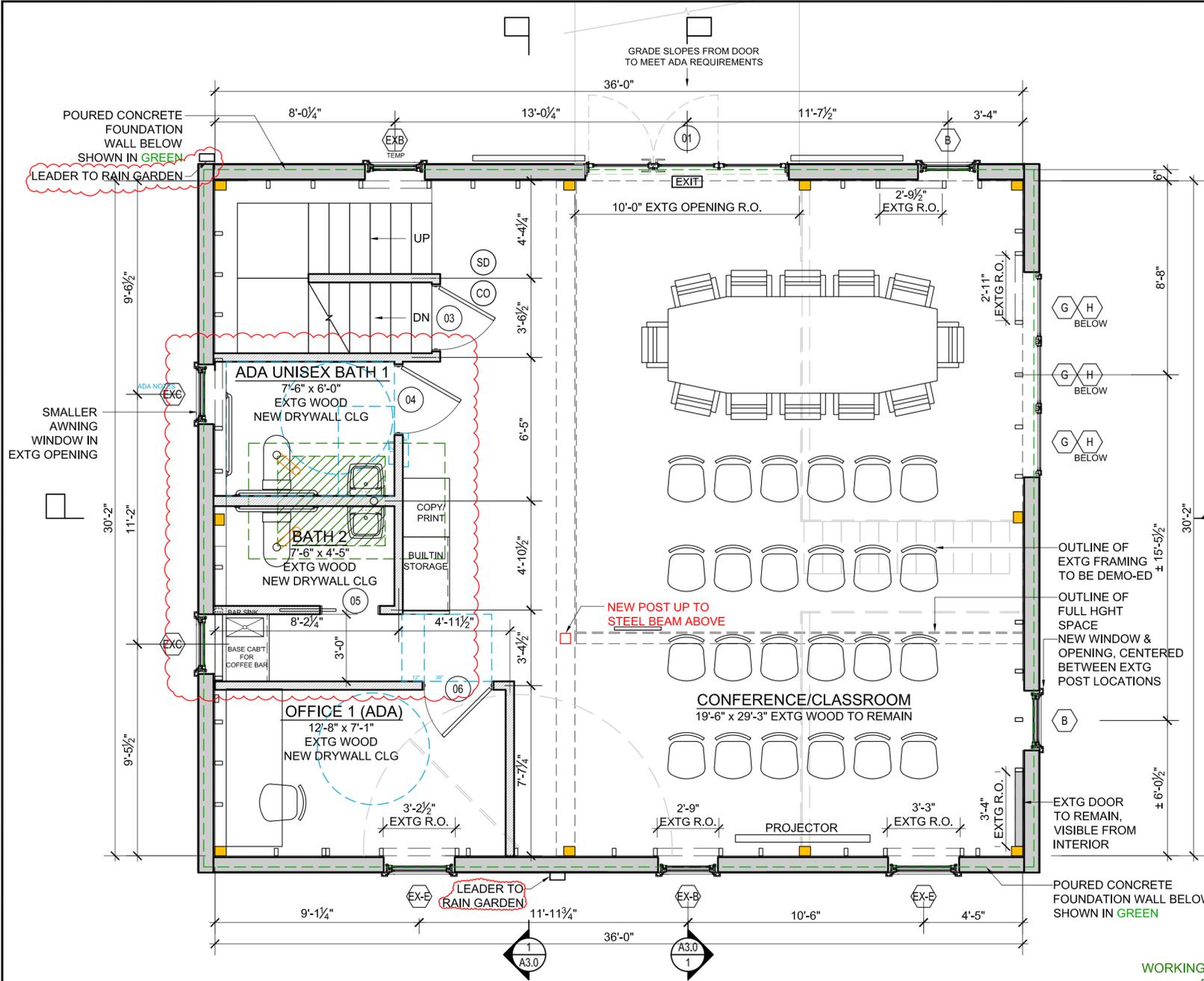
GENERAL CONTRACTOR
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 Dennis, MA

SITE ENGINEER
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 Yarmouth Port, MA 02675
 (508) 362-4541

