



Sesuit Harbormaster Project

351 Sesuit Neck Road,  
East Dennis, Massachusetts

## Notice of Intent

Town of Dennis

September 2024

**Tighe & Bond**

C19676\*01  
September 5, 2024

Dennis Conservation Commission  
Attn: Erin Burnham, Agent  
685 Route 134  
South Dennis, MA 02660

**By Email & Hand Delivery**

**Re: Notice of Intent Application Filing Package**

Proposed Redevelopment of the Harbormaster Facility Project  
Town of Dennis  
351 Sesuit Neck Road  
Dennis, MA  
Map 410 Parcel 23

Dear Ms. Burnham and Commission Members:

On behalf of our client, the Town of Dennis, we are submitting ten (10) copies of a Notice of Intent Application Filing Package for the above referenced project.

The following documents are provided as attachments:

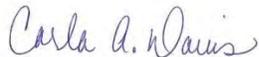
- Attachment 1: Site Access Authorization
- Attachment 2: Notice of Intent Application and NOI Wetland Fee Transmittal Form
- Attachment 3: Project Narrative
- Attachment 4: Abutter Information
- Attachment 5: Location Map Figures
- Attachment 6: Project Drawings

Please note that in addition to the attachments listed above, we are also including a Stormwater Report, which is bound separately from this application.

Please schedule this for the **September 19, 2024** public hearing. If you have any questions or require additional information, please give our office a call. Thank you.

Very truly yours,

**TIGHE & BOND, INC.**



Carla A. Davis  
Project Planner I

Enclosures

Copy: Mass. DEP/SERO - Wetlands  
Town of Dennis  
Town of Dennis Harbormaster  
Catalyst Architects/Interiors  
Tarja L. McGrail, Project Manager

J:\\_Coastal\Projects\C19\C19676.01 - Catalyst Architecture - STR\Permitting\CIV\Local\Conservation\NOI\Draft\NOI\Cover letter.docx



**Tighe&Bond**

**ATTACHMENT 1**

**Town of Dennis  
Conservation Commission**

P O Box 2060  
685 Route 134  
South Dennis, MA 02660



**Permission to Access Site**

Property Owner

Name Town of Dennis  
Address 685 Route 134  
South Dennis, MA 02660  
Phone 508-760-6123

Authorized Agent (If applicable)

Company Tighe & Bond  
Name Tarja L. McGrail, P.E.  
Address 260 Cranberry Highway  
Orleans, MA 02653  
Phone: 508-255-6511

Property Location

351 Seasuit Neck Road, East Dennis, Mass  
(Street Address) (Dennis Village)

Dennis Assessor's Map No. 410

Lot No.(s) 23

I hereby give permission to the Dennis Conservation Commission, its agents and members or their designees, to access the site named above as needed to perform their duties.

Signature of Property Owner / Authorized Agent: GA

Date: 5/29/24

Elizabeth Sullivan  
Town Administrator

**Tighe&Bond**

**ATTACHMENT 2**



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Dennis

City/Town

**Important:**

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:  
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

**A. General Information**

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>351 Sesuit Neck Road</u>	<u>East Dennis</u>	<u>02641</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:		
<u>41°45'11.11"N</u>	<u>70° 9'14.98"W</u>	
d. Latitude	e. Longitude	
<u>410</u>	<u>23</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

<u>Town of Dennis</u>		
a. First Name	b. Last Name	
c. Organization		
<u>685 Route 134</u>		
d. Street Address		
<u>South Dennis</u>		
e. City/Town		f. State
<u>508-394-8300</u>		g. Zip Code
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant):  Check if more than one owner

<u></u>		
a. First Name	b. Last Name	
<u></u>		
c. Organization		
<u></u>		
d. Street Address		
<u></u>		f. State
e. City/Town		g. Zip Code
<u></u>	i. Fax Number	j. Email address
h. Phone Number		

4. Representative (if any):

<u>Tarja L.</u>	<u>McGrail, P.E.</u>
a. First Name	b. Last Name
<u>Tighe &amp; Bond</u>	
c. Company	
<u>88 Route 6A, Suite 2A</u>	
d. Street Address	
<u>Sandwich</u>	<u>MA</u>
e. City/Town	f. State
<u>508-255-6511</u>	<u>02653</u>
h. Phone Number	g. Zip Code
i. Fax Number	<u>tmcgrail@tighebond.com / cdavis@tighebond.com</u>
	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u></u>	<u></u>	<u></u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**WPA Form 3 – Notice of Intent**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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**A. General Information (continued)**

6. General Project Description:

Proposed Redevelopment of the Harbormaster Facility

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1.  Single Family Home
- 2.  Residential Subdivision
- 3.  Commercial/Industrial
- 4.  Dock/Pier
- 5.  Utilities
- 6.  Coastal engineering Structure
- 7.  Agriculture (e.g., cranberries, forestry)
- 8.  Transportation
- 9.  Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1.  Yes  No      If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

<u>Barnstable</u>	<u>C5048, Doc # 11,108</u>
a. County	b. Certificate # (if registered land)
<u>989</u>	<u>539</u>
c. Book	d. Page Number

**B. Buffer Zone & Resource Area Impacts (temporary & permanent)**

- 1.  Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2.  Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands

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**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - <b>specify coastal or inland</b>	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: \_\_\_\_\_ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet \_\_\_\_\_ b. square feet within 100 ft. \_\_\_\_\_ c. square feet between 100 ft. and 200 ft. \_\_\_\_\_

5. Has an alternatives analysis been done and is it attached to this NOI?  Yes  No

6. Was the lot where the activity is proposed created prior to August 1, 1996?  Yes  No

3.  Coastal Resource Areas: (See 310 CMR 10.25-10.35)

**Note:** for coastal riverfront areas, please complete **Section B.2.f.** above.



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**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet _____	
	2. cubic yards dredged _____	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet _____	2. cubic yards beach nourishment _____
e. <input type="checkbox"/> Coastal Dunes	1. square feet _____	2. cubic yards dune nourishment _____
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input checked="" type="checkbox"/> Coastal Banks	30± 1. linear feet _____	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet _____	
h. <input type="checkbox"/> Salt Marshes	1. square feet _____	2. sq ft restoration, rehab., creation _____
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet _____	
	2. cubic yards dredged _____	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet _____	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged _____	
l. <input checked="" type="checkbox"/> Land Subject to Coastal Storm Flowage	121,100± 1. square feet _____	

4.  Restoration/Enhancement  
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

\_\_\_\_\_ a. square feet of BVW

\_\_\_\_\_ b. square feet of Salt Marsh

5.  Project Involves Stream Crossings

\_\_\_\_\_ a. number of new stream crossings

\_\_\_\_\_ b. number of replacement stream crossings



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## C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

### Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm).

- a.  Yes  No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581**

2024 \_\_\_\_\_  
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review\*

- Percentage/acreage of property to be altered:
  - (a) within wetland Resource Area \_\_\_\_\_ percentage/acreage
  - (b) outside Resource Area \_\_\_\_\_ percentage/acreage

- Assessor's Map or right-of-way plan of site

- Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*
  - (a)  Project description (including description of impacts outside of wetland resource area & buffer zone)
  - (b)  Photographs representative of the site

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

\*\* MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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**C. Other Applicable Standards and Requirements (cont'd)**

- (c)  MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to “Commonwealth of Massachusetts - NHESP” and **mail to NHESP** at above address

*Projects altering 10 or more acres of land, also submit:*

- (d)  Vegetation cover type map of site

- (e)  Project plans showing Priority & Estimated Habitat boundaries

- (f) OR Check One of the Following

1.  Project is exempt from MESA review.  
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2.  Separate MESA review ongoing.                      a. NHESP Tracking #                      b. Date submitted to NHESP

3.  Separate MESA review completed.  
Include copy of NHESP “no Take” determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

- a.  Not applicable – project is in inland resource area only      b.  Yes       No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Bourne to Rhode Island border, and  
the Cape & Islands:

Division of Marine Fisheries -  
Southeast Marine Fisheries Station  
Attn: Environmental Reviewer  
836 South Rodney French Blvd.  
New Bedford, MA 02744  
Email: [dmf.envreview-south@mass.gov](mailto:dmf.envreview-south@mass.gov)

North Shore - Plymouth to New Hampshire border:

Division of Marine Fisheries -  
North Shore Office  
Attn: Environmental Reviewer  
30 Emerson Avenue  
Gloucester, MA 01930  
Email: [dmf.envreview-north@mass.gov](mailto:dmf.envreview-north@mass.gov)

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP’s Boston Office. For coastal towns in the Southeast Region, please contact MassDEP’s Southeast Regional Office.

- c.  Is this an aquaculture project?                      d.  Yes       No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



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**C. Other Applicable Standards and Requirements (cont'd)**

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?  
a.  Yes  No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?  
a.  Yes  No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?  
a.  Yes  No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?  
a.  Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:  
1.  Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)  
2.  A portion of the site constitutes redevelopment  
3.  Proprietary BMPs are included in the Stormwater Management System.  
b.  No. Check why the project is exempt:  
1.  Single-family house  
2.  Emergency road repair  
3.  Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

**D. Additional Information**

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1.  USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2.  Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.

**Online Users:**  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.



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**D. Additional Information (cont'd)**

3.  Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4.  List the titles and dates for all plans and other materials submitted with this NOI.

Plan Set Showing Proposed Sesuit Harbor Improvements (10 Sheets)

a. Plan Title

Tighe & Bond

Tarja L. McGrail, P.E.

b. Prepared By

c. Signed and Stamped by

08/22/2024

1" = 30'

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

5.  If there is more than one property owner, please attach a list of these property owners not listed on this form.

6.  Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7.  Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8.  Attach NOI Wetland Fee Transmittal Form

9.  Attach Stormwater Report, if needed.

**E. Fees**

1.  Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

Fee Exempt

Fee Exempt

2. Municipal Check Number

3. Check date

Fee Exempt

Fee Exempt

4. State Check Number

5. Check date

6. Payor name on check: First Name

7. Payor name on check: Last Name



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## F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, §40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant

3. Signature of Property Owner (if different)

5. Signature of Representative (if any)

2. Date

4. Date

6. Date

*[Handwritten signature]*  
*Elizabeth Sullivan*

*8/29/24*  
*8/29/24*

### For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

### For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

### Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

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I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant	2. Date
3. Signature of Property Owner (if different) <i>Tarja L. McGrail</i>	4. Date
Tarja L. McGrail, P.E.	9/5/2024
5. Signature of Representative (if any)	6. Date

### For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

### For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

### Other:

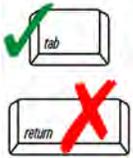
If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

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**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



**A. Applicant Information**

1. Location of Project:

<u>351 Sesuit Neck Road</u>	<u>East Dennis</u>
a. Street Address	b. City/Town
<u>Fee Exempt</u>	<u>Fee Exempt</u>
c. Check number	d. Fee amount

2. Applicant Mailing Address:

<u>Town of Dennis</u>	<u>MA</u>		<u>02660</u>
c. Organization	f. State		g. Zip Code
<u>685 Route 134</u>	d. Mailing Address		
<u>South Dennis</u>	e. City/Town		
<u>508-394-8300</u>	<u></u>	<u></u>	
h. Phone Number	i. Fax Number	j. Email Address	

3. Property Owner (if different):

<u></u>	<u></u>	
a. First Name	b. Last Name	
<u></u>	c. Organization	
<u></u>	d. Mailing Address	
<u></u>	<u></u>	<u></u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email Address

**B. Fees**

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

**Step 1/Type of Activity:** Describe each type of activity that will occur in wetland resource area and buffer zone.

**Step 2/Number of Activities:** Identify the number of each type of activity.

**Step 3/Individual Activity Fee:** Identify each activity fee from the six project categories listed in the instructions.

**Step 4/Subtotal Activity Fee:** Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

**Step 5/Total Project Fee:** Determine the total project fee by adding the subtotal amounts from Step 4.

**Step 6/Fee Payments:** To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



**Tighe&Bond**

**ATTACHMENT 3**

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## Project Narrative

The property situated at 351 Sesuit Neck Road, Dennis, Massachusetts is abutted by a commercial marina facility to the north, an undeveloped parcel of land and salt marsh to the south, Sesuit Harbor to the east, and by the road and a residential neighborhood to the west. Within the confines of the property, wetland resources areas are identified, including a Coastal Bank, FEMA designated flood zones AE 14 and AE 15, and a salt marsh. Existing infrastructure on-site comprises office and garage buildings utilized by the Dennis Harbormaster's Department, along with a public restroom/ comfort station and a public boat ramp facility with associated piers and docks. Additionally, the property is improved with a paved parking area generally used by passenger vehicles and a gravel parking area that accommodates vehicles towing boat trailers.

Stormwater runoff is partially controlled via catch basin/ leaching catch basin systems that include outlet pipes that discharge runoff toward the harbor in two locations. Additionally, it appears that runoff from the existing parking areas flows offsite toward the coastal bank, boat ramp and harbor, indicating the need for improved stormwater management onsite as part of the site redevelopment plan. Wastewater management on the premises is facilitated through a conventional gravity sewage disposal system.

The proposed improvement project at this site includes enhancements to the functionality, accessibility, and sustainability of the property while ensuring compliance with regulatory requirements and environmental considerations. The plan includes upgrades to existing infrastructure, notably the removal of the existing office, garage, and restroom facility building and replacement with two new buildings that will improve operational efficiency for the Harbormaster department and provide improved facilities for the public utilizing the waterfront.

The design of the proposed harbormaster building incorporates a pile foundation strategy to elevate its first floor, ensuring it sits at least one foot above the base flood elevation specified by FEMA for the area, designated as AE elevation 14. This proactive measure provides a significant improvement over the existing office building and comfort station buildings, slated for removal, which currently rest on conventional foundations positioned below the base flood elevation. By raising the structure, the new building's flood resilience is substantially enhanced. Additionally, the proposed garage building will feature a slab with a grade beam and foundation wall system supported by helical piles. Engineered flood vents will be integrated into the garage to meet building code requirements and bolster the structure's resilience during flood events. Notably, the elevation of the proposed garage slab surpasses that of the existing garage slab, further mitigating flood risks.

The site redevelopment includes reconfiguration of the parking areas to improve site circulation for passenger vehicles, vehicles towing trailers that are accessing the boat ramp, and for pedestrians. The proposed parking lot will be paved and include stormwater management systems designed to capture, treat, and provide ground water recharge for stormwater runoff generated on the site. Overall, the proposed system will be a great enhancement over the existing conditions as it will provide management and treatment of runoff that is currently discharging toward the coastal bank and harbor untreated. The proposed stormwater management system is described in greater detail in the stormwater management report.

The redevelopment also includes improvements to the treatment of wastewater on the site. This project will include removal of the existing sewage disposal system and replacement with a sewage disposal system that includes innovative/alternative (I/A) treatment.

Overall, the site redevelopment will result in a decrease in 6,184 s.f. of impervious coverage within the 0-50 foot buffer to the top of coastal bank, and 519 s.f. reduction in impervious coverage within the 50-100 foot buffer to the top of coastal bank. There will be an increase in roof area within the 0-50 foot buffer; however, it is important to note that since the proposed harbor master building will be elevated on piles the area below the building foot print will be mostly pervious.

In addition to an overall reduction in impervious paved surface within the buffer zone to the top of coastal bank, and 4,600 s.f. area of existing hardscape (e.g., paved and gravel driveway & parking surfaces) located within the 0-50 foot buffer to the top of coastal bank will be naturalized and planted with native plants. Additionally, 450 s.f. of existing hardscape (e.g., paved and gravel driveway & parking surfaces) located within the 50-100 foot buffer to the top of coastal bank will be naturalized and planted with native plants

## **Wetland Resource Areas and Performance Standards**

The Resource Areas are covered under the 310 CMR 10.00: Wetlands Protection Act Regulations as well as the Town of Harwich Wetland Protection Regulations. The potential impacts to these Resource Areas based on the Performance Standards under both the State and Local Wetland Protection Regulations are addressed in the following sections:

## **State Wetlands Protection Act 310 CMR 10.00**

### **10.30: Coastal Banks**

(3) No new bulkhead, revetment, seawall, groin or other coastal engineering structure shall be permitted on such a coastal bank except that such a coastal engineering structure shall be permitted when required to prevent storm damage to buildings constructed prior to the effective date of 310 CMR 10.21 through 10.37 or constructed pursuant to a Notice of Intent filed prior to the effective date of 310 CMR 10.21 through 10.37 (August 10, 1978), including reconstructions of such buildings subsequent to the effective date of 310 CMR 10.21 through 10.37, provided that the following requirements are met:

- (a) a coastal engineering structure or a modification thereto shall be designed and constructed so as to minimize, using best available measures, adverse effects on adjacent or nearby coastal beaches due to changes in wave action, and
- (b) the applicant demonstrates that no method of protecting the building other than the proposed coastal engineering structure is feasible.
- (c) protective planting designed to reduce erosion may be permitted.

### **The proposed project does not include a new Coastal Engineering Structure**

(4) Any project on a coastal bank or within 100 feet landward of the top of a coastal bank, other than a structure permitted by 310 CMR 10.30(3), shall not have an adverse effect due to wave action on the movement of sediment from the coastal bank to coastal beaches or land subject to tidal action.

**A portion of the proposed project is located within 100 feet of the top of Coastal Bank. The project includes 5,050 s.f. of area that will be improved**

**with native plants. There is no anticipated adverse effect due to wave action on the movement of sediment from the coastal bank. All work is taking place within developed areas within the buffer zone.**

(5) The Order of Conditions and the Certificate of Compliance for any new building within 100feet landward of the top of a coastal bank permitted by the issuing authority under M.G.L. c. 131,§ 40 shall contain the specific condition: 310 CMR 10.30(3), promulgated under M.G.L. c. 131,§ 40, requires that no coastal engineering structure, such as a bulkhead, revetment, or seawall shall be permitted on an eroding bank at any time in the future to protect the project allowed by this Order of Conditions.

**This is a redevelopment project for a site that is currently developed with waterfront infrastructure.**

WHEN A COASTAL BANK IS DETERMINED TO BE SIGNIFICANT TO STORMDAMAGE PREVENTION OR FLOOD CONTROL BECAUSE IT IS A VERTICAL BUFFERTO STORM WATERS, 310 CMR 10.30(6) THROUGH (8) SHALL APPLY:

(6) Any project on such a coastal bank or within 100 feet landward of the top of such coastal bank shall have no adverse effects on the stability of the coastal bank.

**Proposed work will not adversely affect the Coastal Bank. This redevelopment project includes measures to enhance the buffer zone to the coastal bank.**

(7) Bulkheads, revetments, seawalls, groins or other coastal engineering structures may be permitted on such a coastal bank except when such bank is significant to storm damage prevention or flood control because it supplies sediment to coastal beaches, coastal dunes, and barrier beaches.

**The proposed project does not include a new Coastal Engineering Structure**

(8) Notwithstanding the provisions of 310 CMR 10.30(3) through (7), no project may be permitted which will have any adverse effect on specified habitat sites of rare vertebrate or invertebrate species, as identified by procedures established under 310 CMR 10.37.

**The project site is outside any NHESP mapped area.**

### **10.32: Salt Marshes**

WHEN A SALT MARSH IS DETERMINED TO BE SIGNIFICANT TO THE PROTECTION OF MARINE FISHERIES, THE PREVENTION OF POLLUTION, STORM DAMAGE PREVENTION OR GROUND WATER SUPPLY, 310 CMR 10.32(3) THROUGH (6) SHALL APPLY:

(3) A proposed project in a salt marsh, on lands within 100 feet of a salt marsh, or in a body of water adjacent to a salt marsh shall not destroy any portion of the salt marsh and shall not have an adverse effect on the productivity of the salt marsh. Alterations in growth, distribution and composition of salt marsh vegetation shall be considered in evaluating adverse effects on productivity. 310 CMR 10.32(3) shall not be construed to prohibit the harvesting of salt hay.

**No work is being proposed in the Salt Marsh**

(4) Notwithstanding the provisions of 310 CMR 10.32(3), a small project within a salt marsh, such as an elevated walkway or other structure which has no adverse effects other than blocking sunlight from the underlying vegetation for a portion of each day, may be permitted if such a project complies with all other applicable requirements of 310 CMR 10.21 through 10.37.

**No work is being proposed in the Salt Marsh**

(5) Notwithstanding the provisions of 310 CMR 10.32(3), a project which will restore or rehabilitate a salt marsh, or create a salt marsh, may be permitted in accordance with 310 CMR 10.11 through 10.14, 10.24(8), and/or 10.53(4).

**No work is being proposed in the Salt Marsh**

(6) Notwithstanding the provisions of 310 CMR 10.32(3) through (5), no project may be permitted which will have any adverse effect on specified habitat sites of Rare Species, as identified by procedures established under 310 CMR 10.37.

