

Find Properties

Owner:

Parcel ID:

Address: Clear

Condo/Cottage Colony:

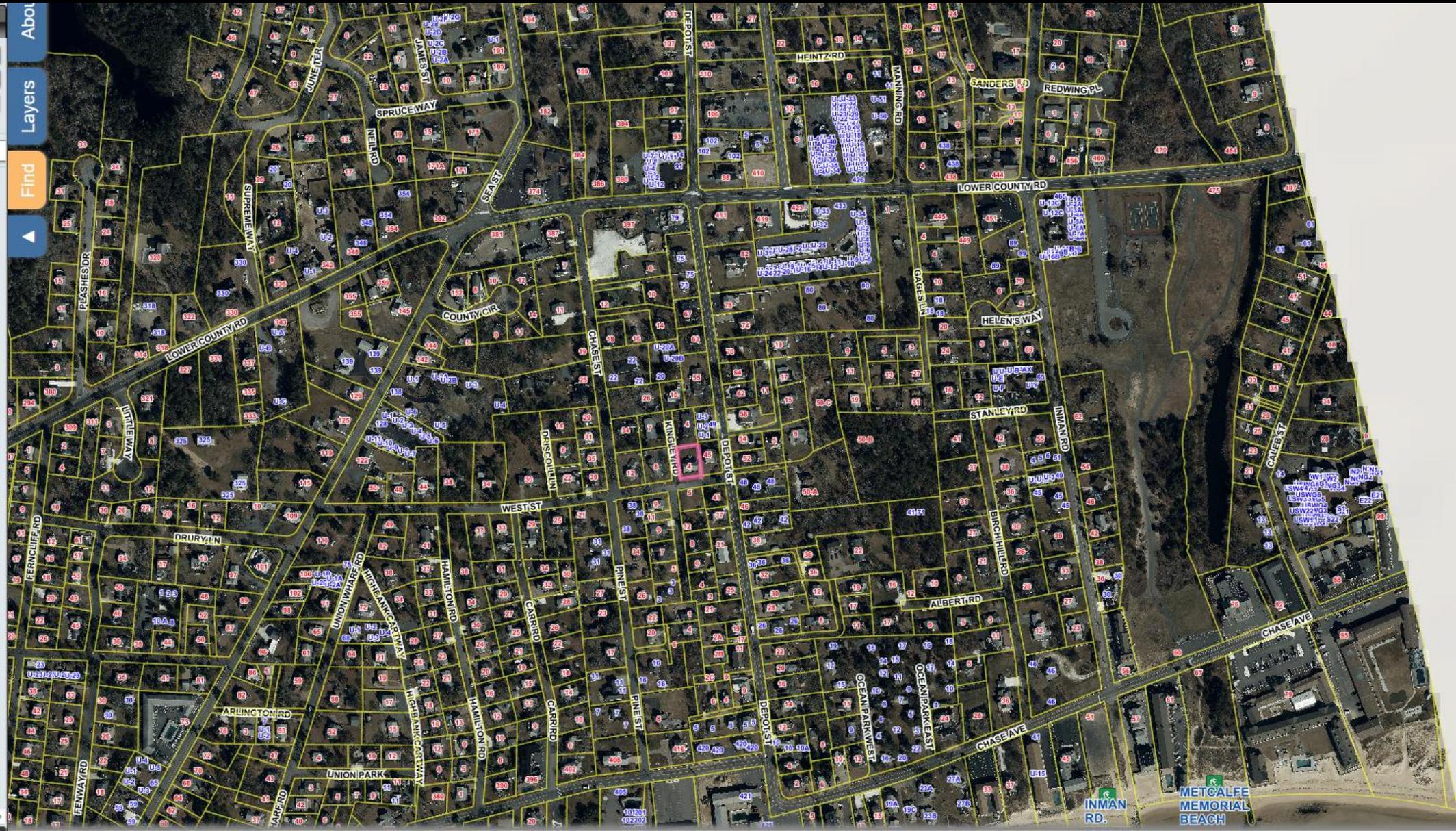
Results Summary

Parcels

Parcel ID	Address	Village	Owner
40-125-0	4 WEST STREI	DP	NOBLE LAURA

Detail Information Zoom To

CAMA ID	40-125-0
MapPar	40-125
Key	2907
Fiscal Year	2026
Extension	0
Address	4 WEST STREET
Village	DP
Property Type	R
Owner	NOBLE LAURA A
Co-Owner	MONTGOMERY MARIE
Owner Address	139 HIGHLAND STREET
Owner City	TOWNSEND
Owner State	MA
Owner Zip	01469
Owner Country	
State Class #	1010
State Class Desc	SINGLE FAMILY
Deed Date	04/17/24 00:00:00
Book	N/A
Page	N/A
Certificate	162343
Last Sale Price	468000.0000
Total Value	\$635,500.00
Land Value	\$291,400.00
Building Value	\$344,100.00
Detached Building Value	\$0.00
Acres	0.18
Prev Year Total Value	\$594,300.00