STRUCTURAL ENGINEER
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 Brewster, MA 02631
 353-2144



A RENOVATION FOR THE:
 ASSOCIATION TO PRESERVE CAPE COD
 482 MAIN STREET (OLD KINGS HWY/6A)
 DENNIS, MA 02638



1 FIRST FLOOR PLAN
A1.1 1/4" = 1'-0"

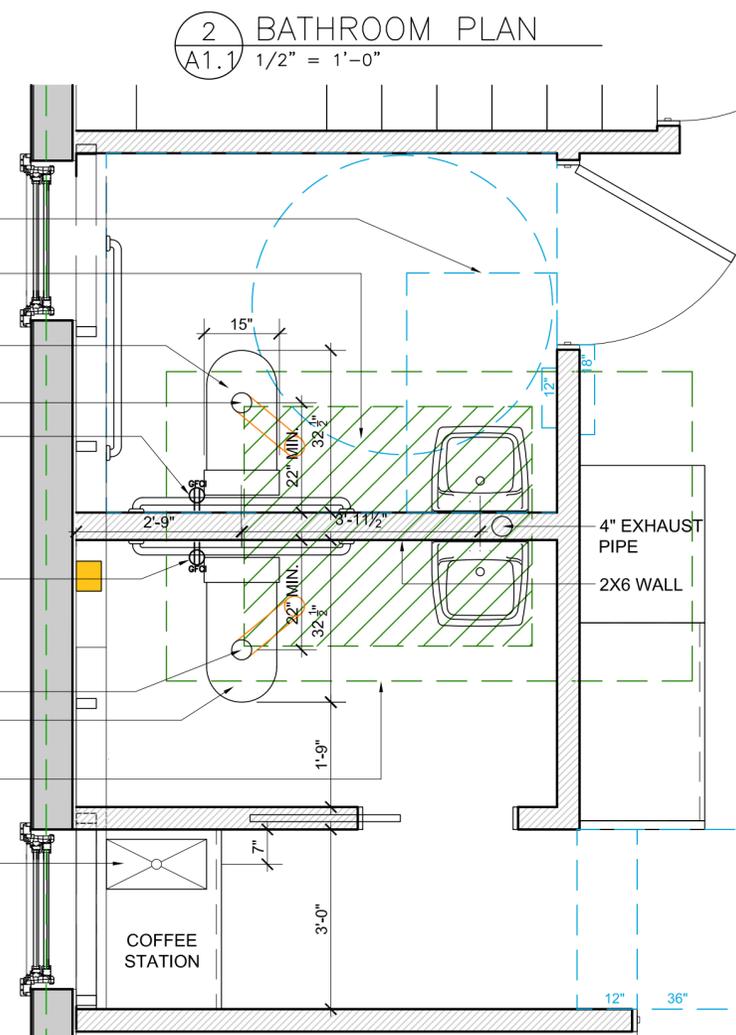
KEY
 OUTLINE OF FOARD SIPs PANEL ABOVE: ---
 OUTLINE OF POURED CONCRETE WALL BELOW: ---
STRUCTURAL NOTES: ---
CODE / EGRESS: ---

WALL KEY:
 DEMO WALLS:
 EXTG POST & BEAM FRAMING:
 NEW FRAMED WALL
 RIGID INSULATION

NEW POURED CONCRETE WALL:

SIPs PANELS

NOTES
 1. DIMENSIONS ARE TO CENTERLINE OF INTERIOR WALLS AND OUTSIDE FACE OF STUD OF EXTERIOR WALLS, UNLESS OTHERWISE NOTED.
 2. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES IN THE DRAWINGS.