**No work being proposed will affect Rare Species, as the project is located outside of Rare Species Habitat**

**Land Subject to Coastal Storm Flowage**

The MA DEP Wetland Regulations set forth in 310 CMR 10.00 contain no performance standards for work within LSCSF.

# Harwich Wetlands Protection

## The Town of Harwich Wetland Protection Regulations

### 1.08 COASTAL BANK PROTECTION

#### 3. STANDARDS

a. When a proposed project involves dredging, removing, filling, or altering a coastal bank, the Commission shall presume that the area is significant to the following interests: flood control, storm damage prevention, prevention of pollution, protection of shellfish habitat, protection of fisheries, protection of wildlife habitat, and erosion control. This presumption may be overcome by making a clear and convincing showing that the coastal bank in question does not play a significant role in the protection of these interests.

b. The Commission shall also presume that a coastal bank is significant to storm damage prevention and flood control both because it is a vertical buffer to storm waters and it supplies sediment to a coastal beach, coastal dune, or barrier beach. The presumption relating to either of these interests can be overcome only by a clear and convincing showing that the coastal bank in question does not play a role in the protection of these interests. This showing may include, but not be limited to, studies of bank composition, erosion rates, destination of eroded materials, and historical data.

1. Coastal Banks Significant To Storm Damage Prevention and Flood Control as Vertical Buffers and As Sources of Sediment to Coastal Beaches, Dunes and Barrier Beaches

Where a coastal bank is significant to storm damage prevention and flood control because it is both a vertical buffer to storm waters and it supplies sediment to a coastal beach, dune, or barrier beach; no new bulkhead, revetment, seawall, groin, or other ECS shall be permitted on that coastal bank. However, the Commission has the discretion to permit such a structure if, in its judgment, such a structure is required – and there is no reasonable alternative method of protection – to prevent storm damage to buildings constructed prior to August 10, 1978 [see 310 CMR 10.30 (3)], and buildings reconstructed subsequent to that date but prior to the adoption of these regulations, unless the Order of Conditions under which such reconstruction was performed contains a prohibition against construction of such a CES, including, but not limited to, a bulkhead, revetment, or seawall.

2. Coastal Banks Significant To Storm Damage Prevention or Flood Control as Vertical Buffers to Storm Waters Where a coastal bank is determined to be significant to storm damage prevention and/or flood control solely because it is a vertical buffer to storm waters, and the bank is not found to be significant to storm damage prevention or flood control because it supplies sediment to a coastal beach, dune, or barrier beach, the Commission may, but is not required to, permit construction of bulkheads, revetments, seawalls, groins, or other CES designed to alter wave, tidal,

or sediment transport processes in order to protect inland or upland buildings from the effects of such processes.

#### 4. GENERAL GUIDELINES

a. In instances where any bank stabilization efforts are permissible, soft structure solutions are preferred.

**The proposed project does not include bank stabilization.**

b. In instances where they are allowable, a CES will be permitted only after the applicant has shown that there are no technically-feasible alternatives. The applicant shall be required to show that soft structure alternatives have been tried and failed. Even when a CES is proven to be essential, the Commission may require small low structures that provide protection from chronic erosion but will be overtopped by storm waves during catastrophic events.

**No CES structures are being proposed.**

c. All coastal engineered structures will be designed to have minimal impact on beaches or other seaward resource areas.

**No CES structures are being proposed.**

d. Beach re-nourishment to maintain the beach profile will be required when new coastal engineering structures on coastal banks are approved.

**This project does not include coastal beach nourishment.**

e. A "return" must be designed to avoid end scour on neighboring properties. A return is the end of a coastal engineering structure that gets turned in landward, typically at a 45 degree angle, which minimizes erosion at the ends of the structure. The return shall be set back not less than 15 feet from the applicant's lot line to prevent accelerated erosion on abutting properties.

**No CES structures are being proposed.**

f. The purpose of 310 CMR 10.30 and these Regulations is to offer protection, where appropriate, to existing structures. A proposal to armor vacant land will only be considered if submitted jointly with abutting applicants to form a "coastal system" and where there is clear and convincing evidence that erosion endangers buildings on adjacent properties eligible for protection under 310 CMR 10.30 and these regulations. In all such cases, soft solutions will be the preferred alternative.

**No CES structures are being proposed.**

g. Where a joint, linked project is submitted to protect several abutting properties, these guidelines will be applied as closely as feasible. So that the project may be properly conditioned and recorded, a separate Notice of Intent will be required for each property.

**No CES structures are being proposed.**

h. Because Harwich beaches are littered with chinkstone from previously constructed revetments, the Commission has determined that chink stone may be permitted only where

the applicant can provide clear and convincing evidence that the stone will remain in place for a period of ten years and/or two major storms. The property owner will be responsible for removal of any stone scattered on the beach as a result of failure of a structure permitted under the provisions of these regulations.

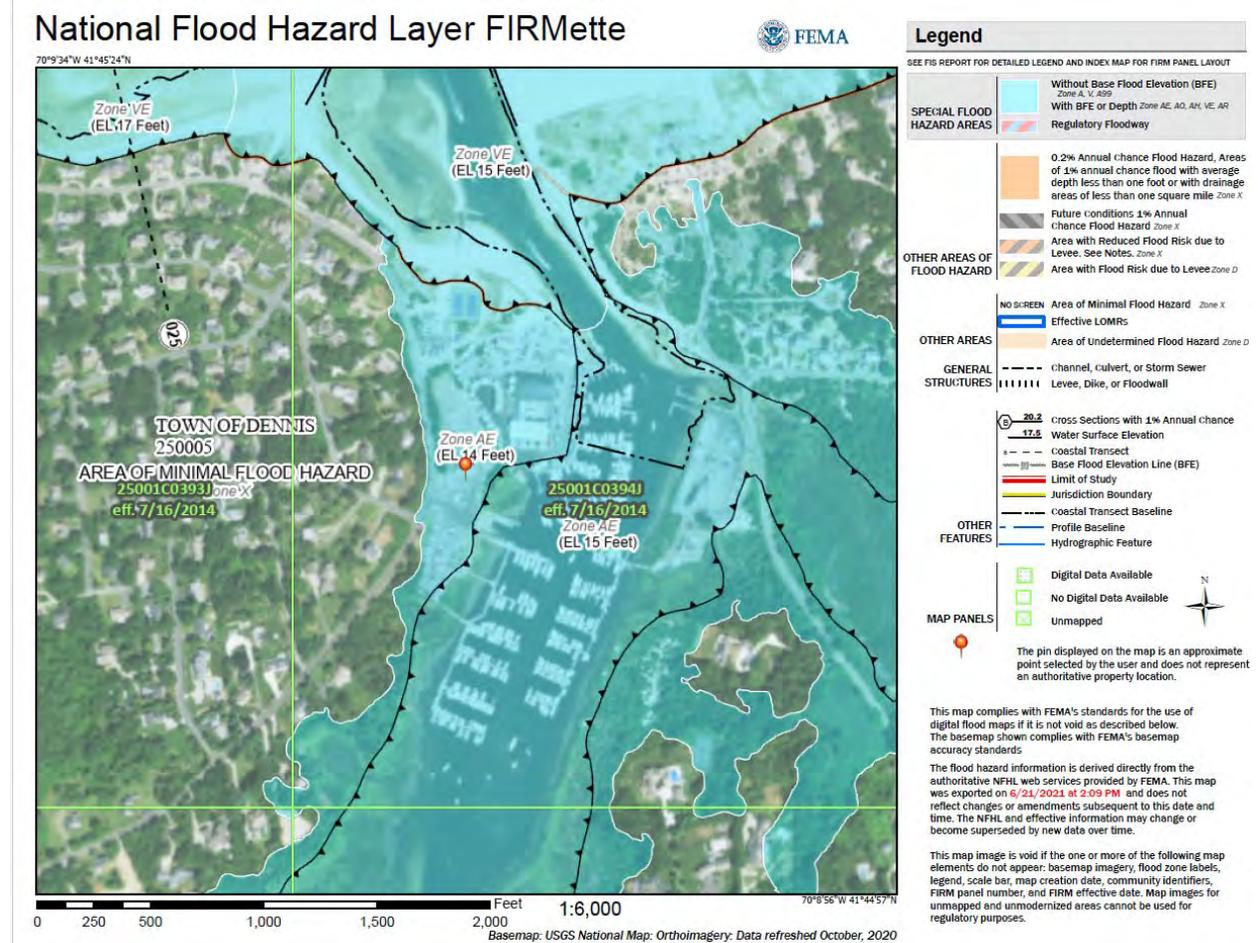
**No Chinkstone is proposed.**

## Other Protected Resource Areas

Other resource areas protected under regulations include FEMA and Natural Heritage Endangered Species Program (NHESP). This property is not in an Area of Critical Environmental Concern (ACEC).

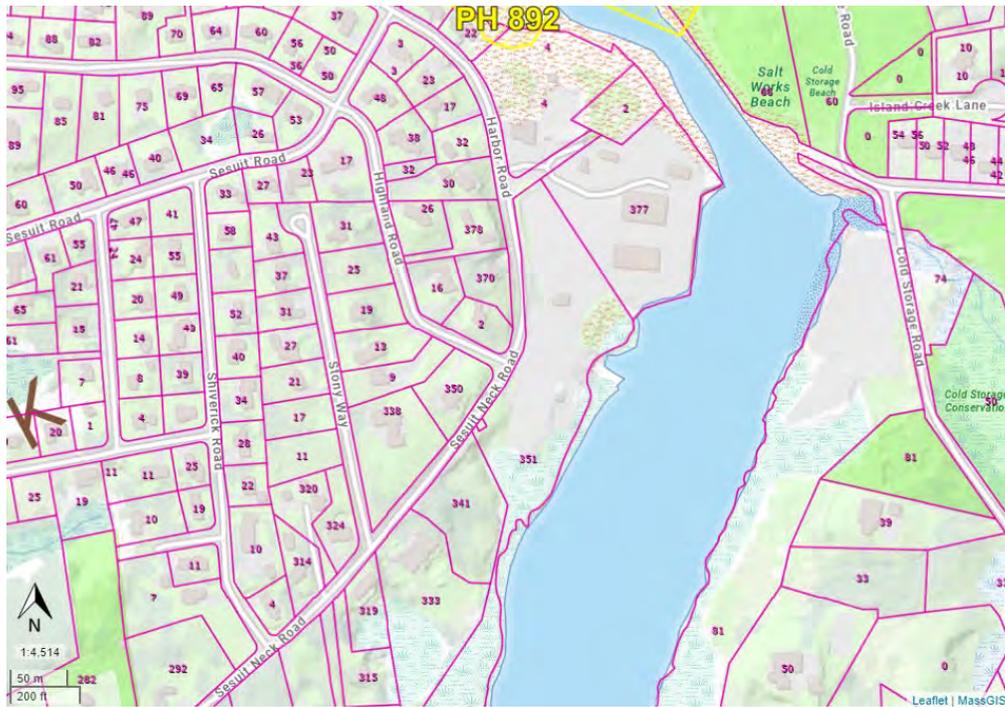
## FEMA

FEMA Firmette for the Project Locus



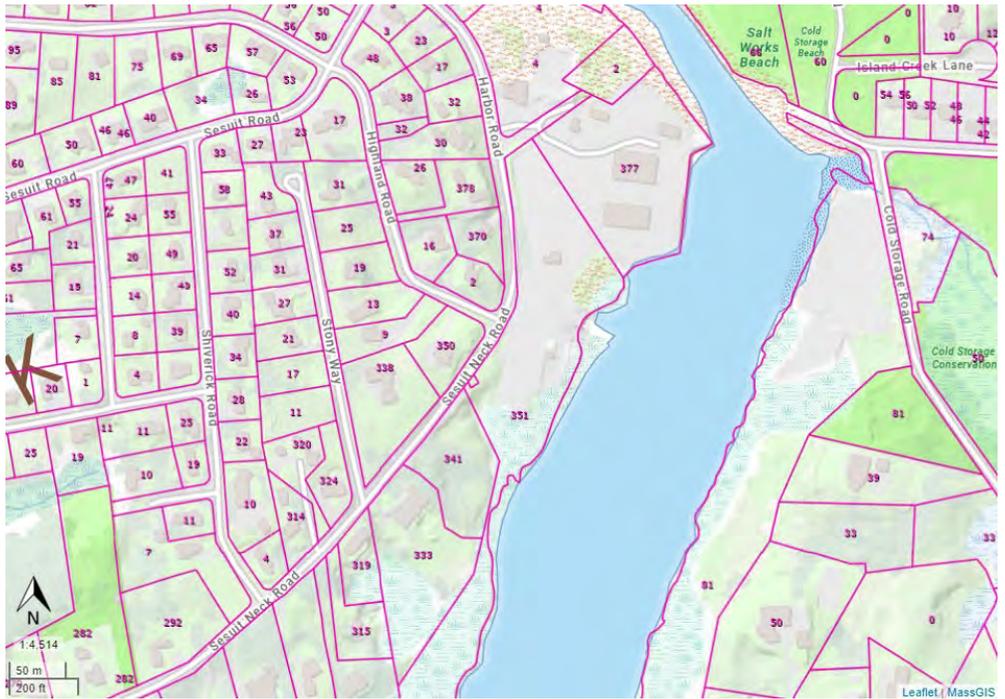
The project area is within the FEMA Flood Zone AE – EL. 14 as shown on the Firm Panel 25001C0394J. Elevations are based on the North American Vertical Datum of 1988 (NAVD88).

### NHESP



The proposed project/limit of work is **NOT** located in an area designated as an Estimated Habitat, or Priority Habitat, therefore, is **NOT** subject to the endangered species protection provisions of the Massachusetts Wetlands Protection Act Regulations (310 CMR 10.37, 10.58(4)(b), & 10.59) and Harwich Conservation Commission review.

### ACEC



The subject property is **NOT** within a mapped Area of Critical Environmental Concern (ACEC).

## Variance Request

We hereby request a variance from the Harwich Wetlands Protection Regulations to allow for proposed work to occur within the 50' "No Disturb Zone".

### **Harwich Wetlands Regulations Section 1.04 RESOURCE PROTECTION AREAS - 3. NO-DISTURB ZONE** states that:

*"The Conservation Commission is entitled to grant variances from the 50' No Disturb Zone when doing so will have a clear benefit to the interests of the Wetland Resource Area. An example of this would be that when tearing down an existing home that is within the 50' No Disturb Zone, which the rebuild of what is in that zone is smaller and/or farther away from the edge of wetland. If the Commission grants a variance for work within the 0-50' Buffer Zone, also known as the 'No Disturb Zone,' or within the Inner Riparian Zone to a River, the Commission shall require at least a 3:1 ratio of mitigation:disturbance on that lot. For activity within the 50-100' Buffer Zone, or within Outer Riparian Zone to a River, the Commission shall require at least a 2:1 ratio of mitigation:disturbance on that lot. Any permitted work that is actually within a wetland shall have a minimum mitigation ratio of 4:1. Mitigation may be in the form of native plantings, the seeding of shellfish, or other Commission-approved mitigation. Mitigation does not include leaving an area in the buffer zone undisturbed.*

**The work taking place within the No Disturb Zone is entirely within previously developed areas. The proposed parking area will be located further from the top of coastal bank than it does under the existing site conditions. The proposed harbormaster building will be elevated on a pile foundation which will allow the area beneath the building to be finished with a pervious surface. An increased native vegetated buffer is proposed upland and adjacent to the top of coastal bank. This native planted area will replace an areas that are currently gravel/ paved areas. This buffer enhancement will offer a greater level of protection for the resource area and enhanced wildlife habitat. The project will result in a clear benefit to the interest of the wetland resource areas.**

## Construction Protocol

### ***Prior to the Start of Construction:***

Prior to the start of any work there will be an on-site meeting to review the Order of Conditions and satisfy the Commission and Conservation Agent. Construction start date to occur upon completion of all pre-construction requirements outlined in the specifications and Order of Conditions, as well as any pre-construction requirements outlined during the pre-construction meeting.

### ***On-Site Meeting:***

Prior to start of construction a meeting will occur to discuss access and general means of construction with the following individuals represented:

Tighe & Bond, Civil Engineer  
General Contractor  
Site Work and Utility Contractor  
Harwich Conservation Commission Representative

To be discussed during this meeting:

- Limit of work and erosion control
- Construction sequencing and schedule
- Necessary post-construction reparations and conditions.
- Procedure for post-construction inspection.
- Project Contacts
- Order of Conditions

During the pre-construction conference, the Engineer and Conservation Agent shall inspect the erosion and sedimentation control barrier. Any deficiencies shall be addressed prior to the commencement of the site work and building construction.

***Pre-Construction Requirements to be Met by Contractor:***

- Proof and Certification of Insurance Coverage
- Waiver, Release and Indemnification
- Posting of DEP sign
- Preparation of a Stormwater Pollution Prevention Plan (SWPPP) plan and obtaining a construction general permit from EPA.

***Pre-Construction Requirements to be Met by Owner:***

Pre-construction photographs of the access, staging area, and project locus.

***Access & Staging:***

The access to the work area will be on the southwest portion of the lot. Contractors and all heavy machinery will be confined to the limit of work specified on plan.

***Equipment:***

During the course of construction, the following equipment is anticipated:

- Excavator for demolition and excavation.
- Construction vehicles
- Generator for power tools.
- Miscellaneous hand tools.

***Work Completion:***

Upon completion of the construction, all disturbed surfaces to be stabilized and finished in accordance with permit plans.

The Contractor is to notify the Engineer for a meeting with the parties taking part in the pre-construction meeting, prior to removal of equipment. Deficiencies will be identified to the Contractor on site stabilization requirements, and re-vegetation, which will be performed under the direction of the project team.

***Post Construction Photographs:***

The Town/Architect shall supply the Conservation Commission with post-construction photographs of the access and staging area, and the project locus, as well as the final vegetation plantings.

## **Summary and Recommendations**

This project has been designed to have no adverse effects on the wetlands resource areas or wildlife habitats. Each performance standard under the State and Local regulations has been addressed. As the project will be a clear improvement over the existing condition, we feel that a variance for work within the No Disturb Zone can be administered.

The information provided adequately describes the project and the design considerations taken to prevent adverse impacts to the wetland resource areas. We, therefore, believe that the project can be conditioned for approval and look forward to presenting the project before the Commission.

**Tighe&Bond**

**ATTACHMENT 4**



TOWN OF DENNIS, MA  
 BOARD OF ASSESSORS  
 685 Route 134, South Dennis, MA 02660

ABUTTERS' NAMES AND ADDRESSES  
 CERTIFIED ACCORDING TO THE  
 ASSESSING DEPARTMENTS MOST  
 RECENT COMPUTERIZED TAX LIST  
 (40A Sec. 11)

Town of DENNIS Abutters Within 100 feet of Parcel 410/23/0



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
15822	380-37-0-E	TOWN OF DENNIS CONSERVATION COMMISSION	1820 ROUTE 6A ED	665 ROUTE 134	SOUTH DENNIS	MA	02660
16542	410-22-0-R	MAGLIOZZI JAMES A ET UX MAGLIOZZI HEATHER J	333 SESUIT NECK ROAD ED	66 COLBERT ROAD EAST	WEST NEWTON	MA	02465
16543	410-23-0-E	TOWN OF DENNIS COMMON LANDING	351 SESUIT NECK ROAD ED	685 ROUTE 134	SOUTH DENNIS	MA	02660
16558	410-39-0-R	CAPLAN WILLIAM F ET UX C/O BLUEBERRY SCONES LLC	338 SESUIT NECK ROAD ED	12 WOODCLIFF ROAD	WELLESLEY	MA	02481
16560	410-40-0-R	HISLOP PATRICIA M	350 SESUIT NECK ROAD ED	P O BOX 981	EAST DENNIS	MA	02641
16563	410-43-0-R	MURPHY PAUL MURPHY LISA	2 HIGHLAND ROAD ED	P O BOX 1654	EAST DENNIS	MA	02641
16564	410-44-0-R	MCNAMARA MARIANNE C/O MCNAMARA ERIAN A	370 SESUIT NECK ROAD ED	707 KAYWOOD DRIVE	ORLANDO	FL	32825
16565	410-45-0-R	PETERS WALTER T TRUSTEE PETERS FAMILY TRUST	378 SESUIT NECK ROAD ED	P.O. BOX 111	EAST DENNIS	MA	02641
16566	410-46-0-R	CORSINI RUSSELL V JR TRUSTEE RUSSELL V CORSINI JR 2002 TR	315 SESUIT NECK ROAD ED	14 ALGONQUIAN DR	NATICK	MA	01760
16567	410-47-0-R	WHIPPEN WAYNE K WHIPPEN ELLEN M	311 SESUIT NECK ROAD ED	P O BOX 1494	EAST DENNIS	MA	02641
16569	410-50-0-E	TOWN OF DENNIS SHIVERICK SHIPYARD MEMORIAL	351 SESUIT NECK ROAD ED	685 ROUTE 134	SOUTH DENNIS	MA	02660
16576	411-12-0-E	TOWN OF DENNIS PARKING	81 COLD STORAGE ROAD ED	665 ROUTE 134	SOUTH DENNIS	MA	02660
16718	420-11-0-R	DENNIS YACHT CLUB INC	4 HARBOR ROAD ED	P O BOX 556	EAST DENNIS	MA	02641
16719	420-13-0-R	JOYCE MICHAEL J TRUSTEE THIRTY HIGHLAND ROAD NOM TRUST	30 HIGHLAND ROAD ED	21 JARVIS AVENUE	HINGHAM	MA	02043
16745	421-1-0-R	SEARS WILLIAM L TRUSTEE NORTHSIDE MARINA TRUST	377 SESUIT NECK ROAD ED	P O BOX 1415	EAST DENNIS	MA	02641
25834	410-55-0-R	MAGLIOZZI JAMES A TRUSTEE SESUIT HARBOR TRUST	341 SESUIT NECK ROAD ED	66 COLBERT ROAD EAST	WEST NEWTON	MA	02465

C19676\*01  
September 5, 2024

**ABUTTER NOTIFICATION**  
**Massachusetts Wetlands Protection Act**  
**M.G.L. Chapter 131 Section 40**  
**Return Receipt Requested**

Dear Abutter:

In accordance with the second paragraph of Massachusetts General Laws, Chapter 131, Section 40, and the Town of Dennis Wetlands Bylaw, you are hereby notified that the Town of Dennis has filed a Notice of Intent with the Dennis Conservation Commission for the proposed redevelopment of the harbormaster facility, located at 351 Sesuit Neck Road, Map 410, Parcel 23 in Dennis, MA. This work falls within an Area Subject to Protection under the Wetlands Protection Act (M.G.L. c. 131, s.40).

Information regarding the public hearing date, time and place, and/or copies of the Notice of Intent may be examined or obtained at the Dennis Conservation Commission Office located at 685 Route 134, South Dennis, MA 02660, or by calling them at (508) 760-6123.

A remote public hearing will be held **Thursday, September 19, 2024**, at 6:00 pm. Please check the Town of Dennis website for the agenda posting at <https://www.town.dennis.ma.us/474/Conservation-Commission> or call the Conservation Office directly to confirm the meeting time and location. This information will also be published in the local newspaper at least five (5) days prior to the hearing.

You may also contact our office or the Massachusetts Department of Environmental Protection, Southeast Region at (508) 946-2800 for more information about this application or the Wetlands Protection Act.

Very truly yours,

**TIGHE & BOND, INC.**



Carla A. Davis  
Project Planner I

Copy: Mass. DEP/SERO - Wetlands  
Town of Dennis  
Town of Dennis Harbormaster  
Catalyst Architects/Interiors  
Tarja L. McGrail, Project Manager

J:\\_Coastal\Projects\C19\C19676.01 - Catalyst Architecture - STR\Permitting\CIV\Local\Conservation\NOI\Draft\NOI\Abutter Letter.docx



C19676\*01  
September 5, 2024

## **AFFIDAVIT OF SERVICE**

### **Massachusetts Wetlands Protection Act**

### **M.G.L., CH 131, Sec. 40**

I, Carla A. Davis, of Tighe & Bond hereby certify under the pains and penalties of perjury that on September 5, 2024, I sent notification to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131 Section 40 and the Department of Environmental Protection's Guide to Abutter Notification dated April 8, 1994 in connection with the following matter:

A Notice of Intent was filed under the Massachusetts Wetlands Protection Act and the Dennis Wetlands Protection By-law, by the Town of Dennis with the Dennis Conservation Commission on September 5, 2024, for property located at 351 Sesuit Neck Road, Dennis, MA, Map 410 Parcel 23. The project is for the proposed redevelopment of the harbormaster facility.

The form of the notification and a list of the abutters to whom the notice was given, and their addresses are attached to this Affidavit of Service.

Very truly yours,

**TIGHE & BOND, INC.**



Carla A. Davis  
Project Planner I

Enclosures

Copy: Mass. DEP/SERO - Wetlands  
Town of Dennis  
Town of Dennis Harbormaster  
Catalyst Architects/Interiors  
Tarja L. McGrail, Project Manager

J:\\_Coastal\Projects\C19\C19676.01 - Catalyst Architecture -  
STR\Permitting\CIV\Local\Conservation\NOI\Draft\NOI\Affidavit 2.docx

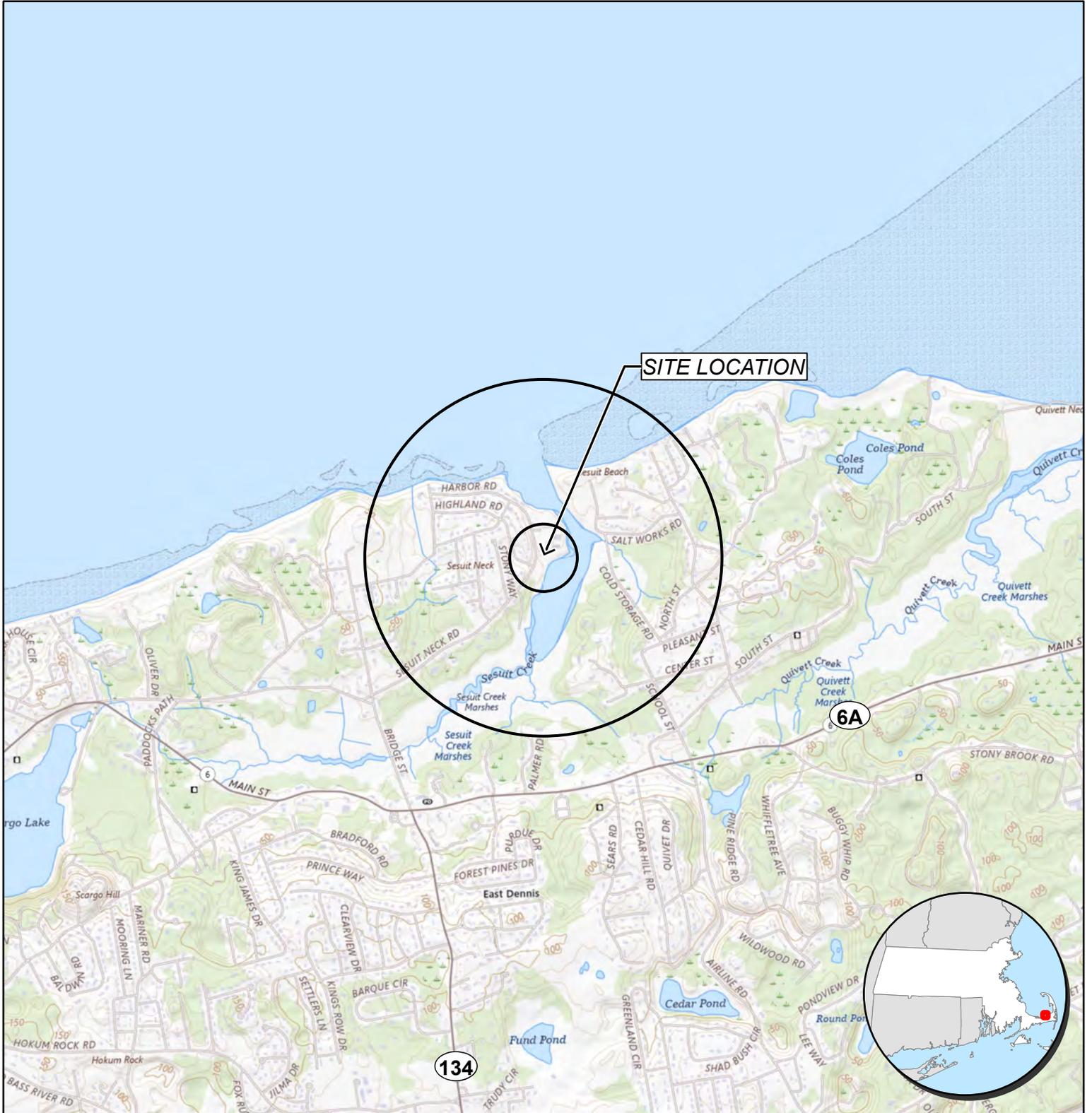


**Tighe&Bond**

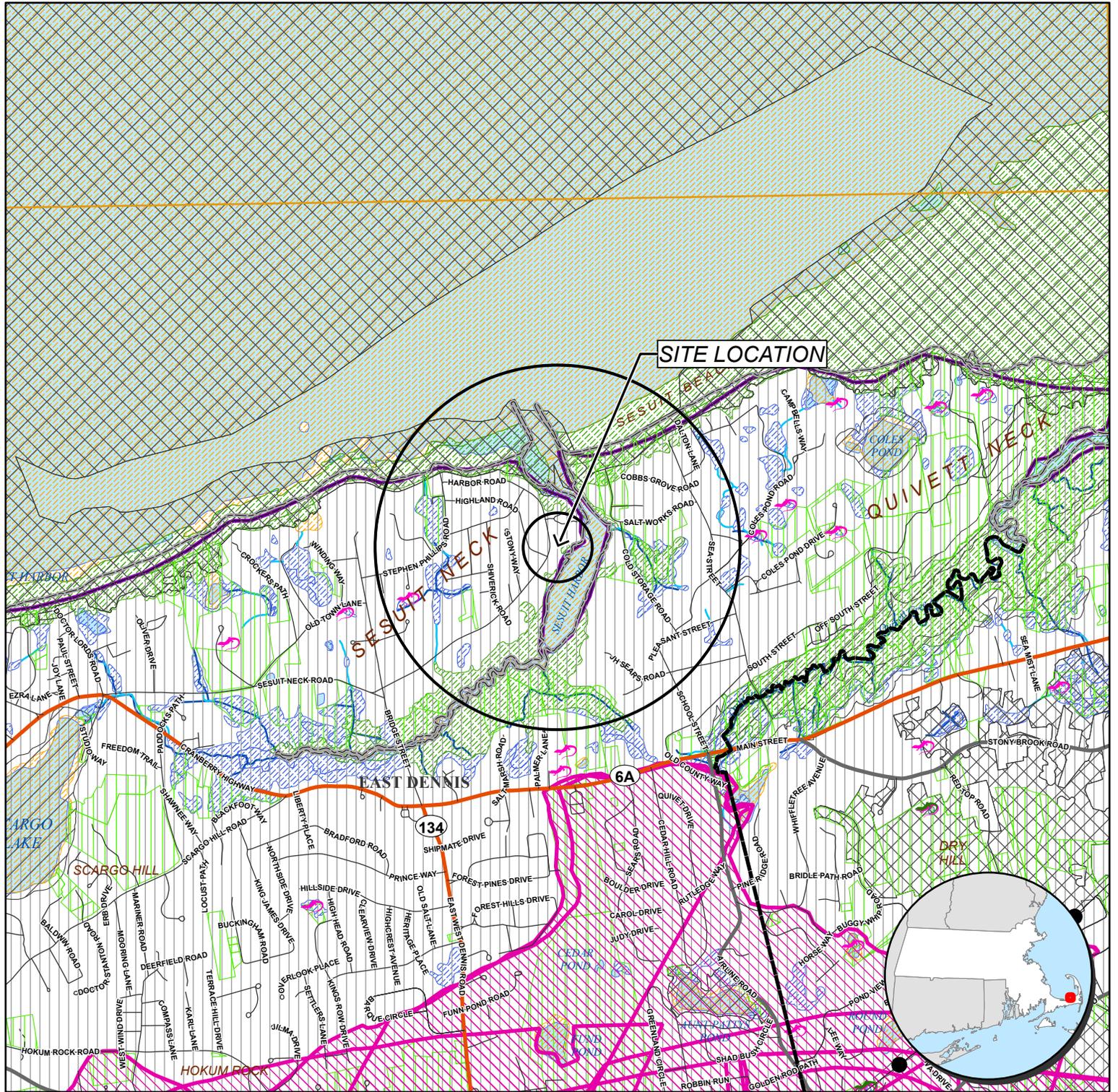
**ATTACHMENT 5**

**FIGURE 1**  
**SITE LOCATION**  
 August 2024

Sesuit Harbormaster  
 351 Sesuit Neck Road  
 Dennis, Massachusetts



**FIGURE 2**  
**PRIORITY RESOURCE**  
 August 2024



- |   |  |   |   |  |
|---|--|---|---|--|
| <ul style="list-style-type: none"> <li> NHESP Certified Vernal Pools</li> <li> NHESP Potential Vernal Pools</li> <li> Non-Landfill Solid Waste Sites</li> <li> Proposed Well</li> <li> Emergency Surface Water</li> <li> Community Public Water Supply - Surface Water</li> </ul> | <ul style="list-style-type: none"> <li> Community Public Water Supply - Groundwater</li> <li> Non-Community Non-Transient Public Water Supply</li> <li> Non-Community Transient Public Water Supply</li> <li> Limited Access Highway</li> <li> Multi-Lane Highway, NOT Limited Access</li> <li> Other Numbered Route</li> <li> Major Road - Arterials and Collectors</li> <li> Minor Street or Road</li> <li> Aqueducts</li> </ul> | <ul style="list-style-type: none"> <li> Hydrologic Connections</li> <li> Stream/Intermittent Stream</li> <li> Powerline</li> <li> Pipeline</li> <li> Track or Trail</li> <li> Trains</li> <li> Public Surface Water Supply Protection Area (Zone A)</li> <li> DEP Approved Wellhead Protection Area (Zone I)</li> <li> DEP Approved Wellhead Protection Area (Zone II)</li> <li> DEP Interim Wellhead Protection Area (IWPA)</li> <li> Protected and Recreational Open Space</li> </ul> | <ul style="list-style-type: none"> <li> Solid Waste Landfill</li> <li> Area of Critical Environmental Concern (ACEC)</li> <li> NHESP Priority Habitats for Rare Species</li> <li> NHESP Estimated Habitats for Rare Wildlife</li> <li> EPA Designated Sole Source Aquifer</li> <li> Major Drainage Basin</li> <li> Sub Drainage Basin</li> <li> MassDEP Open Water</li> <li> MassDEP Inland Wetlands</li> <li> MassDEP Coastal Wetlands</li> <li> MassDEP Not Interpreted Wetlands</li> </ul> | <ul style="list-style-type: none"> <li> Public Surface Water Supply (PSWS)</li> <li> Water Bodies</li> <li> Non-Potential Drinking Water Source Area - High Yield</li> <li> Non-Potential Drinking Water Source Area - Medium Yield</li> <li> Potentially Productive Medium Yield Aquifer</li> <li> Potentially Productive High Yield Aquifer</li> <li> County Boundary</li> <li> Municipal Boundary</li> <li> USGS Quadrangle Sheet Boundary</li> </ul> |
|---|--|---|---|--|

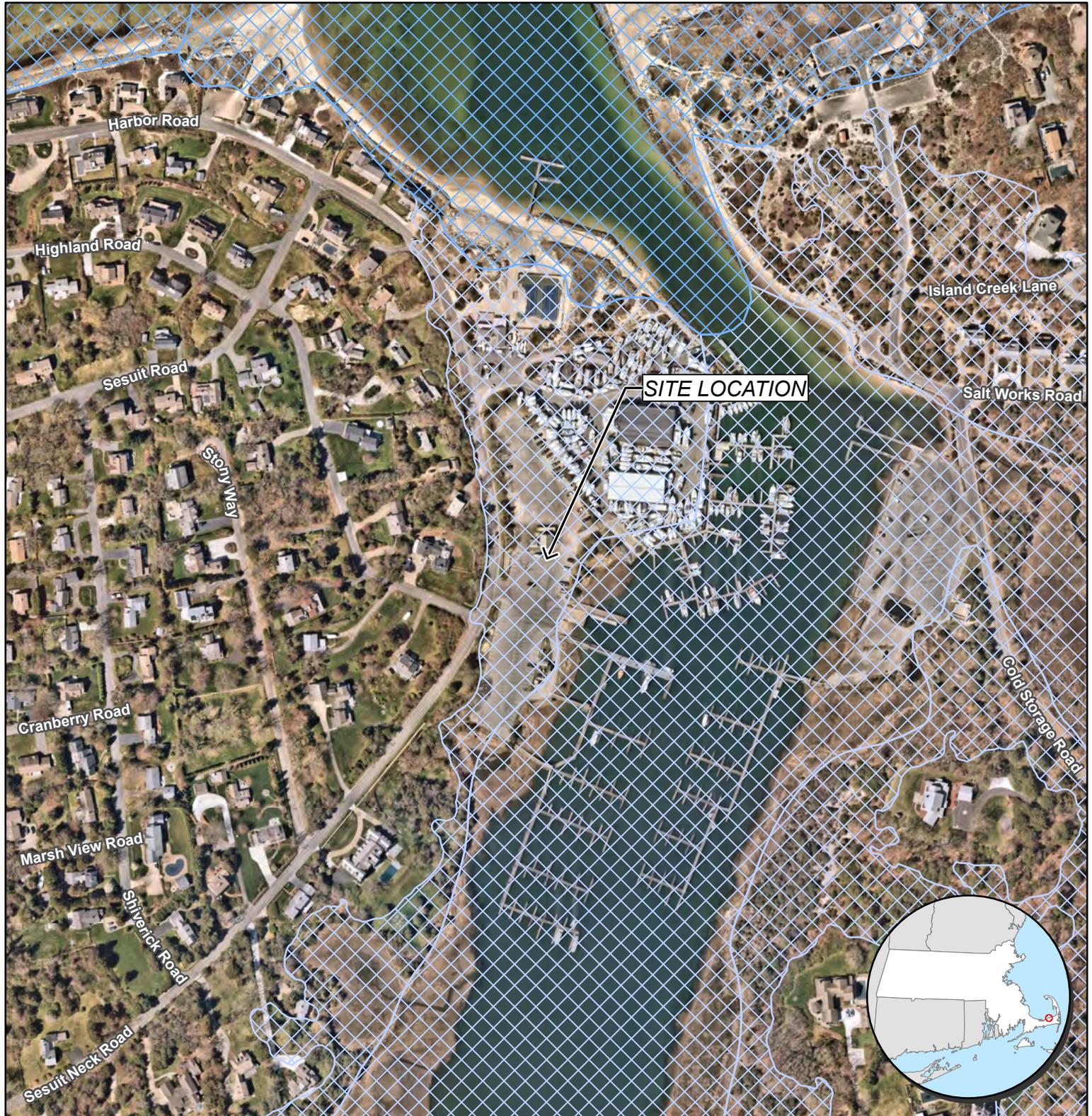
**FIGURE 3**  
**AERIAL**  
August 2024

Sesuit Harbormaster  
351 Sesuit Neck Road  
Dennis, Massachusetts

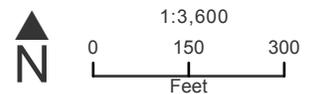


**FIGURE 4**  
**FEMA FLOOD ZONES**  
 August 2024

Sesuit Harbormaster  
 351 Sesuit Neck Road  
 Dennis, Massachusetts



-  100 Year Flood Zone
-  Zone X: Levee Protected
-  100 Year Flood Zone (Coastal)
-  Zone D: Undetermined but Possible
-  500 Year Flood Zone



**Tighe&Bond**

**ATTACHMENT 6**

PREPARED BY:

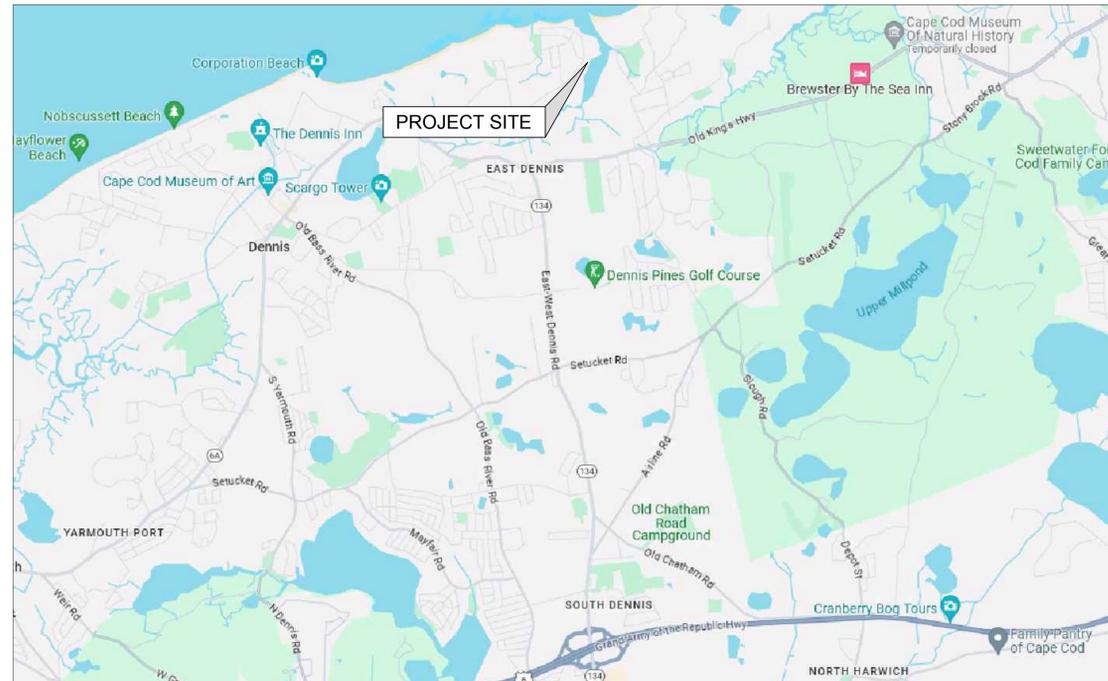


PROJECT NAME:

# CATALYST ARCHITECTURE / INTERIORS SESUIT HARBOR IMPROVEMENTS

PROJECT ADDRESS:

351 SESUIT NECK ROAD  
DENNIS, MA 02660



SITE VICINITY MAP  
SCALE: NTS



SITE LOCATION MAP  
SCALE: NTS



SHEET INDEX

SHEET #	SHEET TITLE	SHEET DESCRIPTION	DATE
01	G-001	COVER SHEET	2024-08-22
02	G-002	LEGEND, ABBREVIATIONS, AND GENERAL NOTES	2024-08-22
03	V-101	EXISTING CONDITIONS PLAN	2021-08-24
04	C-101	DEMOLITION & EROSION CONTROL PLAN	2024-08-22
05	C-102	LAYOUT & MATERIALS PLAN	2024-08-22
06	C-103	GRADING & DRAINAGE PLAN	2024-08-22
07	C-104	UTILITIES PLAN	2024-08-22
08	C-501	SITE DETAILS	2024-08-22
09	C-502	UTILITY DETAILS	2024-08-22
10	L2	HARBORMASTER - LANDSCAPE SITE PLAN	2024-02-02

THIS DRAWING IS PREPARED FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION. CONTRACTOR SHALL OBTAIN FINAL CONSTRUCTION DETAILS FROM THE ENGINEER PRIOR TO PREPARATION OF CONSTRUCTION BID AND BEFORE BEGINNING ANY WORK.