2 BATHROOM PLAN
A1.1 1/2" = 1'-0"

ADA NOTES

WORKING SURFACE AREA:
57.5' L X 48" WIDE

NEPON FOAM FLUSH TOILET (ADA HEIGHT)
4" PVC DRAIN

PROVIDE DEDICATED 20 AMP CIRCUIT AND GFCI OUTLET (110V) AT A DISTANCE FROM THE TOP BACK CENTER OF THE TOILET TO THE OUTLET OF NO MORE THAN 16"

PROVIDE DEDICATED 20 AMP CIRCUIT AND GFCI OUTLET (110V) AT A DISTANCE FROM THE TOP BACK CENTER OF THE TOILET TO THE OUTLET OF NO MORE THAN 16"

4" PVC DRAIN
NEPON FOAM FLUSH TOILET (ADA HEIGHT)

M12 COMPOSTER BELOW:
62" W X 105" L

10" X 20" BAR SINK

A RENOVATION FOR:
 APCC
 482 MAIN STREET
 DENNIS MA

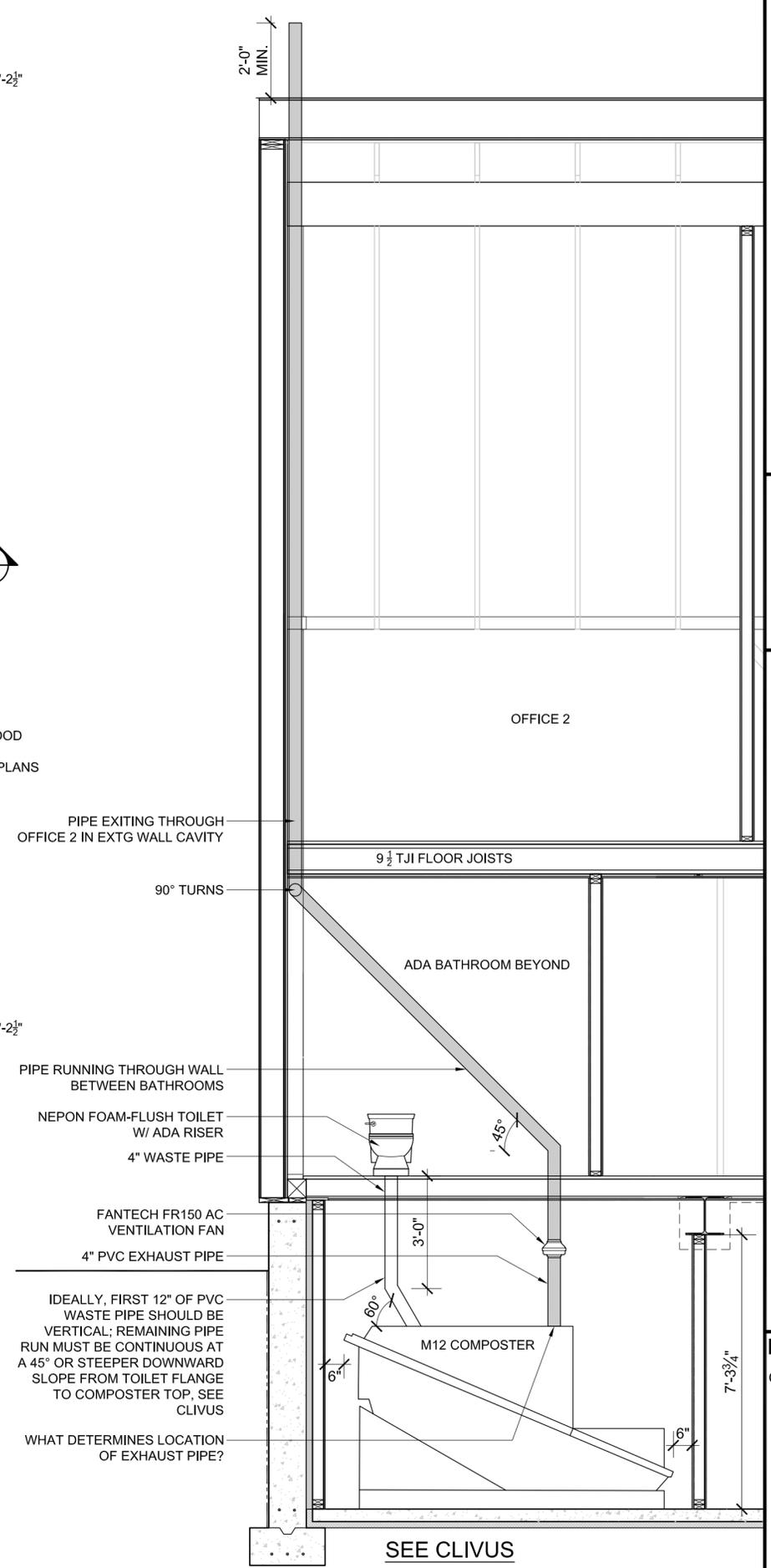
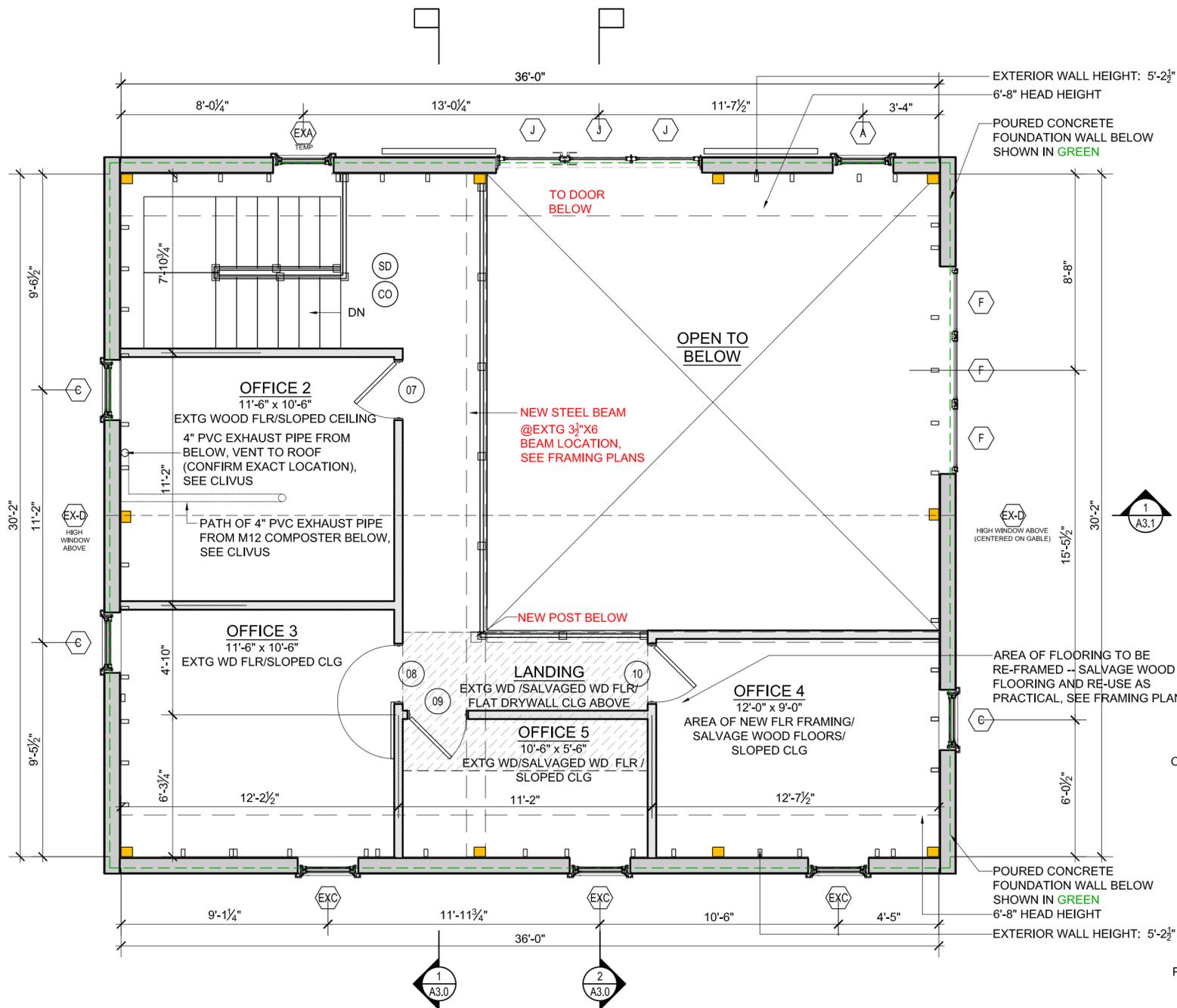
TITLE:
 FIRST FLR PLAN