	PROJECT/CLIENT NAME			<h2>CATALYST ARCHITECTURE / INTERIORS SESUIT HARBOR IMPROVEMENTS</h2>			SHEET DESCRIPTION	
	ADDRESS						COVER SHEET	
351 SESUIT NECK ROAD DENNIS, MA 02660							PROJECT STATUS	PERMIT SET
							PROJECT NUMBER	C19676.00
							DATE	2024-08-22
							DRAWN BY	DAP / MDC
							CHECKED BY	SMR / TLM
							SHEET TITLE	
							G-001	
							SHEET NUMBER	
							SHEET 01 OF 10	

ABBREVIATIONS

Table of abbreviations including ABND(D), ABUT, ACC, ADDL, ADJ, APPROX, ASPH, BFP, BL, BSMT, BE, BM, BIT, BOT, BC, BS, BW, BND, BLDG, CATV, CIP, CI, CB, CEM, C-C, CL, CLF, CO, CLR, COL, CONC, CP, CSP, COND, CJ, CMP, CPP, CY, C&G, D, DIA, DR, DMH, DA, DH, DIP, EF, EW, ESMT, E, EC, EOP, ELEC, EMH, ELELEV, ENTR, EX/EXIST, EG, EJ, FF, FH, FES, FLR, FC, FM, FDN, GALV, G, GG, GMH, GRAN, GRAV, GRL, HH, HC, HDPE, HP, HMA, HYD, IN, INV, IP, K, LA, LDN, L, LVC, LTP.

LEGEND

Legend table with columns for EXISTING and PROPOSED symbols. Includes categories like ACCESSIBLE PARKING, BASELINE OFFSET, BOTTOM OF BANK, BOULDER, BOUND, CABLE BOX, CATCH BASIN, CHAIN LINK FENCE, CLEAN-OUT, CONCRETE, CONIFER TREE, DECIDUOUS TREE, DRAIN MANHOLE, DRAINAGE LINE, EARTH, ELECTRIC LINE, ELECTRIC MANHOLE, ELECTRIC METER, ELECTRIC SERVICE, FIRE PROTECTION, FLOOD LIGHT, FORCE MAIN, GAS METER, GUARD RAIL, GUY WIRE, HYDRANT, IRON PIPE, IRRIGATION VALVE, LANDSCAPED AREA, LIGHT POLE, MAILBOX, MAJOR CONTOUR, MINOR CONTOUR, MISCELLANEOUS MANHOLE, MISCELLANEOUS SHRUB, OVERHEAD CABLE LINE, OVERHEAD ELECTRIC LINE, OVERHEAD TELEPHONE LINE, OVERHEAD WIRE, POST, POST RAIL FENCE, PULL BOX, RAILROAD TRACKS, ROD IRON RAIL, SEPTIC MANHOLE, SEPTIC VENT, SEWER FORCE MAIN, SEWER MAIN, SIGN, SILT BARRIER, SPOT ELEVATION, STONE, STONE WALL, SURVEY CONTROL POINT, TELEPHONE BOX, TELEPHONE LINE, TELEPHONE MANHOLE, TEST PIT, TOP OF BANK, TREELINE, UNDERGROUND ELECTRICAL SERVICE, UNDERGROUND GAS SERVICE, UNDERGROUND LINE, UNDERGROUND TELECOM SERVICE, UTILITY POLE, WATER MAIN, WATER SERVICE, WATER SURFACE, WATER VALVE, WELL, WOOD FENCE, WOOD POST.

GENERAL NOTES

- 1. THE SITE IS LOCATED IN DENNIS, MASSACHUSETTS.
2. STANDARD SPECIFICATIONS, WHEN REFERENCED IN THESE DRAWINGS, SHALL MEAN THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION). PARTS OF THE STANDARD SPECIFICATIONS THAT ARE SPECIFICALLY REFERENCED SHALL BECOME PART OF THESE DRAWINGS AS THOUGH STATED HEREIN IN FULL.
3. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE DESIGN PLANS, SPECIFICATIONS, AND THE ORDER OF CONDITIONS ISSUED FOR THE PROJECT.
4. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE MAINTAINED WITHIN THE LIMITS OF THE PROJECT AS SHOWN ON SHEET C-101.
5. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK.
6. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE ORDERING ANY MATERIALS, COMMENCING ANY FABRICATION, OR PERFORMING ANY WORK.
7. THE CONTRACTOR SHALL NOTIFY DIGSAFE AT 1-888-344-7233 AND OTHER UTILITY OWNERS IN THE AREA NOT ON THE DIGSAFE LIST AT LEAST 3 BUSINESS DAYS PRIOR TO ANY DIGGING, TRENCHING, ROCK REMOVAL, DEMOLITION, BORING, BACKFILLING, GRADING, LANDSCAPING, PILE DRIVING, DRILLING, OR ANY OTHER BELOW GRADE OPERATIONS.
8. LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE. IN ADDITION, SOME UTILITIES MAY NOT BE SHOWN. DETERMINE THE EXACT LOCATION OF UTILITIES BY TEST PIT OR OTHER METHODS.
9. NO OPEN TRENCHES WILL BE ALLOWED OVER NIGHT. THE USE OF ROAD PLATES TO PROTECT THE EXCAVATION WILL BE CONSIDERED UPON REQUEST, BUT BACKFILLING IS PREFERRED.
10. MAINTAIN EMERGENCY ACCESS TO ALL PROPERTIES WITHIN THE PROJECT AREA AT ALL TIMES DURING CONSTRUCTION.
11. ALL PROPOSED WORK MAY BE ADJUSTED IN THE FIELD BY THE OWNER'S PROJECT REPRESENTATIVE TO MEET EXISTING CONDITIONS.
12. CONTRACTOR TO OBTAIN, PAY FOR AND COMPLY WITH PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK.
13. BOLD TEXT AND LINES INDICATE PROPOSED WORK. LIGHT TEXT AND LINES INDICATE APPROXIMATE EXISTING CONDITIONS.

SUBMITTALS

- 1. THE CONTRACTOR SHALL SUBMIT ALL REQUIRED SUBMITTALS PER THE STANDARD SPECIFICATIONS FOR MATERIALS, TRAFFIC CONTROL PLAN, AND SUPPORT OF EXCAVATIONS. TEST REPORTS AS REQUIRED AND SHALL BE REVIEWED AND APPROVED BY THE TOWN, ARCHITECT AND/OR ENGINEER.

PRIOR TO CONSTRUCTION

- 1. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES. ANY DISCREPANCIES WITH THE DESIGN PLAN TO BE REPORTED TO THE DESIGN ENGINEER PRIOR TO START OF WORK.
2. SILT BARRIER TO BE INSTALLED ON THE LIMIT OF WORK, NO WORK IS TO BE DONE OUTSIDE OF THE SPECIFIED AREA.

LAYOUT

- 1. THIS PROJECT IS REFERENCED HORIZONTALLY TO THE MASSACHUSETTS STATE PLAN COORDINATE SYSTEM, MAINLAND ZONE, NORTH AMERICAN DATUM OF 1983 (NAD83 (2011) (MYCS2) Epoch 2010.00) AND VERTICALLY TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) BY RTK GPS OBSERVATIONS ON 2020-10-28.
2. THE SURVEY CONTROL SHOWN HEREON WAS ESTABLISHED ON "YYYY-MM-DD" BY COASTAL ENGINEERING COMPANY, INC.
3. THE CONTRACTOR SHALL VERIFY THE SURVEY CONTROL SHOWN HEREON BY APPROPRIATE LAND SURVEYING METHODS. ANY DISCREPANCIES AND THE METHOD OF VERIFICATION USED MUST BE REPORTED TO COASTAL ENGINEERING COMPANY, INC.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ALL LAYOUT WORK FROM THE SURVEY CONTROL SHOWN.

EROSION & SEDIMENT CONTROL NOTES

- 1. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL AND PROTECTION OF DRAINAGE STRUCTURES UNTIL COMPLETION OF SITEWORK AND ESTABLISHMENT OF VEGETATIVE GROUND COVER.
2. THE CONTRACTOR SHALL PRACTICE GOOD HOUSEKEEPING MEASURES DURING THE DAY-TO-DAY OPERATION AT THE SITE. THE SITE SHOULD BE POLICED DAILY TO REMOVE ANY LITTER OR DEBRIS.
3. TEMPORARY SOIL MATERIAL STOCKPILES SHALL BE SURROUNDED WITH SILTATION BARRIER ON THE DOWNGRADIENT SIDE TO PREVENT DISCHARGE OF SEDIMENT FROM SITE. MATERIAL STOCKPILES THAT ARE IN PLACE FOR AN EXTENDED PERIOD OF TIME SHALL BE STABILIZED WITH VEGETATION, MULCHING, EROSION CONTROL BLANKETS, AND OTHER MEASURES THAT ARE NECESSARY TO PREVENT THE DISCHARGE OF SEDIMENT FROM THE PROJECT SITE.
4. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.
5. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
6. PROVIDE ALL EROSION AND SEDIMENT CONTROL MEASURES SHOWN, SPECIFIED, REQUIRED BY PERMIT, AND/OR REQUIRED BY THE ENGINEER PRIOR TO ANY CONSTRUCTION OR IMMEDIATELY UPON REQUEST. MAINTAIN SUCH CONTROL MEASURES UNTIL FINAL SURFACE TREATMENTS ARE IN PLACE AND/OR UNTIL PERMANENT VEGETATION IS ESTABLISHED. INSPECT AFTER EACH RAINSTORM AND DURING MAJOR STORM EVENTS TO CONFIRM THAT ALL SEDIMENTATION AND EROSION CONTROL MEASURES REQUIRED ARE IN PLACE AND EFFECTIVE.
7. PRIOR TO STARTING WORK, CLEARLY MARK WORK LIMITS. DO NOT DISTURB THE AREA BEYOND THE PROPOSED LIMITS. COORDINATE WITH THE ENGINEER FOR LOCATIONS OF TEMPORARY STOCKPILING OF TOPSOIL DURING CONSTRUCTION.
8. INSTALL SILT SACKS OR OTHER APPROVED SEDIMENTATION BARRIERS IN ALL CATCH BASINS IN THE PROJECT AREA.
9. COMPACT, STABILIZE, AND LOAM AND SEED SIDE SLOPES, SHOULDER AREAS AND DISTURBED VEGETATED AREAS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND AS REQUIRED BY PERMITS. GRADE SIDE SLOPES, SHOULDER AREAS AND DISTURBED VEGETATED AREAS TO A MAXIMUM SLOPE OF 3 HORIZONTAL TO 1 VERTICAL (3H:1V), WHERE POSSIBLE PROVIDE BIODEGRADABLE EROSION CONTROL BLANKETS TO PREVENT EROSION WHERE SLOPES ARE STEEPER THAN 3H:1V.
10. REMOVE AND PROPERLY DISPOSE OF SILT TRAPPED AT BARRIERS IN UPLAND AREAS OUTSIDE BUFFER ZONES. REMOVE MATERIALS DEPOSITED IN ANY TEMPORARY SETTLING BASINS AT THE COMPLETION OF THE PROJECT. RESTORE ALL DISTURBED AREAS TO THEIR PRE-CONSTRUCTION CONDITION.
11. SWEEP, COLLECT, REMOVE AND DISPOSE OF ANY SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS AT THE END OF EACH DAY.
12. ALL HYDRAULIC EQUIPMENT SHALL UTILIZE BIODEGRADABLE, VEGETABLE BASED, NON-TOXIC AND NON-POLLUTING HYDRAULIC FLUID.
13. STORE FUEL, OIL, PAINT, OR OTHER HAZARDOUS MATERIALS IN A SECONDARY CONTAINER AND REMOVE TO A SECURE LOCKED AND COVERED AREA DURING NON-WORK HOURS.
14. PROVIDE A SUPPLY OF ABSORBENT SPILL RESPONSE MATERIALS SUCH AS BOOMS, BLANKETS, AND OIL ABSORBENT MATERIALS AT THE CONSTRUCTION SITE AT ALL TIMES TO CLEAN UP POTENTIAL SPILLS OF HAZARDOUS MATERIALS. IMMEDIATELY REPORT SPILLS OF HAZARDOUS MATERIALS TO THE STATE ENVIRONMENTAL AGENCY AND THE MUNICIPALITY WHERE THE WORK IS OCCURRING.

GENERAL EARTHWORK

- 1. EXCAVATION SLOPE GEOMETRY AND THE PROTECTION OF THE EXISTING UTILITIES AND STRUCTURES ADJACENT TO THE WORK AREA IS THE CONTRACTOR'S RESPONSIBILITY. PRIOR TO EXCAVATION, SAWCUT THE EXISTING ASPHALT PAVEMENT WITHIN THE APPROXIMATE LIMITS OF THE EXCAVATION TO PROVIDE A CLEAN AND STRAIGHT LINE FOR SURFACE RESTORATION.
2. THE EXCAVATION BOTTOM SHALL BE CAREFULLY SHAPED TO CONFORM TO THE SHAPE OF THE FOUNDATION. THE PREPARED EXCAVATION BOTTOM SHALL BE FREE OF ORGANIC MATERIAL, LARGE STONES OR BOULDERS, AND SIMILAR OBJECTS/MATERIALS.
3. THE BOTTOM OF EXCAVATION AND/OR REMOVAL OF WATER TABLE MATERIAL SHALL BE INSPECTED BY THE ENGINEER PRIOR TO PLACEMENT OF STRUCTURAL FILL AND/OR CONCRETE WORK.
4. PLACE AND COMPACT BACKFILL TO A DENSITY EQUAL TO THE UNDISTURBED EXCAVATION BOTTOM FROM THE BOTTOM OF THE EXCAVATION TO FOUNDATION BOTTOM ELEVATION, AND AS INDICATED IN THE SPECIFICATIONS AND DETAILS.
5. EXCAVATION SHORING SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED. SUBMITTALS SHALL BE APPROVED BY THE ENGINEER PRIOR TO EXCAVATION.
6. FOUNDATION MATERIAL SHALL BE EXCAVATED ONSITE GRANULAR MATERIAL, FREE FROM STONES, ROOTS, AND ORGANIC MATERIAL, AND OF SUITABLE GRADATION FOR SATISFACTORY COMPACTION. IF EXCAVATED MATERIAL AT A PARTICULAR LOCATION IS NOT AVAILABLE (SEE SECTION MATERIAL HANDLING) OR IS NOT SATISFACTORY, USE IMPORTED GRANULAR MATERIAL CONFORMING TO CONTRACT SPECIFICATIONS.
7. ALL FOUNDATIONS AND SLABS ARE TO BEAR ON UNFROZEN, UNDISTURBED MATERIAL OR UNFROZEN ENGINEERED COMPACTED FILL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT THE SOILS BELOW THE FOOTINGS REMAIN UNFROZEN.
8. ALL COMPACTED FOUNDATION SUB-GRADE FILL MATERIALS SHALL BE FREE OF ORGANIC MATERIAL AND BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, AND OBTAIN A MINIMUM ALLOWABLE BEARING PRESSURE AS SET FORTH ABOVE.
9. SITE TO BE GRADED SMOOTHLY AND EVENLY IN ACCORDANCE WITH THE DESIGN PLANS. CONTRACTOR IS RESPONSIBLE FOR ENSURING A POSITIVE DRAINAGE FLOW TO ALL DRAINAGE INLETS WITHOUT CREATING ANY FLAT SPOTS THAT WILL RESULT IN STANDING WATER.

EARTHWORK MATERIALS

- 1. GRAVEL BORROW, SHALL BE M1.03.0 TYPE B AS SPECIFIED IN THE STANDARD SPECIFICATIONS SECTION M1.03.0: GRAVEL BORROW.
2. CRUSHED STONE, SHALL BE M2.01.4 PER TABLE M2.01.0-1 AS SPECIFIED IN THE STANDARD SPECIFICATIONS SECTION M2.01.0: CRUSHED STONE.
3. PROCESSED GRAVEL BASE, SHALL BE M1.03.1: PROCESSED GRAVEL FOR SUB-BASE AS SPECIFIED IN THE STANDARD SPECIFICATIONS.
4. DENSE SUB-BASE SHALL BE M.2.01.7: DENSE GRADED CRUSHED STONE FOR SUB-BASE AS SPECIFIED IN THE STANDARD SPECIFICATIONS.
5. BITUMINOUS PAVEMENT MATERIALS REFERENCED IN TYPICAL DETAILS SHALL BE IN COMPLIANCE WITH THE MATERIALS SPECIFIED IN SECTION M3: ASPHALTIC MATERIALS IN THE STANDARD SPECIFICATIONS.

CONCRETE NOTES

- 1. ALL CONCRETE WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
A. THE STANDARD SPECIFICATIONS TO DATE.
B. THE AMERICAN CONCRETE INSTITUTE (ACI) "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE": ACI 318-08.
2. CONCRETE SHALL BE PROPORTIONED, MIXED AND PLACED UNDER THE SUPERVISION OF THE APPROVED TESTING AGENCY.
3. ALL CONCRETE MIX DESIGNS SHALL BE SIMILAR TO THAT PROVIDED AND APPROVED BY M&SDOT. VARIATIONS IN THE MIX DESIGN SHALL BE SUBJECT TO THE APPROVAL OF THE ENGINEER. CONCRETE USED IN PRECAST MEMBERS SHALL CONFORM WITH M4.06.01 (HIGH PERFORMANCE CEMENT CONCRETE):
A. 28-DAY STRENGTH = 5,000 PSI
B. MINIMUM CEMENT PER CY OF CONCRETE = 685 LBS
C. AIR ENTRAINED 6.5±1.5%
D. SILICA FUME 6±1% (DRY WEIGHT)
E. MAXIMUM WATER/CEMENT RATIO = 0.40
F. SLUMP = 2 TO 5 IN (TARGET = 4 IN)
G. MAXIMUM SIZE COARSE AGGREGATE = 3/4"
4. ALL CONCRETE SHALL BE AIR-ENTRAINED TO 6.5± 1.5%.
5. CONCRETE SHALL BE CURED FOR A MINIMUM OF SEVEN DAYS BEFORE ANY LOADS ARE APPLIED THERETO.
6. PROVIDE A STEEL TROWELED FINISH FOR SLABS-ON-GRADE AND A BROOM FINISH FOR EXTERIOR SLABS.
7. ALL CONCRETE SHALL BE PLACED IN THE DRY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULFILLING THE TESTING REQUIREMENTS FOR ALL CONCRETE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
9. DURING COLD WEATHER CONDITIONS ADEQUATE EQUIPMENT SHALL BE PROVIDED FOR HEATING CONCRETE MATERIALS AND PROTECTING CONCRETE DURING FREEZING OR NEAR FREEZING WEATHER.
10. DURING HOT WEATHER CONDITIONS, ATTENTION SHALL BE GIVEN TO INGREDIENTS, PRODUCTION METHODS, HANDLING, PLACING, PROTECTION, AND CURING TO PREVENT EXCESSIVE CONCRETE TEMPERATURES OR WATER EVAPORATION THAT WOULD IMPAIR REQUIRED STRENGTH OR SERVICEABILITY OF THE STRUCTURE.
11. ALL EQUIPMENT ANCHOR BOLTS FURNISHED BY EQUIPMENT MANUFACTURER ARE TO BE INSTALLED BY THE CONTRACTOR, AND SHALL BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED AS REQUIRED.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING CONCRETE MIX DESIGNS AND SPECIFICATION SHEETS FOR ALL ADMIXTURES FOR APPROVAL BY THE ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.

PLANTING NOTES

- 1. ALL EXISTING UN-VEGETATED AREAS AND ALL AREAS DISTURBED BY THE PROPOSED CONSTRUCTION WORK LOCATED WITHIN THE LIMITS OF WORK SHOWN ON THE PLANS SHALL BE RE-VEGETATED WITH INDIGENOUS, SALT TOLERANT PLANTINGS TO ENSURE THE ONGOING STABILITY OF THE ROADWAY EMBANKMENT IN THESE AREAS.

THIS DRAWING IS PREPARED FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION. CONTRACTOR SHALL OBTAIN FINAL CONSTRUCTION DETAILS FROM THE ENGINEER PRIOR TO PREPARATION OF CONSTRUCTION BID AND BEFORE BEGINNING ANY WORK.

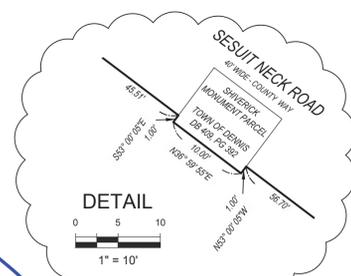
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PROJECT/CLIENT NAME: CATALYST ARCHITECTURE / INTERIORS
ADDRESS: 351 SESUIT NECK ROAD DENNIS, MA 02660



Table with columns: SHEET DESCRIPTION, PROJECT STATUS, PROJECT NUMBER, DATE, DRAWN BY, SHEET TITLE, SHEET NUMBER. Includes 'PERMIT SET', 'C19676.00', '2024-08-22', 'DAP / MDC', 'SMR / TLM', 'LEGEND, ABBREVIATIONS, AND GENERAL NOTES', 'G-002', 'SHEET 02 OF 10'.

MASSACHUSETTS STATE PLANE COORDINATE SYSTEM  
NORTH AMERICAN DATUM OF 1983, MAINLAND ZONE  
(NAD 83 (NAD2011) EPOCH 2010.00)



**ZONING:**

ZONE: RURAL RESIDENTIAL R-60

LOT AREA REQUIREMENTS:  
(OTHER PERMITTED PRINCIPLE STRUCTURES):

AREA 60,000 S.F.  
FRONTAGE 200 FT.  
WIDTH 200 FT.

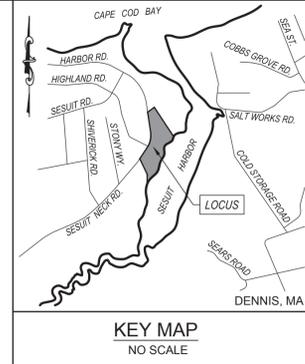
**SETBACKS:**

FRONT 75 FT.  
SIDE 30 FT.  
REAR 30 FT.  
SITE COVERAGE 70%  
HEIGHT (MAXIMUM) 42 FT. OR 3 STORIES

**REFERENCE:**

ASSESSORS MAP 410, PARCEL 23

DEED BOOK 989, PAGE 539  
CERT-DEED #5048  
PLAN BOOK 138 PAGE 123  
PLAN BOOK 159 PAGE 51  
PLAN BOOK 548 PAGE 15



NO.	DATE	REVISION
1	8/24/2021	REMOVE RIVERFRONT BUFFER ZONE

SEAL

PROJECT: CATALYST ARCHITECTURE/INTERIORS  
SEASIT HARBOR WEST MARINA  
351 SESUIT NECK ROAD DENNIS, MA

SHEET TITLE: PLAN SHOWING A PORTION OF EXISTING SITE CONDITIONS

SCALE: AS NOTED

DRAWING FILE: C19676-EXCON.dwg

DATE: 08-11-2021

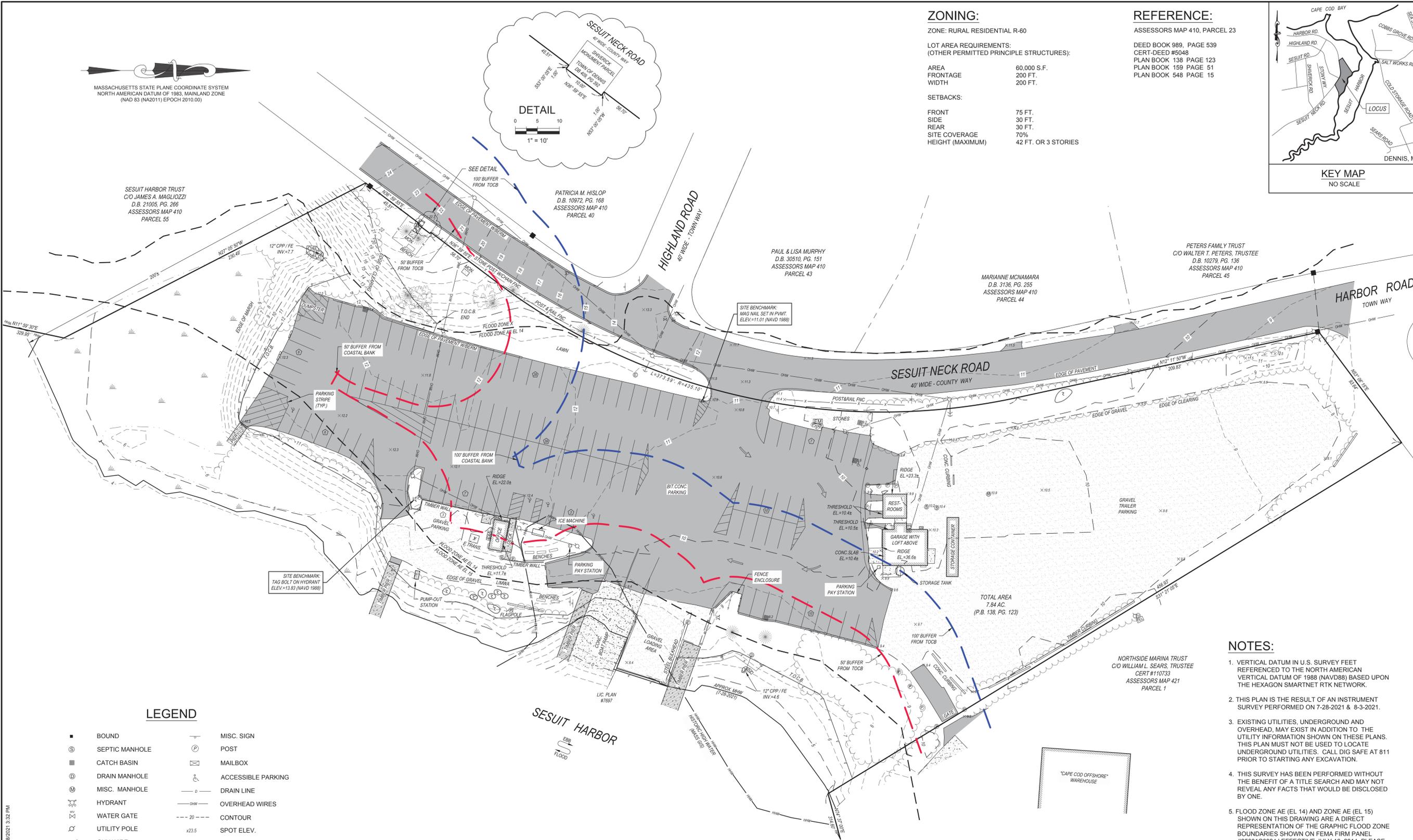
DRAWN BY: JLH/MJB

CHECKED BY: JDM

**V-101**

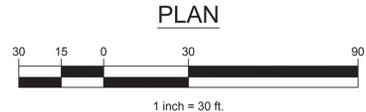
03 OF 09 SHEETS

PROJECT NO. C19676.00



**LEGEND**

- |                    |                         |
|--------------------|-------------------------|
| ■ BOUND            | ⊕ MISC. SIGN            |
| ⊙ SEPTIC MANHOLE   | ⊙ POST                  |
| ▨ CATCH BASIN      | ✉ MAILBOX               |
| ⊙ DRAIN MANHOLE    | ♿ ACCESSIBLE PARKING    |
| ⊙ MISC. MANHOLE    | —○— DRAIN LINE          |
| ⊙ HYDRANT          | —OHW— OVERHEAD WIRES    |
| ⊙ WATER GATE       | - - - 20' - - - CONTOUR |
| ⊙ UTILITY POLE     | +23.5 SPOT ELEV.        |
| ⊙ GUY WIRE         | ⊙ BOULDER               |
| ⊙ ELECTRIC METER   | ⊙ PARKING COUNT         |
| ⊙ PULL BOX         | ⊙ CONIFER TREE          |
| ⊙ ELECTRIC MANHOLE | ⊙ DECIDUOUS TREE        |
| ⊙ GAS METER        |                         |
| ⊙ TELEPHONE BOX    |                         |
| ⊙ CABLE BOX        |                         |



**PLAN**

**NOTES:**

- VERTICAL DATUM IN U.S. SURVEY FEET REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BASED UPON THE HEXAGON SMARTNET RTK NETWORK.
- THIS PLAN IS THE RESULT OF AN INSTRUMENT SURVEY PERFORMED ON 7-28-2021 & 8-3-2021.
- EXISTING UTILITIES, UNDERGROUND AND OVERHEAD, MAY EXIST IN ADDITION TO THE UTILITY INFORMATION SHOWN ON THESE PLANS. THIS PLAN MUST NOT BE USED TO LOCATE UNDERGROUND UTILITIES. CALL DIG SAFE AT 811 PRIOR TO STARTING ANY EXCAVATION.
- THIS SURVEY HAS BEEN PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH AND MAY NOT REVEAL ANY FACTS THAT WOULD BE DISCLOSED BY ONE.
- FLOOD ZONE AE (EL 14) AND ZONE AE (EL 15) SHOWN ON THIS DRAWING ARE A DIRECT REPRESENTATION OF THE GRAPHIC FLOOD ZONE BOUNDARIES SHOWN ON FEMA FIRM PANEL #2500 (C0394J) EFFECTIVE JULY 16, 2014. PLEASE NOTE THAT SITE SPECIFIC FLOODPLAIN BOUNDARIES MAY VARY DUE TO DIFFERENT INTERPRETATIONS OF THESE BOUNDARIES. USERS ARE ADVISED TO VERIFY LOCATION OF THESE BOUNDARIES WITH THE DESIGNATED COMMUNITY FLOODPLAIN MANAGERS AND/OR FEMA PRIOR TO SITING ANY PROPOSED STRUCTURES.
- THIS LIMITED EXISTING CONDITIONS PLAN REPRESENTS THE WEST PARKING LOT AND BOAT RAMP AREA OF THE SESUIT HARBOR MUNICIPAL MARINA AS SHOWN ON PLAN BOOK 138, PAGE 123.

I HEREBY CERTIFY THAT THE CONDITIONS SHOWN HEREON ARE LOCATED AS THEY EXISTED ON THE GROUND AS OF 08-04-2021.

DATE: AUGUST 24, 2021

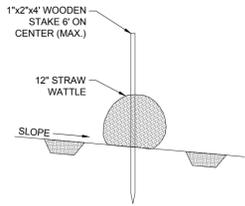


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MASSACHUSETTS STATE PLANE COORDINATE SYSTEM  
NORTH AMERICAN DATUM OF 1983, MAINLAND ZONE  
(NAD83 (2011) (MYCS2) EPOCH 2010.00)

- NOTES:**
- SILTATION BARRIER SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED UNTIL RE-VEGETATION OF AREA DISTURBED BY CONSTRUCTION.
  - AREAS DISTURBED BY CONSTRUCTION SHALL BE RE-VEGETATED PRIOR TO COMPLETION OF PROJECT. SEDIMENT SHALL BE REMOVED FROM BARRIER WHEN DEPTH EXCEEDS 1/3 THE HEIGHT OF THE STRAWBALE.



**EROSION CONTROL DETAIL**  
SCALE: N.T.S.

**EXISTING UTILITY NOTES:**

- SEWER - EXISTING SEWAGE DISPOSAL SYSTEM TO BE PUMPED AND REMOVED PER TITLE 5 REGULATIONS.
- WATER - MAINTAIN AND PROTECT EXISTING WATER SERVICE, HYDRANTS, & ASSOCIATED COMPONENTS AS NOTED FOR RE-USE.
- ELECTRIC - MAINTAIN AND PROTECT EXISTING ELECTRIC SERVICE AS NOTED FOR RE-USE. REFERENCE ELECTRICAL SITE PLAN FOR ADDITIONAL DETAILS.
- GAS - MAINTAIN AND PROTECT EXISTING GAS SERVICE FOR RE-USE.

**CONSTRUCTION PHASING NOTES:**

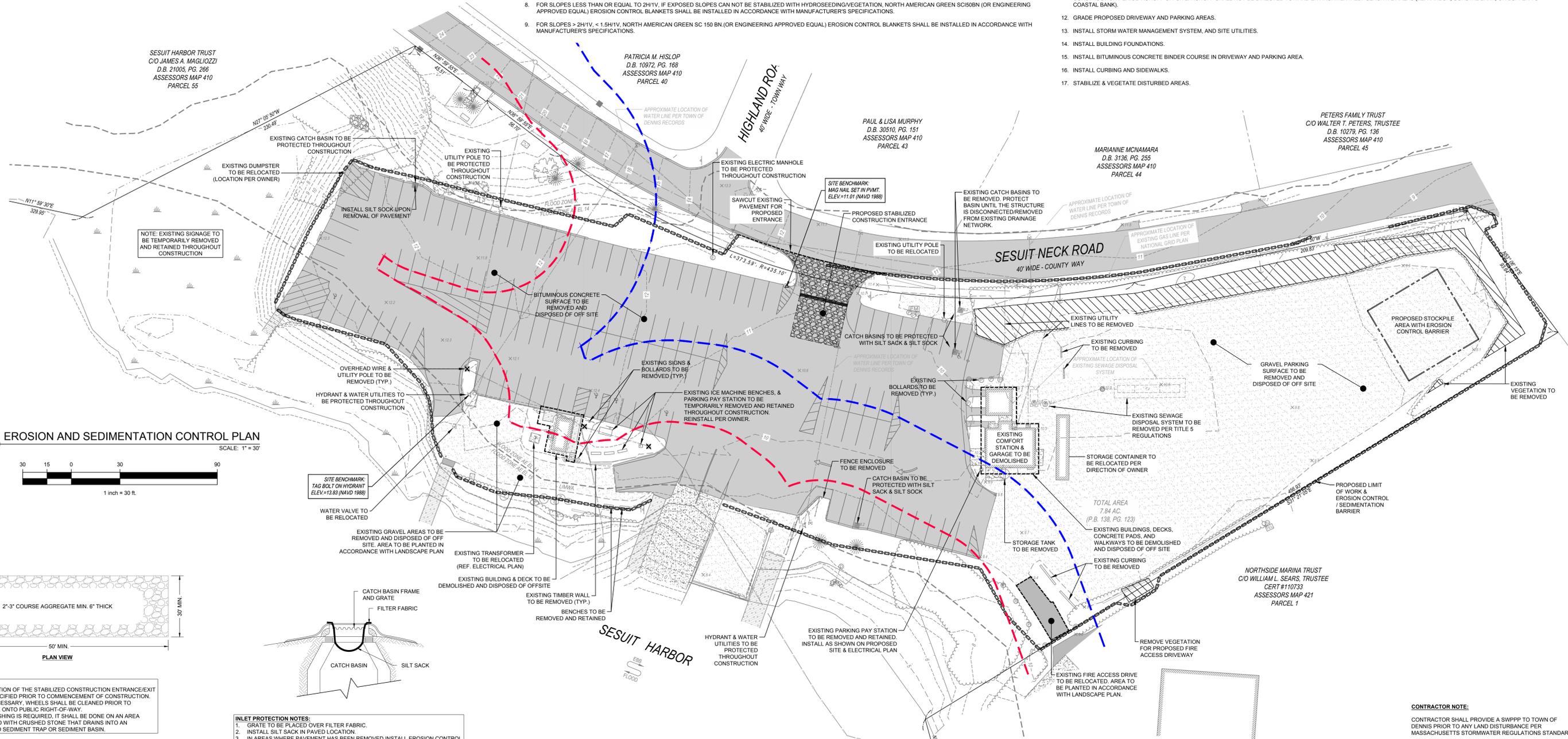
- CONTRACTOR TO PHASE CONSTRUCTION ACTIVITIES TO ALLOW SAFE AND ADEQUATE PEDESTRIAN ACCESS TO THE EXISTING BOAT RAMP AND PIERS.
- CONTRACTOR TO COORDINATE WITH HARBORMASTER TO MAINTAIN ACCESS FOR VEHICLES TO MANUEVER ON SITE AND UTILIZE BOAT RAMP TO LOAD AND UNLOAD BOATS

**CONSTRUCTION NOTES:**

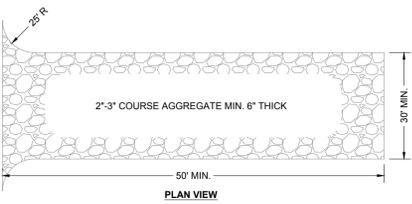
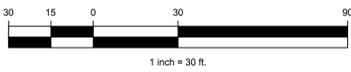
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL AND PROTECTION OF DRAINAGE STRUCTURES UNTIL COMPLETION OF SITEWORK AND ESTABLISHMENT OF VEGETATIVE GROUND COVER.
- THE CONTRACTOR SHALL PRACTICE GOOD HOUSEKEEPING MEASURES DURING THE DAY TO DAY OPERATION AT THE SITE. THE SITE SHOULD BE POLICED DAILY TO REMOVE ANY LITTER OR DEBRIS.
- PRIOR TO CONSTRUCTION, INSTALL PERIMETER SEDIMENT BARRIER IN LOCATION(S) SHOWN ON PLAN. SEDIMENT BARRIER TO BE DOUBLE-STAKED STRAW BALES WITH SILT FENCE OR 12"X4" STAKED COIR LOGS/SILT SOCK.
- TEMPORARY SOIL MATERIAL STOCKPILES SHALL BE SURROUNDED WITH SILTATION BARRIER ON THE DOWNGRADIENT SIDE TO PREVENT DISCHARGE OF SEDIMENT FROM SITE. MATERIAL STOCKPILES THAT ARE IN PLACE FOR AN EXTENDED PERIOD OF TIME SHALL BE STABILIZED WITH VEGETATION, MULCHING, EROSION CONTROL, BLANKETS, AND OTHER MEASURES THAT ARE NECESSARY TO PREVENT THE DISCHARGE OF SEDIMENT FROM THE PROJECT SITE.
- IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.
- LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
- EXCEPT AS PROVIDED BELOW, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
  - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
  - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- FOR SLOPES LESS THAN OR EQUAL TO 2H:1V, IF EXPOSED SLOPES CAN NOT BE STABILIZED WITH HYDROSEEDING/VEGETATION, NORTH AMERICAN GREEN SC150BN (OR ENGINEERING APPROVED EQUAL) EROSION CONTROL BLANKETS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FOR SLOPES > 2H:1V, < 1.5H:1V, NORTH AMERICAN GREEN SC 150 BN, (OR ENGINEERING APPROVED EQUAL) EROSION CONTROL BLANKETS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