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A3 architects, inc
 Residential Commercial Net Zero

Date:
 CONSTRUCTION 03.18.2024

A1.1



NOTES
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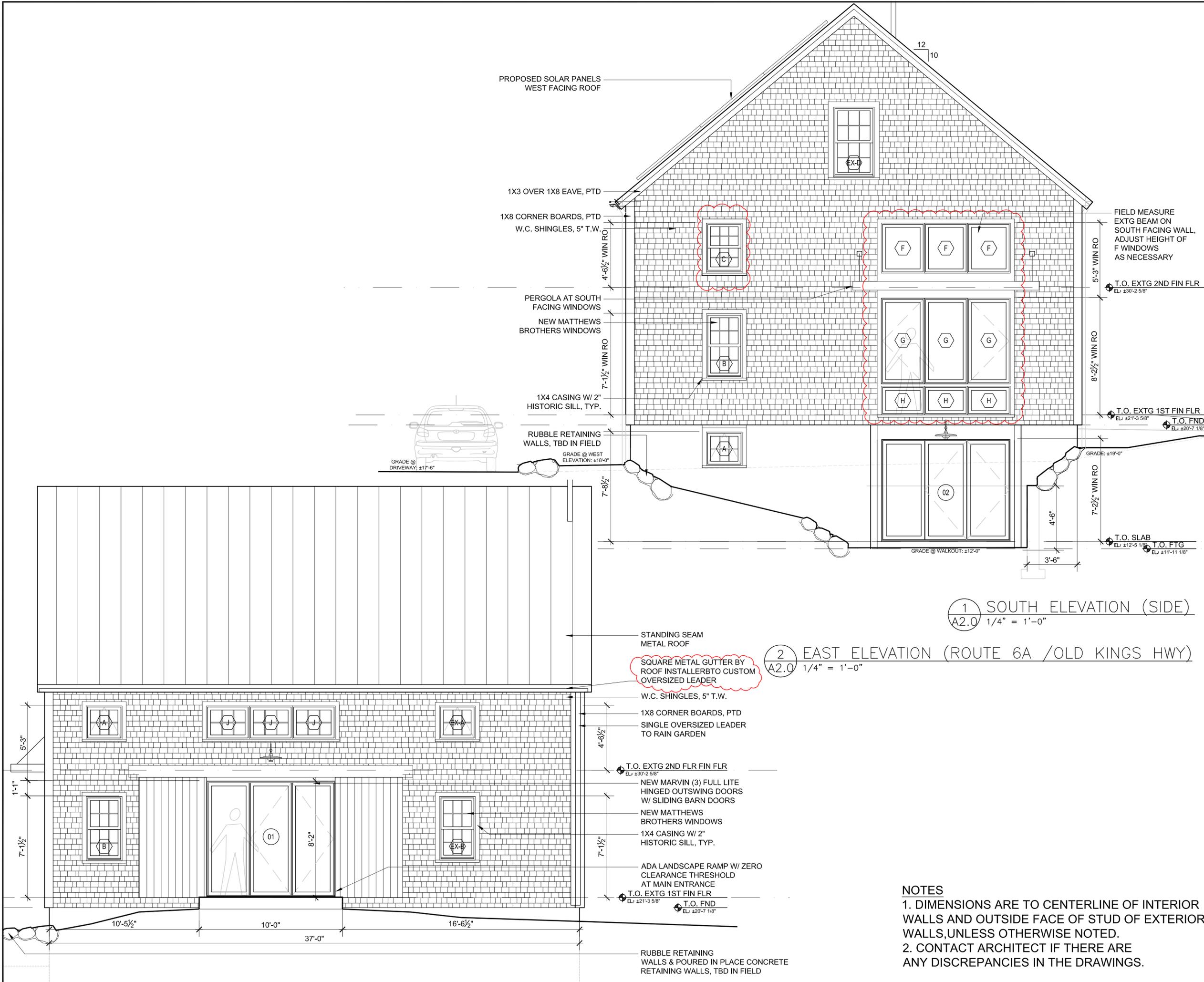
TITLE:
 SECOND
 FLR
 PLAN