**CONSTRUCTION SEQUENCE - SITE WORK:**

- PRIOR TO SITE DISTURBANCE, CONTRACTOR TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND FILE WITH EPA FOR A NPDES CONSTRUCTION GENERAL PERMIT (CGP). A COPY OF THE SWPPP AND CGP SHALL BE SUBMITTED TO THE DENNIS CONSERVATION DEPARTMENT.
- CONTRACTOR TO PROVIDE OWNER WITH CONSTRUCTION SEQUENCING PLAN FOR REVIEW AND APPROVAL. CONSTRUCTION SEQUENCE PLAN TO INCLUDE PLANNING MEASURES TO MAINTAIN SAFE AND ADEQUATE ACCESS TO EXISTING BOAT RAMP.
- 
- AREA WITHIN LIMIT OF WORK TO BE CLEARED AND GRUBBED. THE CONTRACTOR SHALL EMPLOY DUST CONTROL METHODS AND MATERIALS AT ALL TIMES USING SPRINKLED WATER OR OTHER APPROVED MEANS. DO NOT USE OIL OR SIMILAR PENETRANTS. CHEMICAL MATERIALS MAY NOT BE USED ON SUB-GRADES OF AREAS TO BE SEEDED OR PLANTED.
- INSTALL PERIMETER CONSTRUCTION FENCE TO SECURE PROJECT SITE. INSTALL SEDIMENTATION BARRIER AS INDICATED ON PLAN AND MAINTAIN STOCKPILE OF ADDITIONAL SEDIMENTATION BARRIER MATERIALS ONSITE FOR USE IN AREAS EXHIBITING NEED FOR ADDITIONAL REINFORCEMENT. PROTECT EXISTING DRAINAGE INLETS WITHIN AND ADJACENT TO CONSTRUCTION AREA AS NOTED. LOCATION OF CONSTRUCTION FENCE TO BE COORDINATED WITH HARBOR MASTER UPON CONSTRUCTION PHASING.
- INSTALL VEHICLE TRACK PAD AT ENTRANCE.
- LOCATE AREAS OF MATERIALS STORAGE & STOCKPILE. SURROUND MATERIAL STOCKPILES WITH EROSION CONTROL BARRIER.
- MAINTAIN EROSION CONTROL BARRIERS, VEHICLE TRACK PAD, AND DRAIN INLET PROTECTION THROUGHOUT CONSTRUCTION.
- DEMOLISH AND REMOVE EXISTING BUILDINGS, DECKS, ETC.
- REMOVE PAVEMENT AND ROUGH GRADE SITE.
- ADHERE TO SWPPP AND INSTALL TEMPORARY CONSTRUCTION PERIOD RUNOFF MANAGEMENT BMP(S) SUCH AS SEDIMENT BASINS & SWALES AS NECESSARY FOR MANAGEMENT OF CONSTRUCTION PERIOD RUNOFF OFFSITE. RUNOFF SHALL NOT BE DIRECTED TOWARD ENVIRONMENTALLY SENSITIVE AREAS (I.E. HARBOR, COASTAL BANK, OR BUFFER TO COASTAL BANK).
- GRADE PROPOSED DRIVEWAY AND PARKING AREAS.
- INSTALL STORM WATER MANAGEMENT SYSTEM, AND SITE UTILITIES.
- INSTALL BUILDING FOUNDATIONS.
- INSTALL BITUMINOUS CONCRETE BINDER COURSE IN DRIVEWAY AND PARKING AREA.
- INSTALL CURBING AND SIDEWALKS.
- STABILIZE & VEGETATE DISTURBED AREAS.



**1 EROSION AND SEDIMENTATION CONTROL PLAN**  
SCALE: 1" = 30'



- NOTES:**
- THE LOCATION OF THE STABILIZED CONSTRUCTION ENTRANCE/EXIT TO BE SPECIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

- INLET PROTECTION NOTES:**
- GRATE TO BE PLACED OVER FILTER FABRIC.
  - INSTALL SILT SACK IN PAVED LOCATION.
  - IN AREAS WHERE PAVEMENT HAS BEEN REMOVED INSTALL EROSION CONTROL STRAW WATTLE / SILT SOCK TO PROTECT PERIMETER OF STRUCTURE.

**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
SCALE: N.T.S.

**CATCH BASIN INLET PROTECTION DETAIL**  
SCALE: N.T.S.

**CONTRACTOR NOTE:**  
CONTRACTOR SHALL PROVIDE A SWPPP TO TOWN OF DENNIS PRIOR TO ANY LAND DISTURBANCE PER MASSACHUSETTS STORMWATER REGULATIONS STANDARD 8.

THIS DRAWING IS PREPARED FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION. CONTRACTOR SHALL OBTAIN FINAL CONSTRUCTION DETAILS FROM THE ENGINEER PRIOR TO PREPARATION OF CONSTRUCTION BID AND BEFORE BEGINNING ANY WORK.



REV	DATE	DESCRIPTION	DWN	CHK

PROJECT/CLIENT NAME  
**CATALYST ARCHITECTURE / INTERIORS**

ADDRESS  
**351 SESUIT NECK ROAD  
DENNIS, MA 02660**



SHEET DESCRIPTION		SHEET TITLE	
DEMOLITION & EROSION CONTROL PLAN		C-101	
PROJECT STATUS	PERMIT SET	PROJECT NUMBER	C19676.00
DATE	2024-08-22	DRAWN BY	DAP / MDC
CHECKED BY	SMR / TLM	SHEET NUMBER	SHEET 04 OF 10



MASSACHUSETTS STATE PLANE COORDINATE SYSTEM  
NORTH AMERICAN DATUM OF 1983, MAINLAND ZONE  
(NAD83 (2011)) (MYCS2) EPOCH 2010.00

**FLOOD ZONE:**

FLOOD ZONE AE (EL 14) AND ZONE AE (EL 15) SHOWN ON THIS DRAWING ARE A DIRECT REPRESENTATION OF THE GRAPHIC FLOOD ZONE BOUNDARIES SHOWN ON FEMA FIRM PANEL #25001C0394J EFFECTIVE JULY 16, 2014. PLEASE NOTE THAT SITE SPECIFIC FLOODPLAIN BOUNDARIES MAY VARY DUE TO DIFFERENT INTERPRETATIONS OF THESE BOUNDARIES. USERS ARE ADVISED TO VERIFY LOCATION OF THESE BOUNDARIES WITH THE DESIGNATED COMMUNITY FLOODPLAIN MANAGERS AND/OR FEMA PRIOR TO SITING ANY PROPOSED STRUCTURES.

0'-50' BUFFER ZONE COVERAGE TABLE			
SUBJECT	EXISTING	PROPOSED	CHANGE
BUILDINGS	110 S.F.	2,306 S.F.	2,196 S.F. INCREASE
HARDSCAPES (PAVEMENT, GRAVEL, DECKS, ETC.)	25,379 S.F.	16,630 S.F.	8,749 S.F. DECREASE
TOTAL COVERAGE (0-50)	25,489 S.F.	18,936 S.F.	6,553 S.F. DECREASE

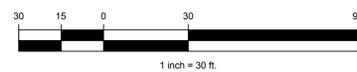
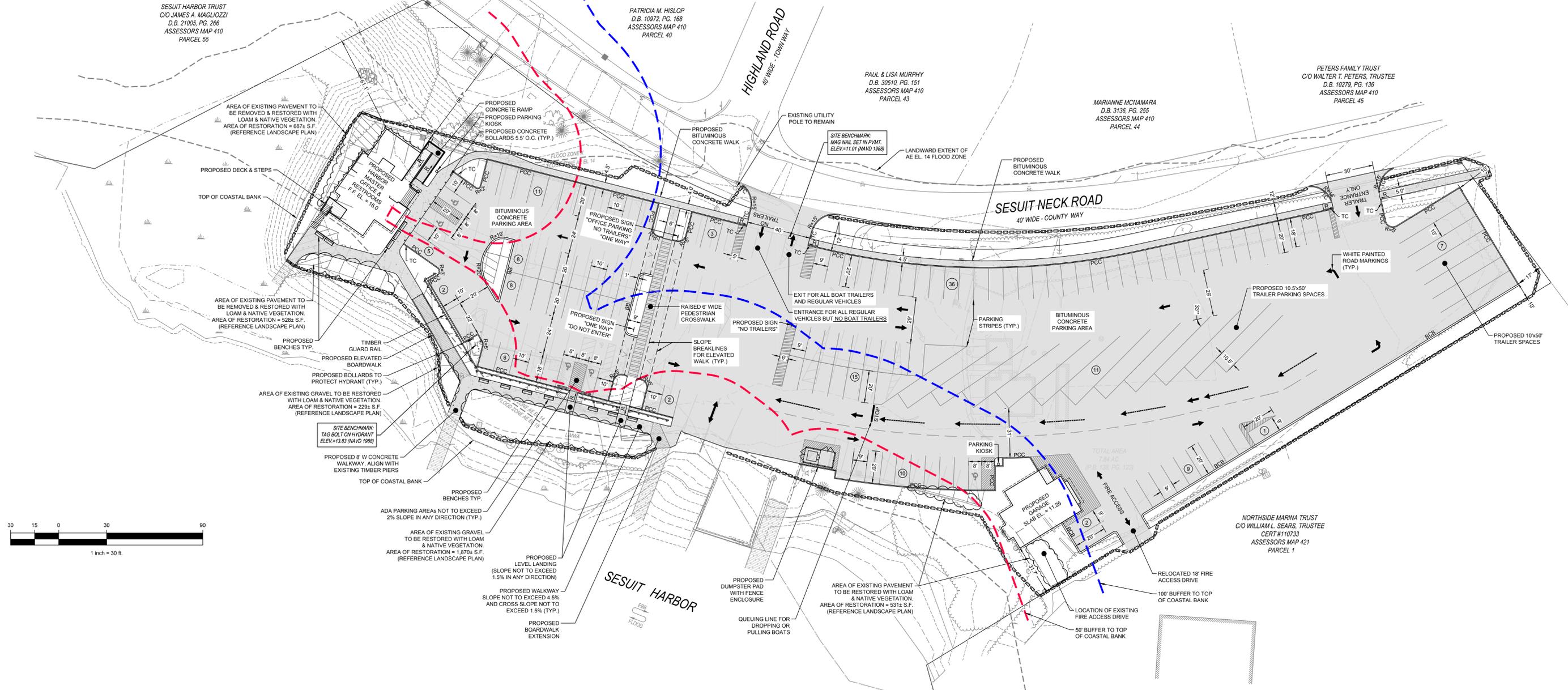
NOTE:  
3,487 S.F. OF GRAVEL AND PAVED AREAS LOCATED WITHIN 50' BUFFER TO TOP OF COASTAL BANK TO BE RESTORED WITH NATIVE VEGETATION.

50'-100' BUFFER ZONE COVERAGE TABLE			
SUBJECT	EXISTING	PROPOSED	CHANGE
BUILDINGS	153 S.F.	1,591 S.F.	1,438 S.F. INCREASE
HARDSCAPES (PAVEMENT, GRAVEL, DECKS, ETC.)	23,982 S.F.	21,962 S.F.	2,020 S.F. DECREASE
TOTAL COVERAGE (50-100)	24,135 FT.	23,553 S.F.	582 S.F. DECREASE

ZONING TABLE - RURAL RESIDENTIAL (R-60)			
SUBJECT: ASSESSORS MAP 410, PARCEL 23	REQUIRED	EXISTING	PROPOSED
LOT AREA	60,000 S.F.	341,510 S.F.	NO CHANGE
LOT FRONTAGE	50 FT.	697.6 FT.	NO CHANGE
LOT WIDTH	200 FT.	831.6 FT.	NO CHANGE
FRONT YARD SETBACK	75 FT.	55.5 FT.	66.7 FT.
SIDE YARD SETBACK	30 FT.	242.7 FT.	61.1 FT.
REAR YARD SETBACK	30 FT.	60.3 FT. (TO MHW)	31.7 FT.
MAXIMUM BUILDING HEIGHT	42 FT. OR 3 STORIES	26.5 FT.	SEE ARCH PLANS
MAXIMUM SITE COVERAGE*	15%	0.5%	1.2%

\* BUILDING COVERAGE ONLY, EXCLUSIVE OF WETLAND AREA PER TOWN OF DENNIS ZONING BY-LAW SECTION 2.3.2 (WETLAND AREA = 15,980± S.F.)

PARKING TABLE		
USE	EXISTING	PROPOSED
PASSENGER VEHICLE PARKING	113± AS MARKED OR 99± PER ZONING DIMENSIONS	120 SPACES (INCLUDES 5 HC SPACES)
TRAILER & TOW VEHICLE PARKING		18 SPACES
TOTAL		138 SPACES



1 LAYOUT & MATERIALS PLAN  
SCALE: 1" = 30'

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REV	DATE	DESCRIPTION	DWN	CHK

PROJECT/CLIENT NAME  
**CATALYST ARCHITECTURE / INTERIORS**  
**SESUIT HARBOR IMPROVEMENTS**

ADDRESS  
351 SESUIT NECK ROAD  
DENNIS, MA 02660



SHEET DESCRIPTION		SHEET TITLE	
LAYOUT & MATERIALS PLAN		C-102	
PROJECT STATUS	PERMIT SET	PROJECT NUMBER	C19676.00
DATE	2024-08-22	DRAWN BY	DAP / MDC
CHECKED BY	SMR / TLM	SHEET NUMBER	SHEET 05 OF 10

DEEP OBSERVATION HOLE LOGS

DATE OF TESTS: 2023-12-05
PERCOLATION RATE: OBSERVATION HOLE #4 PERCOLATION RATE < 2 MIN/INCH

WITNESSED BY: DERECK PACHECO, CEC
ELIAS ESTEVEZ, HEALTH AGENT
GROUNDWATER ENCOUNTERED IN DOH #1, DOH #2, DOH #3, & DOH #4

Table with 6 columns: DEPTH FROM SURFACE, SOIL HORIZON, SOIL TEXTURE, SOIL COLOR (MUNSELL), SOIL MOTTLING, OTHER. Data for DEEP OBSERVATION HOLE 1. EL. = 10.3±

Table with 6 columns: DEPTH FROM SURFACE, SOIL HORIZON, SOIL TEXTURE, SOIL COLOR (MUNSELL), SOIL MOTTLING, OTHER. Data for DEEP OBSERVATION HOLE 2. EL. = 10.1±

Table with 6 columns: DEPTH FROM SURFACE, SOIL HORIZON, SOIL TEXTURE, SOIL COLOR (MUNSELL), SOIL MOTTLING, OTHER. Data for DEEP OBSERVATION HOLE 3. EL. = 11.9±

HIGH GROUNDWATER ELEVATION NOTE:

ON 01-25-2024 DURING HIGH TIDE, HIGH GROUNDWATER WAS OBSERVED AT ELEVATION OF 5.28' IN OBSERVATION WELL #1, AND 4.58' IN OBSERVATION WELL #2.

SESUIT HARBOR TRUST
C/O JAMES A. MAGLIOZZI
D.B. 21005, PG. 266
ASSESSORS MAP 410
PARCEL 55

Table with 6 columns: DEPTH FROM SURFACE, SOIL HORIZON, SOIL TEXTURE, SOIL COLOR (MUNSELL), SOIL MOTTLING, OTHER. Data for DEEP OBSERVATION HOLE 4. EL. = 12.6±

Table with 6 columns: DEPTH FROM SURFACE, SOIL HORIZON, SOIL TEXTURE, SOIL COLOR (MUNSELL), SOIL MOTTLING, OTHER. Data for DEEP OBSERVATION HOLE 5. EL. = 9.7±

Table with 6 columns: DEPTH FROM SURFACE, SOIL HORIZON, SOIL TEXTURE, SOIL COLOR (MUNSELL), SOIL MOTTLING, OTHER. Data for DEEP OBSERVATION HOLE 6. EL. = 9.8±

PERC TEST PERFORMED AT 78"

GW OBSERVED AT 120"

NO GW ENCOUNTERED

GW OBSERVED AT 77"

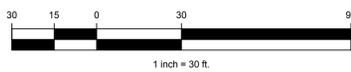
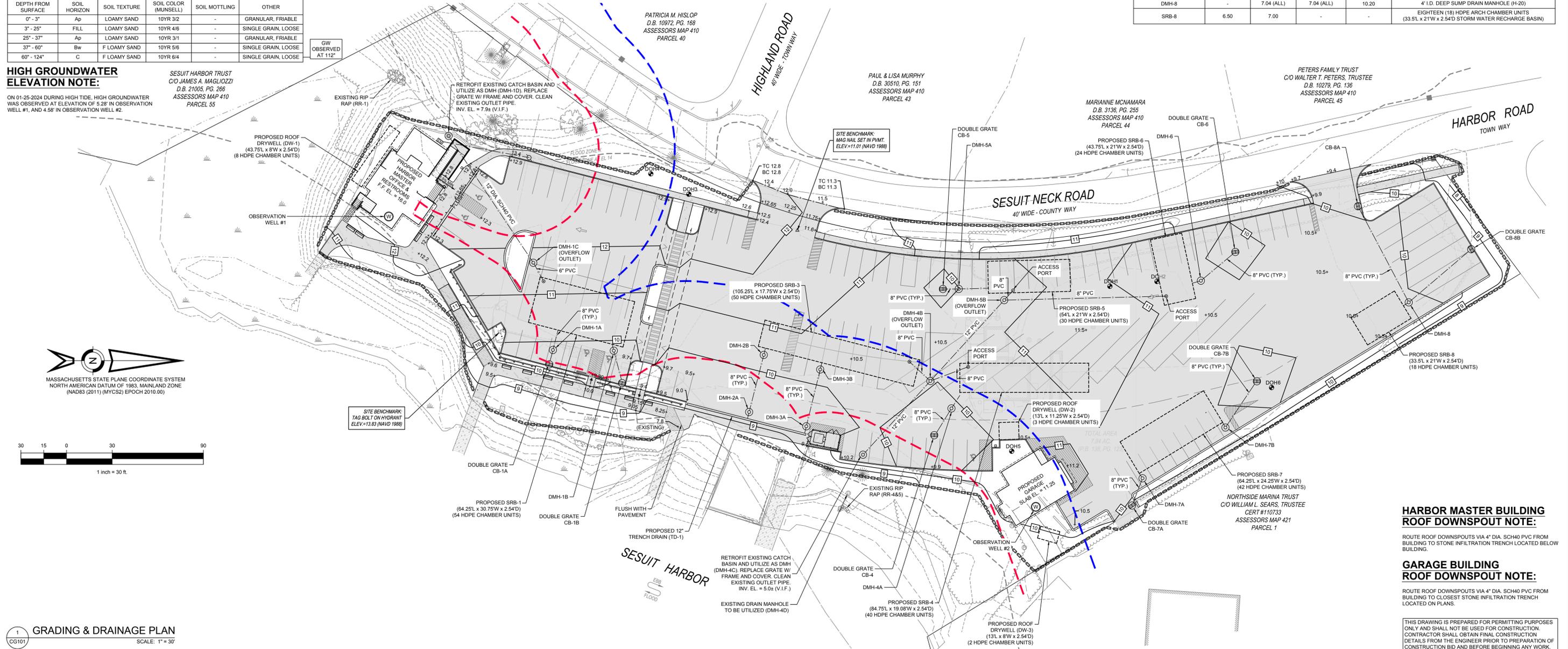
GW OBSERVED AT 79"

GW OBSERVED AT 112"

GW OBSERVED AT 112"

Table with 6 columns: STRUCTURE, BOTTOM EL., INV. IN EL., INV. OUT EL., RIM EL., DESCRIPTION. DRAINAGE STRUCTURE ELEVATION SCHEDULE

Table with 6 columns: STRUCTURE, BOTTOM EL., INV. IN EL., INV. OUT EL., RIM EL., DESCRIPTION. DRAINAGE STRUCTURE ELEVATION SCHEDULE CONT.



1 GRADING & DRAINAGE PLAN
SCALE: 1" = 30'

HARBOR MASTER BUILDING ROOF DOWNSPOUT NOTE:

ROUTE ROOF DOWNSPOUTS VIA 4" DIA. SCH40 PVC FROM BUILDING TO STONE INFILTRATION TRENCH LOCATED BELOW BUILDING.

GARAGE BUILDING ROOF DOWNSPOUT NOTE:

ROUTE ROOF DOWNSPOUTS VIA 4" DIA. SCH40 PVC FROM BUILDING TO CLOSEST STONE INFILTRATION TRENCH LOCATED ON PLANS.

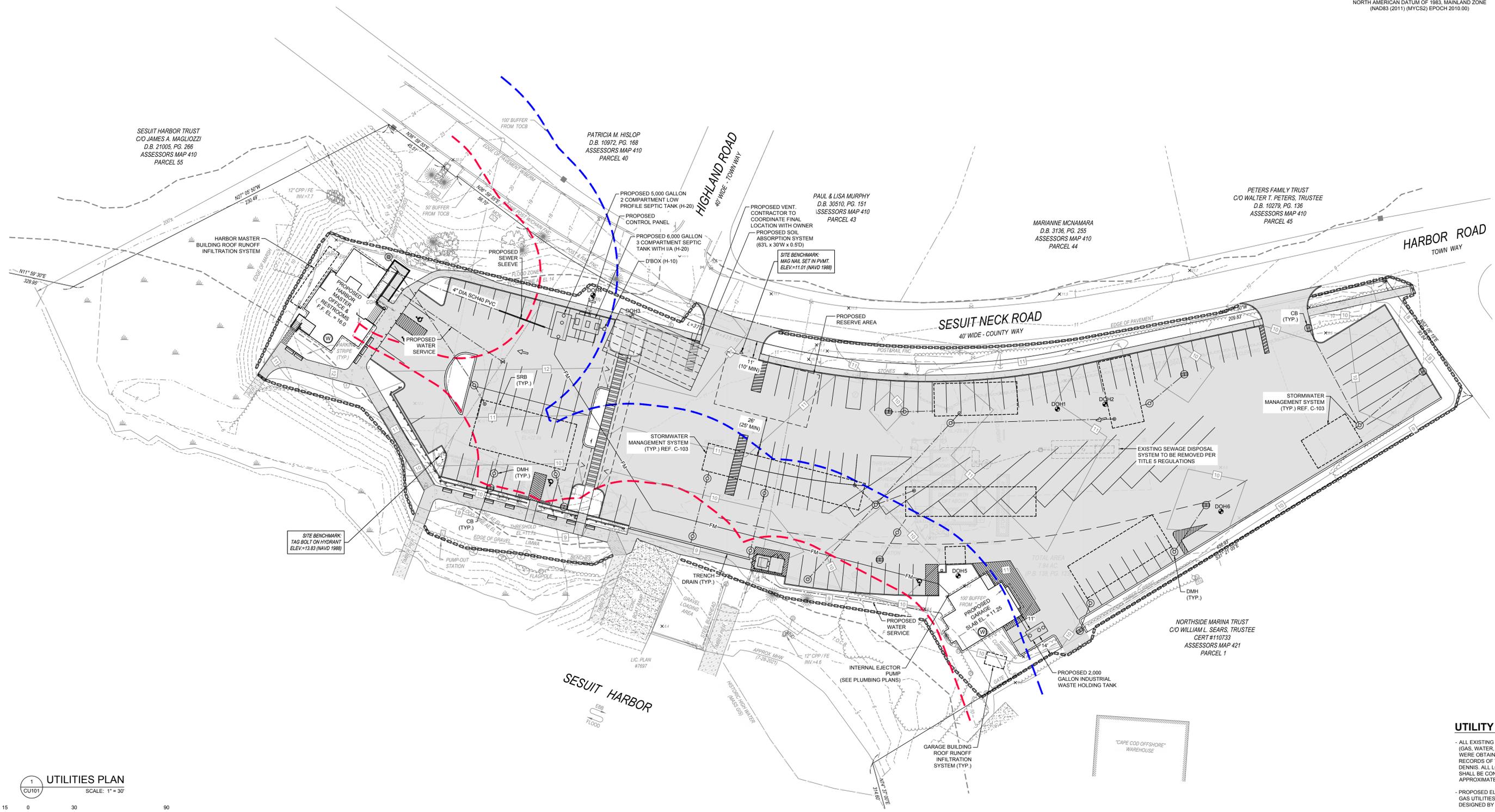
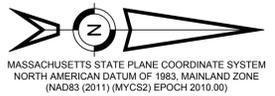
THIS DRAWING IS PREPARED FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION. CONTRACTOR SHALL OBTAIN FINAL CONSTRUCTION DETAILS FROM THE ENGINEER PRIOR TO PREPARATION OF CONSTRUCTION BID AND BEFORE BEGINNING ANY WORK.

Revision table with columns: REV, DATE, DESCRIPTION, DWN, CHK.

PROJECT/CLIENT NAME: CATALYST ARCHITECTURE / INTERIORS
ADDRESS: 351 SESUIT NECK ROAD DENNIS, MA 02660

Professional Engineer Seal for Tarja L. McGrail, No. 47593, State of Massachusetts.

Table with columns: PROJECT STATUS (PERMIT SET), PROJECT NUMBER (C19676.00), DATE (2024-08-22), DRAWN BY (DAP / MDC), CHECKED BY (SMR / TLM), SHEET TITLE (GRADING & DRAINAGE PLAN), SHEET NUMBER (C-103), SHEET 06 OF 10.



SESUIT HARBOR TRUST  
C/O JAMES A. MAGLIOZZI  
D.B. 21005, PG. 266  
ASSESSORS MAP 410  
PARCEL 55

PATRICIA M. HISLOP  
D.B. 10972, PG. 168  
ASSESSORS MAP 410  
PARCEL 40

PAUL & LISA MURPHY  
D.B. 30510, PG. 151  
ASSESSORS MAP 410  
PARCEL 43

MARIANNE MCNAMARA  
D.B. 3136, PG. 255  
ASSESSORS MAP 410  
PARCEL 44

PETERS FAMILY TRUST  
C/O WALTER T. PETERS, TRUSTEE  
D.B. 10279, PG. 136  
ASSESSORS MAP 410  
PARCEL 45

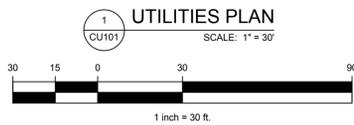
NORTHSIDE MARINA TRUST  
C/O WILLIAM L. SEARS, TRUSTEE  
CERT #110733  
ASSESSORS MAP 421  
PARCEL 1

SITE BENCHMARK  
TAG BOLT ON HYDRANT  
ELEV=13.83 (NAVD 1988)

**UTILITY NOTE:**

- ALL EXISTING UTILITY LINES (GAS, WATER, ELECTRIC) WERE OBTAINED VIA RECORDS OF THE TOWN OF DENNIS. ALL LOCATIONS SHALL BE CONSIDERED APPROXIMATE.
- PROPOSED ELECTRIC AND GAS UTILITIES TO BE DESIGNED BY OTHERS

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1 UTILITIES PLAN  
CU101  
SCALE: 1" = 30'



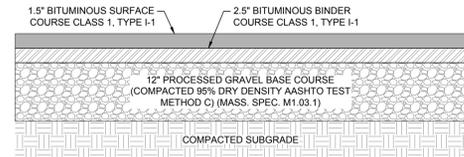
REV	DATE	DESCRIPTION	DWN	CHK

PROJECT/CLIENT NAME  
**CATALYST ARCHITECTURE / INTERIORS  
SESUIT HARBOR IMPROVEMENTS**

ADDRESS  
351 SESUIT NECK ROAD  
DENNIS, MA 02660

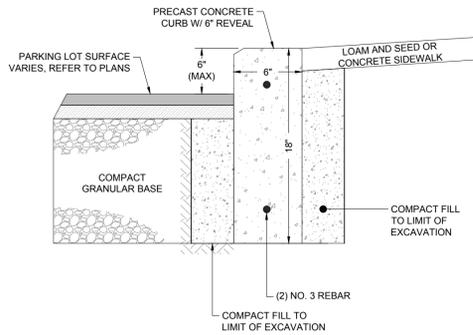


SHEET DESCRIPTION		UTILITIES PLAN	
PROJECT STATUS	PERMIT SET	SHEET TITLE	C-104
PROJECT NUMBER	C19676.00	SHEET NUMBER	SHEET 07 OF 10
DATE	2024-08-22		
DRAWN BY	DAP / MDC	CHECKED BY	SMR / TLM

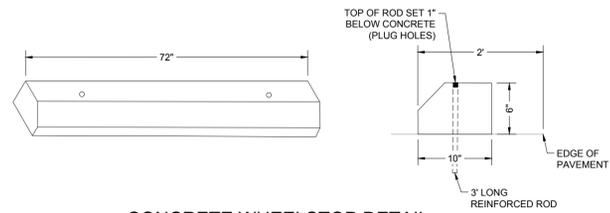


**BITUMINOUS CONCRETE PARKING SECTION**  
SCALE: N.T.S.

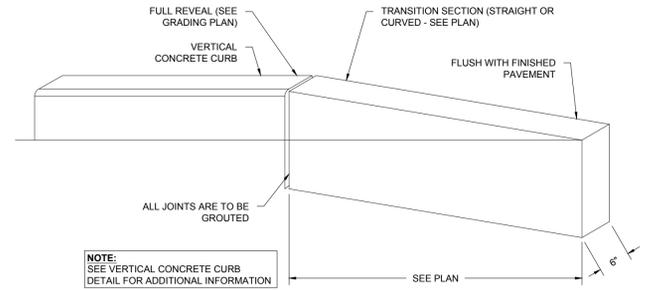
**SOIL REMOVAL NOTE:**  
IN ALL AREAS OF PROPOSED PAVEMENT ALL UNSUITABLE MATERIAL INCLUDING TOPSOIL SHALL BE REMOVED AND REPLACED WITH CLEAN SAND & GRAVEL (TO SUBGRADE LEVEL) AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY



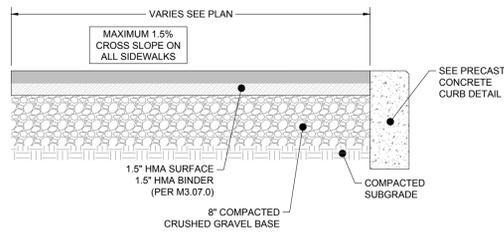
**PRECAST CONCRETE CURB**  
SCALE: N.T.S.



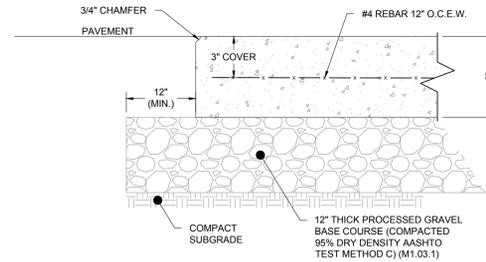
**CONCRETE WHEELSTOP DETAIL**  
SCALE: N.T.S.



**TRANSITION CURB DETAIL**  
SCALE: N.T.S.

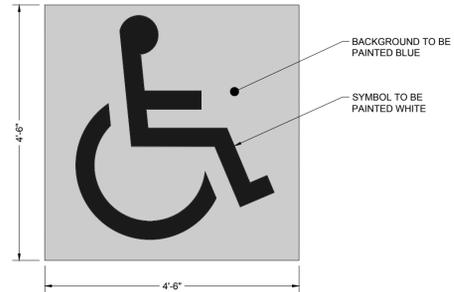


**BITUMINOUS CONCRETE WALKWAY WITH CURB**  
SCALE: N.T.S.

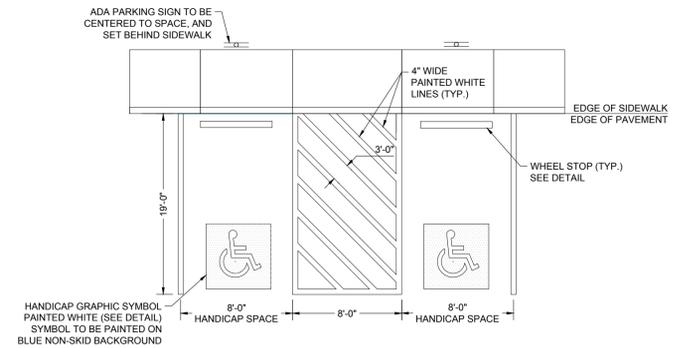


**DUMPSTER PAD NOTES:**  
1. ALL CONCRETE SHALL E 4,000 PSI WITH MAXIMUM WATER CONTENT RATIO OF 0.45 AND AIR ENTRAINMENT.  
2. CONTRACTOR SHALL TAKE GREAT CARE WHEN INSTALLING ADJACENT TO LEACH FIELD. CONTRACTOR SHALL NOT DAMAGE LEACH FIELD.

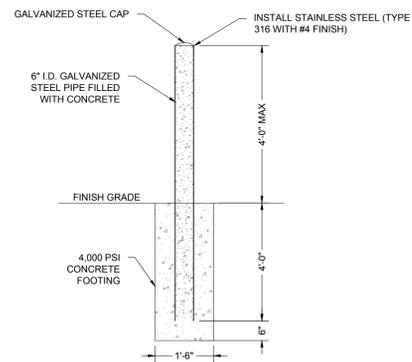
**DUMPSTER PAD DETAIL**  
SCALE: N.T.S.



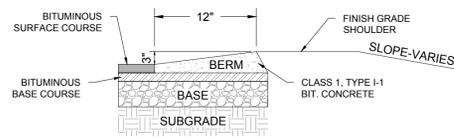
**PAINTED SYMBOL OF ACCESSIBILITY**  
SCALE: N.T.S.



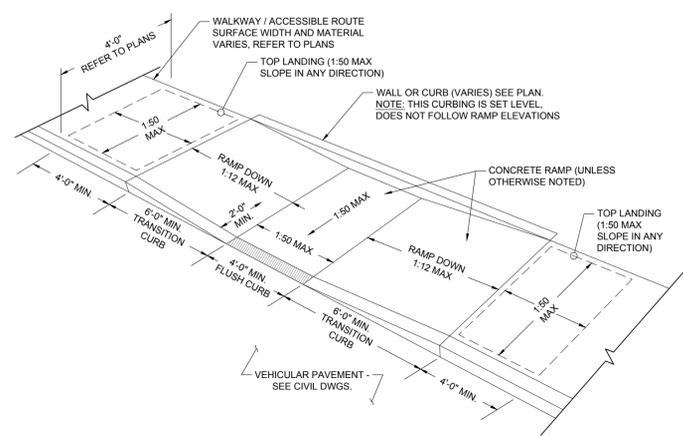
**HANDICAP SPACE STRIPING**  
SCALE: N.T.S.



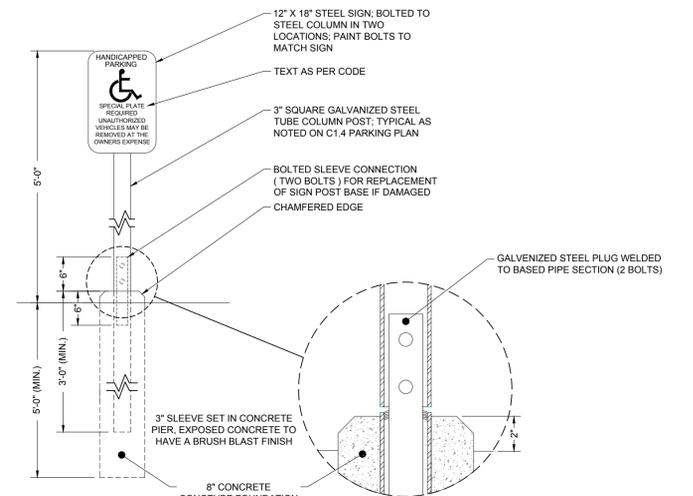
**CONCRETE FILLED BOLLARD (TRASH ENCLOSURE)**  
SCALE: N.T.S.



**BITUMINOUS BERM (AKA CAPE COD BERM)**  
SCALE: N.T.S.

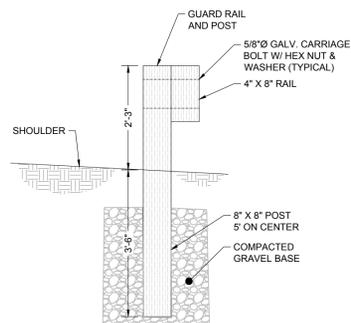


**CURB CUT RAMP TYPE 2**  
SCALE: N.T.S.

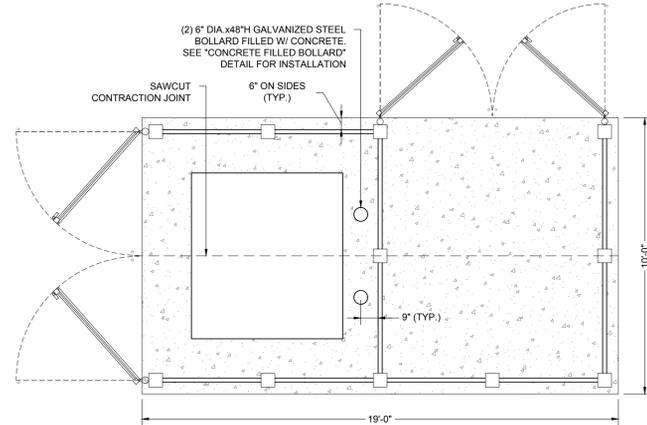


**SYMBOL OF ACCESSIBILITY SIGN**  
SCALE: N.T.S.

**NOTES:**  
1. TIMBER RAILS, BLOCKING, AND POSTS SHALL BE CCA (RETENTION VALUE OF 0.80 PCF MINIMUM) PRESSURE TREATED SOUTHERN YELLOW PINE AS SPECIFIED IN SECTION 955.40 OF THE STANDARD SPECIFICATIONS AND AS SHOWN ON THE PLANS. ALL TIMBER COMPONENTS SHALL BE STRAIGHT AND TRUE WITHOUT DEFECTS. TIMBER RAILS SHALL HAVE A 1/2" CHAMFER ON ALL CORNERS INCLUDING ENDS.  
2. GALVANIZED NUTS SHALL CONFORM TO ASTM A563, GRADE A. AND GALVANIZED BOLTS SHALL CONFORM TO ASTM A307, GRADE A. GALVANIZED STEEL BACKING PLATES AND SPLICE PLATES SHALL CONFORM TO THE REQUIREMENTS OF ASTM A36.



**TIMBER GUARDRAIL SECTION**  
SCALE: N.T.S.



**DUMPSTER PAD ENCLOSURE DETAIL**  
SCALE: N.T.S.

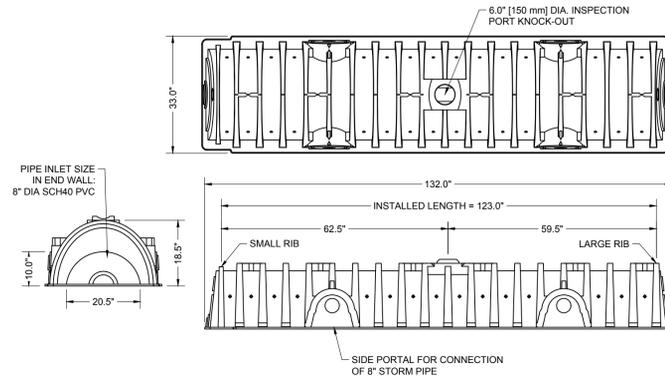
REV	DATE	DESCRIPTION	DWN	CHK			

PROJECT/CLIENT NAME  
**CATALYST ARCHITECTURE / INTERIORS**  
**SESUIT HARBOR IMPROVEMENTS**

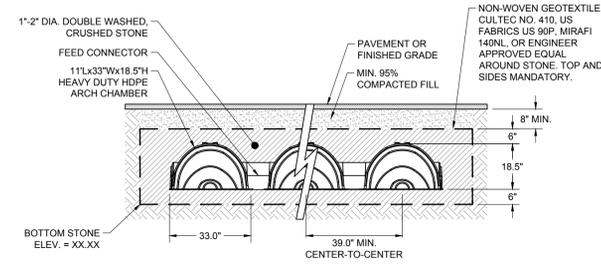
ADDRESS  
351 SESUIT NECK ROAD  
DENNIS, MA 02660

SEAL

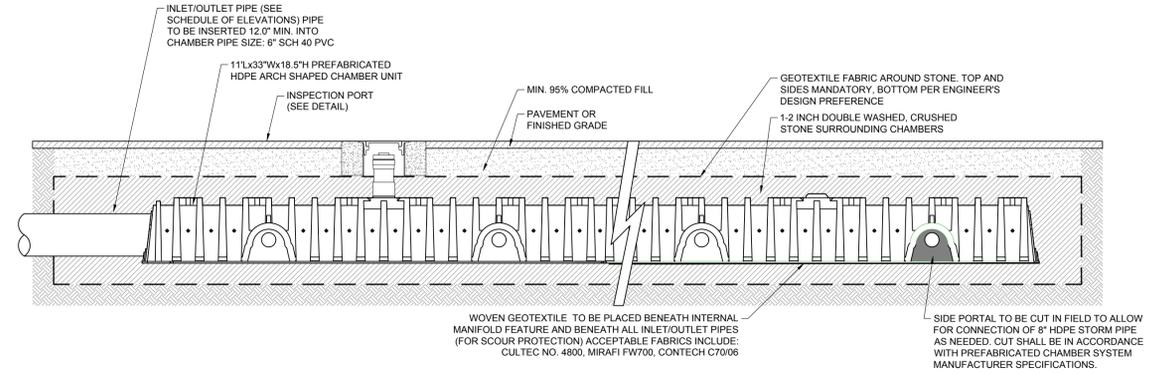
SHEET DESCRIPTION		SITE DETAILS	
PROJECT STATUS	PERMIT SET	SHEET TITLE	<b>C-501</b>
PROJECT NUMBER	C19676.00	SHEET NUMBER	
DATE	2024-08-22		
DRAWN BY	DAP	CHECKED BY	TLM
		SHEET 08 OF 10	



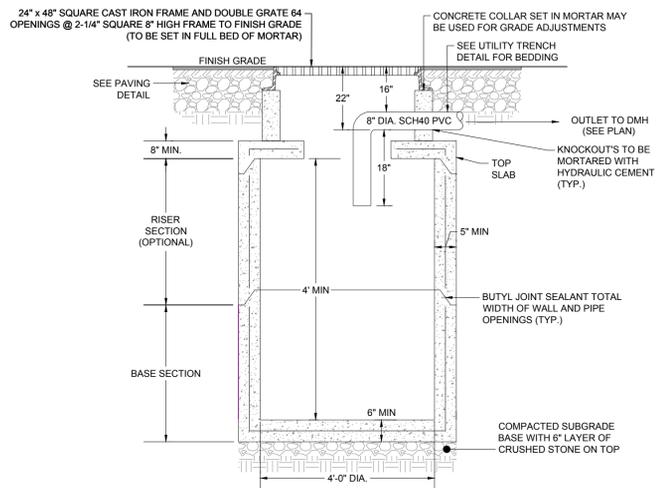
**5'L X 33"W X 18.5" HDPE ARCH CHAMBER UNIT DETAIL**  
SCALE: N.T.S.