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A1.2



1 SOUTH ELEVATION (SIDE)
A2.0 1/4" = 1'-0"

2 EAST ELEVATION (ROUTE 6A / OLD KINGS HWY)
A2.0 1/4" = 1'-0"

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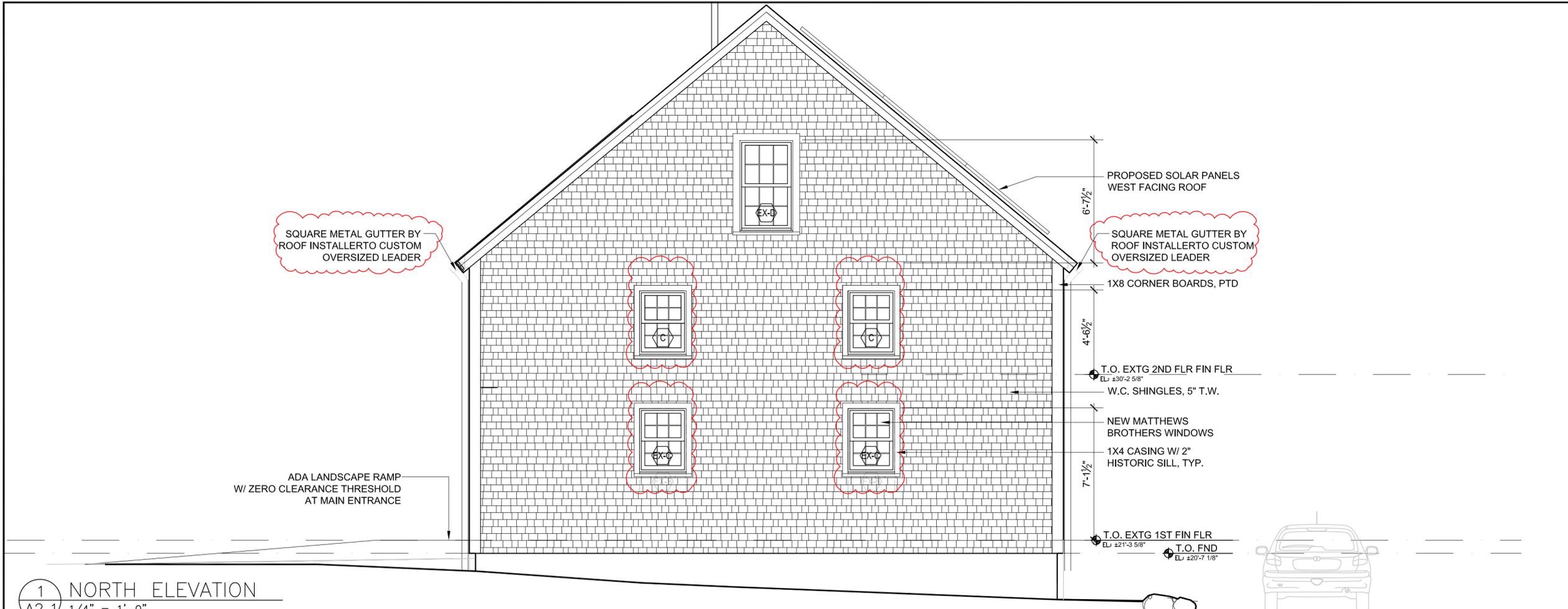
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 ELEVATIONS

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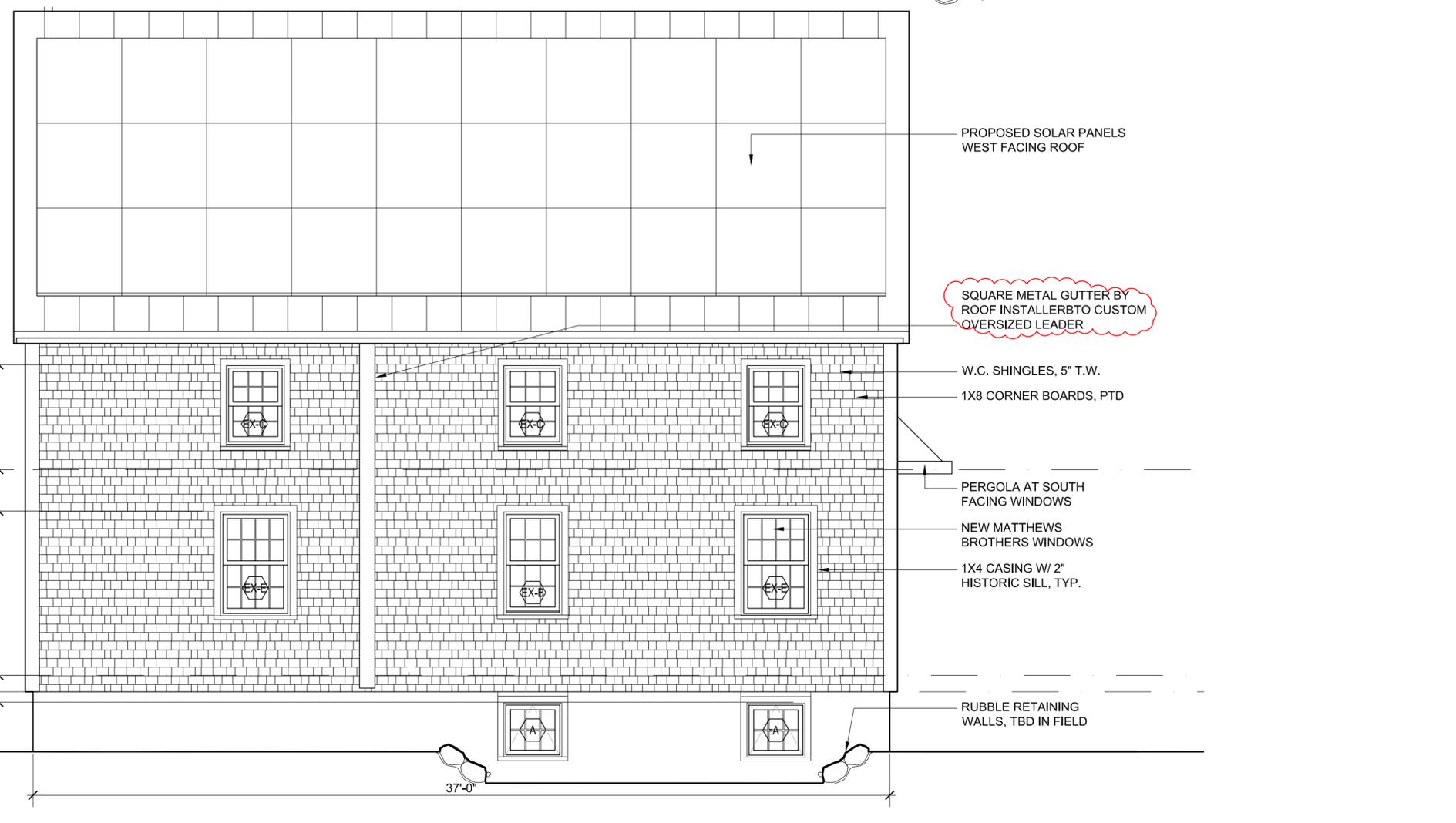
A2.0



1 NORTH ELEVATION
A2.1 1/4" = 1'-0"

2 WEST ELEVATION (BACK)
A2.1 1/4" = 1'-0"

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482 MAIN STREET
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TITLE:
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A2.1