**END VIEW OF HDPE ARCH CHAMBER UNIT**  
SCALE: N.T.S.



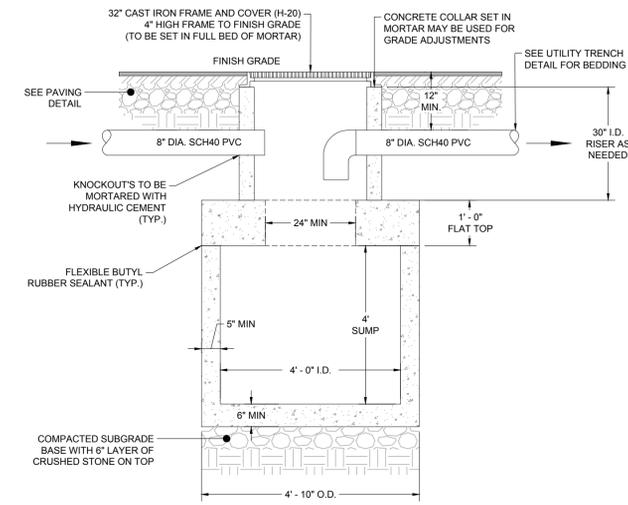
**SIDE VIEW OF HDPE ARCH CHAMBER UNIT**  
SCALE: N.T.S.



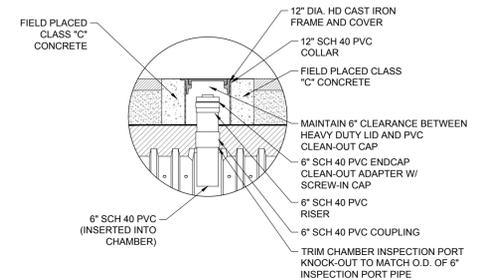
**CATCH BASIN (DOUBLE GRATE)**  
SCALE: N.T.S.

**PRECAST CONCRETE CATCH BASIN NOTES:**

1. ALL REINFORCING STEEL MUST CONFORM TO THE LATEST ASTM A185 AND/OR A615 GRADE 60. SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENT.
2. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MIN. OF 0.12 SQ. IN/LINEAL FT. (BOTH WAYS)
3. CATCH BASIN SPECS. CONFORM TO THE LATEST ASTM C478 SPEC. FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS"
4. MORTAR SHALL CONFORM TO SECTION M4.02.15 OF THE MASSACHUSETTS D.P.W. STANDARD SPECS. FOR HIGHWAYS AND BRIDGES.
5. PIPE TO CATCH BASIN CONNECTIONS SHALL BE MADE WITH NON-SHRINK GROUT OR HYDRAULIC CEMENT.
6. ONE POUR MONOLITHIC BASE SECTION.
7. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS, CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
8. RED CLAY BRICK SHALL CONFORM WITH SECTION M4.05.2 CLAY BRICK OF MASSACHUSETTS D.P.W. STANDARD SPECS. FOR HIGHWAY AND BRIDGES.
9. FILTER FABRIC SHALL BE SET UNDER CATCH BASIN GRATES TO PREVENT SILTATION TO THE BASINS UNTIL SITE HAS BEEN STABILIZED.



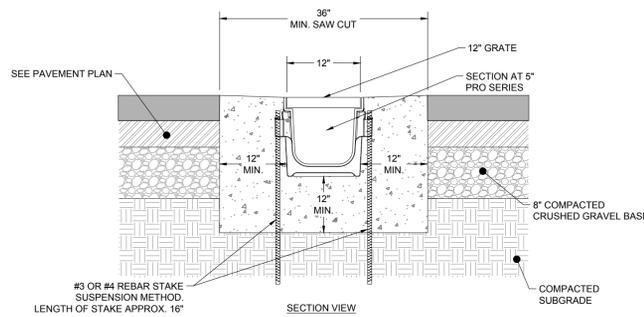
**4' PRECAST CONCRETE DRAIN MANHOLE**  
SCALE: N.T.S.



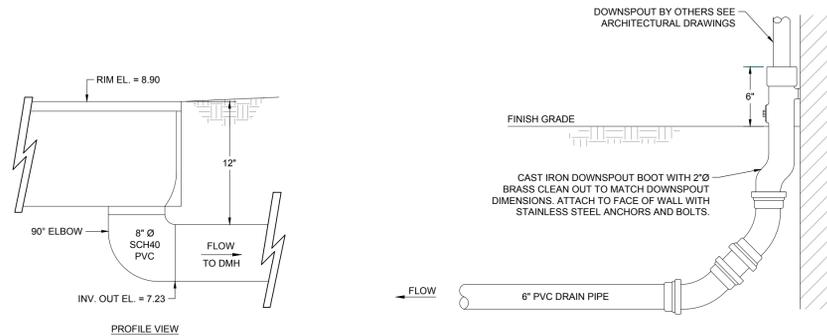
**INSPECTION NOTE:**

1. CONTRACTOR TO CONTACT ENGINEER FOR INSPECTION OF SOIL IN BOTTOM OF HOLE PRIOR TO SETTING DRAINAGE STONE COMPONENTS.
2. CONTRACTOR TO CONTACT ENGINEER FOR INSPECTION OF INSTALLED SYSTEM PRIOR TO BACKFILL.

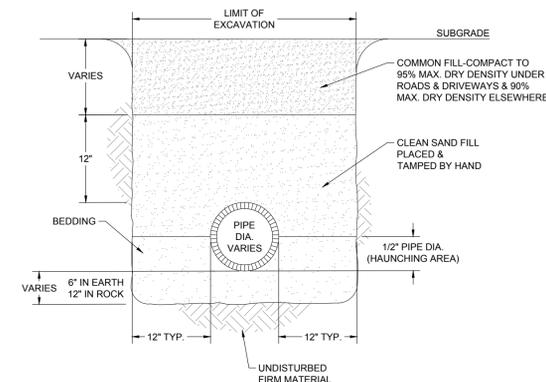
**INSPECTION PORT**  
SCALE: N.T.S.



**TRENCH DRAIN DETAIL**  
SCALE: N.T.S.



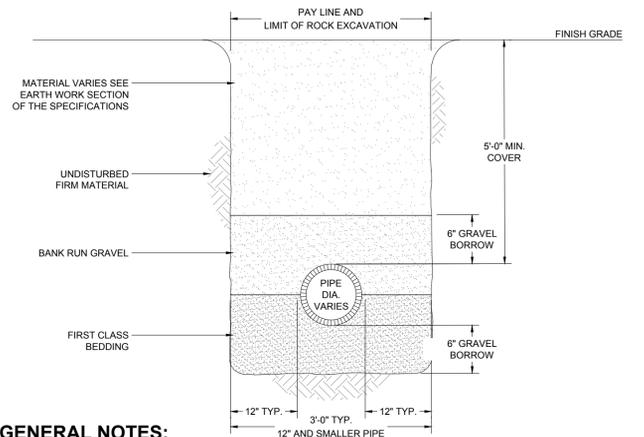
**DOWNSPOUT BOOT DETAIL**  
SCALE: N.T.S.



**GENERAL NOTES:**

1. FINISH GRADE MATERIAL VARIES (SEE SITE PLAN)
2. COMPACT SOIL IN HAUNCHING ZONE TO 85% MAX. DRY DENSITY.

**UTILITY TRENCH**  
SCALE: N.T.S.



**GENERAL NOTES:**

1. RESTORE FINISH GRADE TO MATCH EXISTING.
2. FINISH GRADE MATERIAL VARIES (SEE SITE PLANS)
3. SEE ROADWAY UTILITY TRENCH REPAIR DETAIL.

**WATER TRENCH DETAIL**  
SCALE: N.T.S.

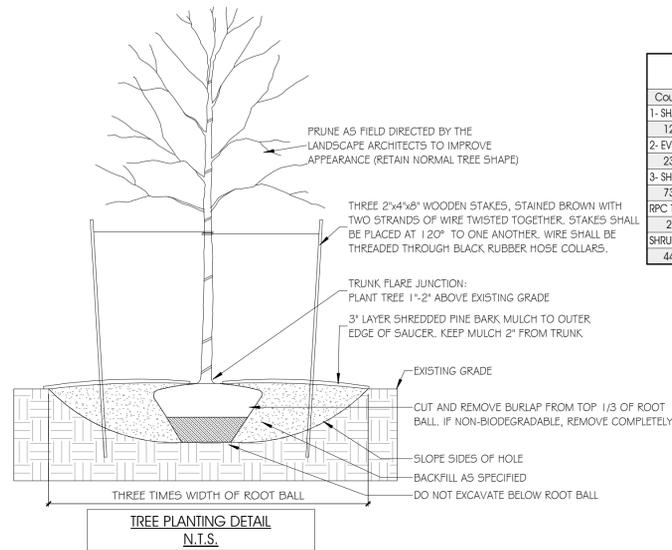
REV	DATE	DESCRIPTION	DWN	CHK	

PROJECT/CLIENT NAME  
**CATALYST ARCHITECTURE / INTERIORS**  
**SESUIT HARBOR IMPROVEMENTS**

ADDRESS  
351 SESUIT NECK ROAD  
DENNIS, MA 02660

SEAL

SHEET DESCRIPTION <b>UTILITY DETAILS</b>		SHEET TITLE <b>C-502</b>
PROJECT STATUS	PERMIT SET	SHEET NUMBER
PROJECT NUMBER	C19676.00	
DATE	2024-08-22	
DRAWN BY	DAP	CHECKED BY
		TLM
		SHEET 09 OF 10



2 TREE PLANTING DETAIL  
1/4" = 1'-0"

Count	Type	COMMON NAME	SCIENTIFIC NAME	Size	Comments
1- SHADE TREES					
12	AP	ARISTOCRAT PEAR	PYRUS CALLERYANA 'ARISTOCRAT'	3-3 1/2' CALIPER	
2- EVERGREEN & FLOWERING TREES					
23	KD	KOUZA DOGWOOD	CORNUS KOUZA	8-9' HT.	
3- SHRUBS					
73	PJM	PJM RHODODENDRON	RHODODENDRON PJM	#5 POT	
RPC Tree - Deciduous					
2		Blue Berry Elder - 15'			
SHRUBS AND ORNAMENTAL GRASS					
44	NB	NORTHERN BAYBERRY	MYRICA PENNSYLVANICA	<varies>	

**GENERAL NOTES:**

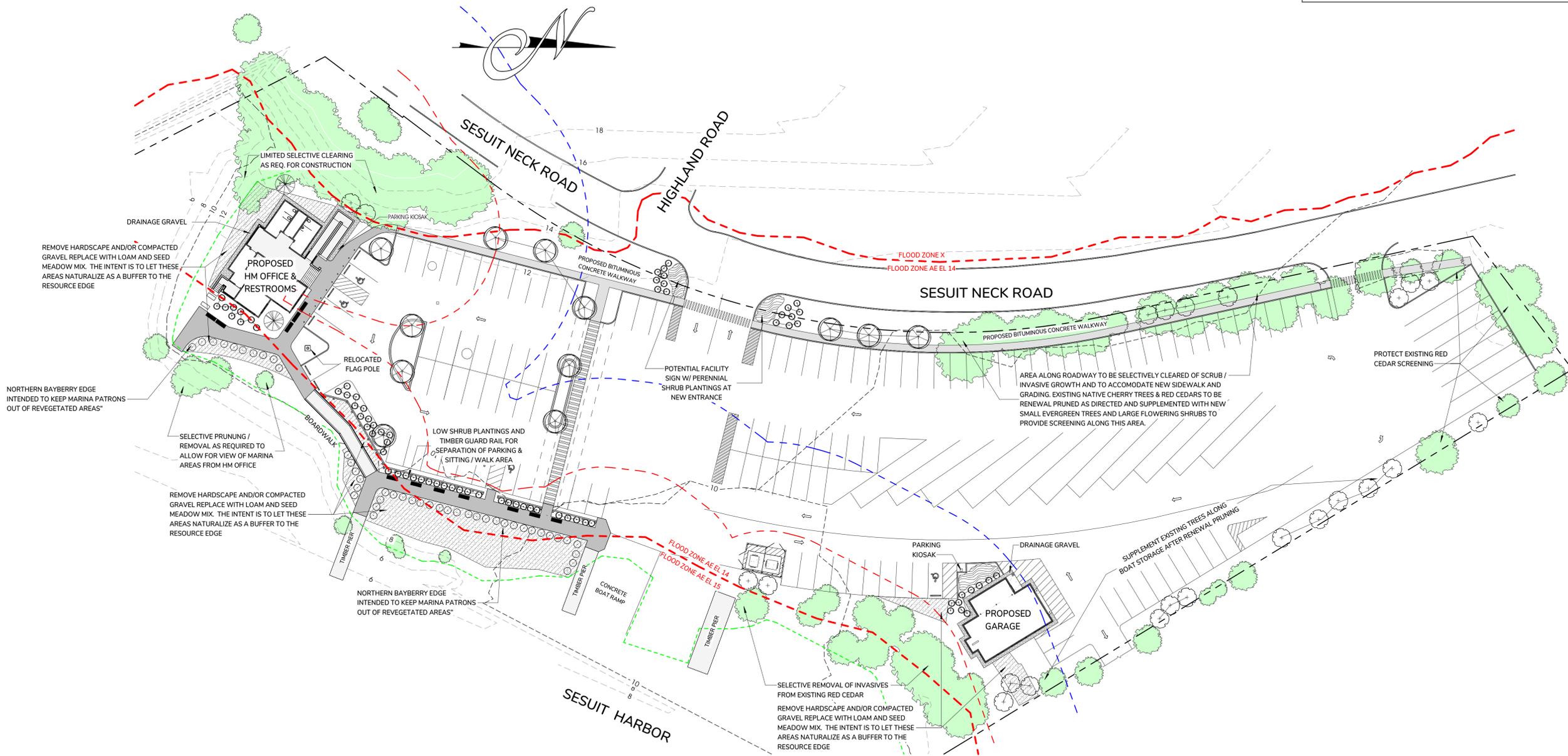
1. SELECTIVE CLEARING / PRUNING AS NOTED UNDER DIRECTION OF OWNER, LANDSCAPE ARCHITECT AND CONSERVATION AGENT. WORK TO INCLUDE REMOVAL OF SCRUB & INVASIVE GROWTH, RENEWAL PRUNING OF PLANTS TO REMAIN AND ADDITION OF NEW PLANTINGS TO REINFORCE BUFFER.
2. ALL SELECTED PLANTS WILL BE TOLERANT TO SEASHORE CONDITIONS INCLUDING SALT SPRAY, WIND AND POOR / DROUGHT SOILS. MAJORITY OF PLANINGS WILL BE NATIVE WITH SOME INTRODUCED SPECIES FOR SEASHORE TOLERANCE AND SEASONAL INTEREST.
3. ALL DISTURBED AREAS TO BE LOAMED AND SEEDED WITH MEADOW MIX WHICH INCLUDES : K31 CREEPING FESCUE, RYEGRASS NURSE CROP & LIMITED COVER.
4. ALL STRUCTURES TO BE SURROUNDED BY 24" WIDE x 6" DEEP BORDER OF 3/4" NATIVE STONE.
5. ALL SHRUB & PERENNIAL BEDS TO BE MULCHED WITH 3 INCH LAYER OF SHREDDED PINE BAR MULCH (BROWN IN COLOR)

**NOTES:**

1. ALL PLANT LOCATIONS TO BE STAKED OR POSITIONED ON SITE FOR REVIEW BY ARCHITECT AND OWNER PRIOR TO INSTALLATION.
2. ALL DISTURBED AREAS NOT COVERED IN PAVEMENTS, BUILDINGS OR MULCHED PLANTING BEDS, BOARDWALKS TO BE LOAMED & SEEDED AS SPECIFIED.
3. SWCA TO BE LOAMED & SEEDED AND COVERED WITH EROSION CONTROL BLANKET AS SPECIFIED.
4. ALL SHRUB AND PERENNIAL BEDS SHALL HAVE 9" LAYER OF SPECIFIED LOAM / BACKFILL MIX AND 3" LAYER OF SHREDDED PINE BARK MULCH.
5. CONTRACTOR SHALL COORDINATE THEIR WORK WITH WORK BY OTHERS.
6. ALL SHRUBS AND PERENNIALS TO BE PLANTED IN STAGGERED NATURAL GROUPINGS BASED ON QUANTITIES INDICATED AND APPROX. SPACING NOTED, TO BE POSITIONED IN FIELD IN CONTINUOUS MULCHED PLANTING BEDS. LIMITS OF BEDS TO BE CONFIRMED IN FIELD.
7. ALL SHADE TREES SHALL BE STAKED AS DETAILED BELOW.
8. CONTRACTOR SHALL PROTECT EXISTING TREES AND PLANTINGS TO REMAIN IN ALL AREAS OF WORK IN A MANNER APPROVED BY TOWN AND ARCHITECT.

**PLANTING LEGEND**

- MULTI-STEM **SMALL FLOWERING TREES** (MAX. HT. 20'-25')  
\* SWEET BAY MAGNOLIA (N) \* KOUSA DORWOOD (I)
- SMALL **EVERGREEN TREE** (MAX. HT. 20')  
\* EASTERN RED CEDAR (N) \* AMERICAN HOLLY (N)
- LARGE **FLOWERING SCRUBS / SMALL TREES** (MAX. HT. 8'-12')  
\* DOWNEY SHADBLOW \* CRANBERRY VIBURNUM  
\* OAK LEAF HYDRANGEA  
\* WINTERBERRY HOLLY ( ALL NATIVE)  
\* AMERICAN WITCHAZEL
- SMALL ORNAMENTAL SHRUBS** (MAX HT. 3'-5')  
\* NORTHERN BAYBERRY (N) \* SUMMERSWEET CLETHRA (N)  
\* FRAGRANT SUMAC (N) \* LACECAP HYDRANGEA (I)
- PERENNIALS**  
\* BLACKEYED SUSAN (N) \* DAYLILIES (I) W/ DAFFODILS  
\* MONTAUK DAISY
- SWCA**  
(SEEDING AS SPECIFIED)
- LOAM AND SEED**
- SPLIT RAIL FENCE**  
(2 RAIL CEDAR) (MATCH EXISTING)



1 LANDSCAPE PLAN  
1" = 30'-0"

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**SESUIT HARBOR IMPROVEMENTS**  
**TOWN OF DENNIS**  
351 SESUIT HARBOR ROAD  
DENNIS, MA 02660

TITLE:  
**HARBORMASTER - LANDSCAPE SITE PLAN**

DATE ISSUED: 02 . 02 . 2024

REVISIONS:

No.	Description	Date

DRAWING NO.:  
**L.2**

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