- Village Boundaries (updated 2025)
- Hiking/Walking Trailways
- Environmental Justice 2020 (updated 2021)
- Zoning
 - Zoning (2025)
 - Medium Wind Facility Overlay District
 - Large Wind Facility Overlay District
 - Med. & Large Wind Facility Overlay Distr
 - Scenic Corridor
 - Residential 40
 - Residential 60
 - General Commercial I
 - General Commercial II
 - General Commercial III
 - Limited Business
 - Extensive Business
 - Industrial
 - Resort Residential
 - Seasonal Resort Community
 - Hotel Resort District
 - Dennis Port Village Center Area A
 - Dennis Port Village Center Area B
 - West Dennis Village Center District
 - West Dennis Village Center Support Dist
 - West Dennis Marine Open Space District
 - West Dennis Mixed Use Marine District
 - West Dennis Residential-Commercial
 - Quivet Neck-Crowes Pasture Resource Protection District
- Historic Districts
- Condo and Cottage Colonies
- Infrastructure Points
- ▼ Base Maps
 - Google Hybrid Map
 - Google Street Map
 - 2023 MassGIS Orthos
 - CCC 2020 Aerial Imagery
 - MassGIS 2014 Orthos
 - MassGIS 2005 Orthos
 - MassGIS 1994 Orthos
 - Town Base Map



Find Properties

Owner:

Parcel ID:

Address: Clear

Condo/Cottage Colony:

Results Summary

Parcels

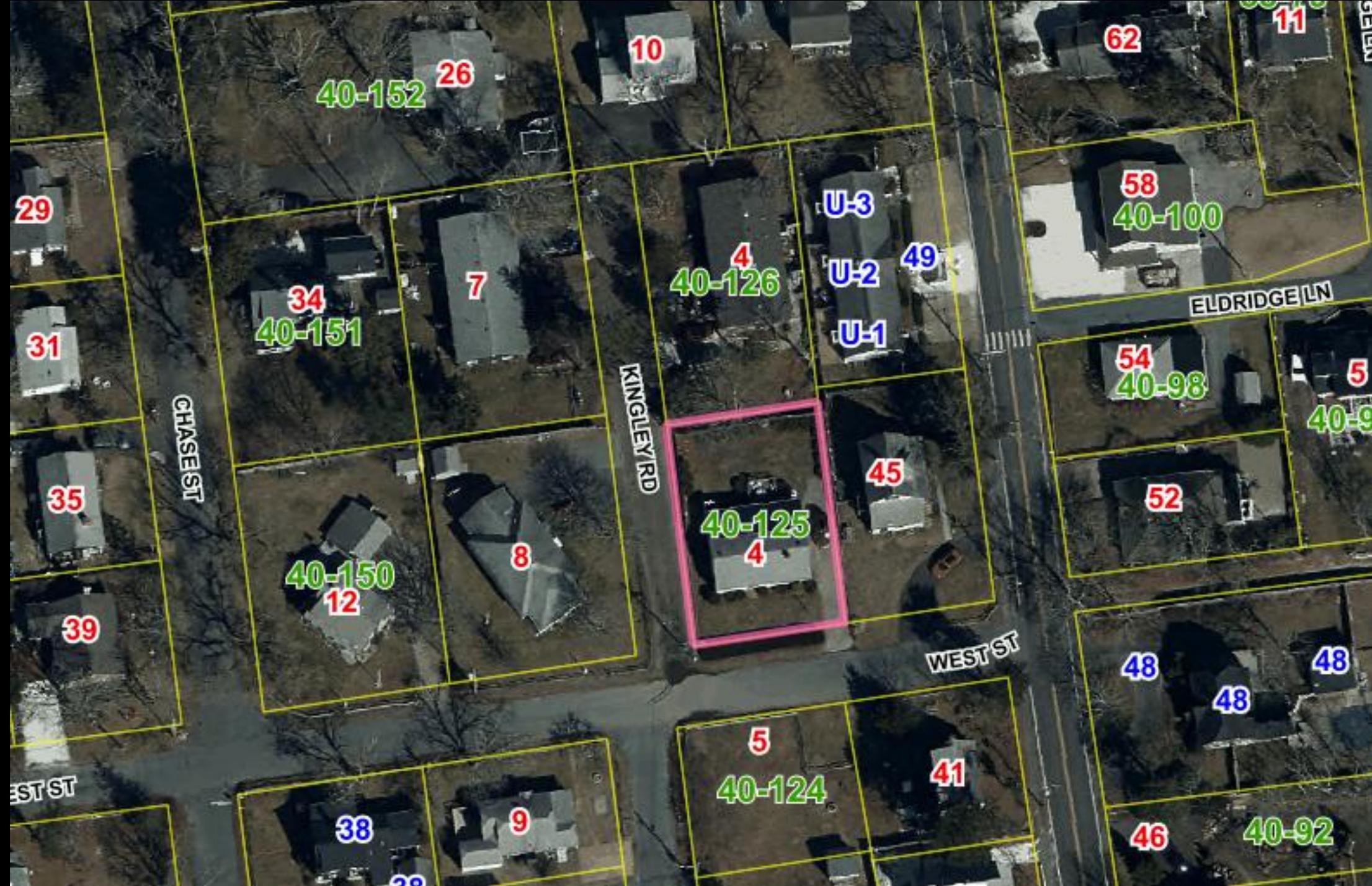
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Prev Year Total Value	\$594,300.00
Property Card	PK Field Card

Find Abutters





40-152

26

10

62

11

29

U-3

58

40-100

34

7

40-126

4

U-2

49

ELDRIDGE LN

31

40-151

U-1

54

40-98

CHASE ST

KINGLEY RD

40-9

35

45

40-125

4

52

40-150

8

WEST ST

39

48

48

48

EST ST

5

40-124

41

38

9

46

40-92



34
40-151

7

4
40-126

U-2

49

40-100

U-1

ELDRIDGE

54
40-98

KINGLEY RD

52

40-125
4

45

40-150
12

8

WEST ST

48

48

5

40-124

41

46

40

38

9

4 West St
Dennis, Massachusetts
[View on Google Maps](#)

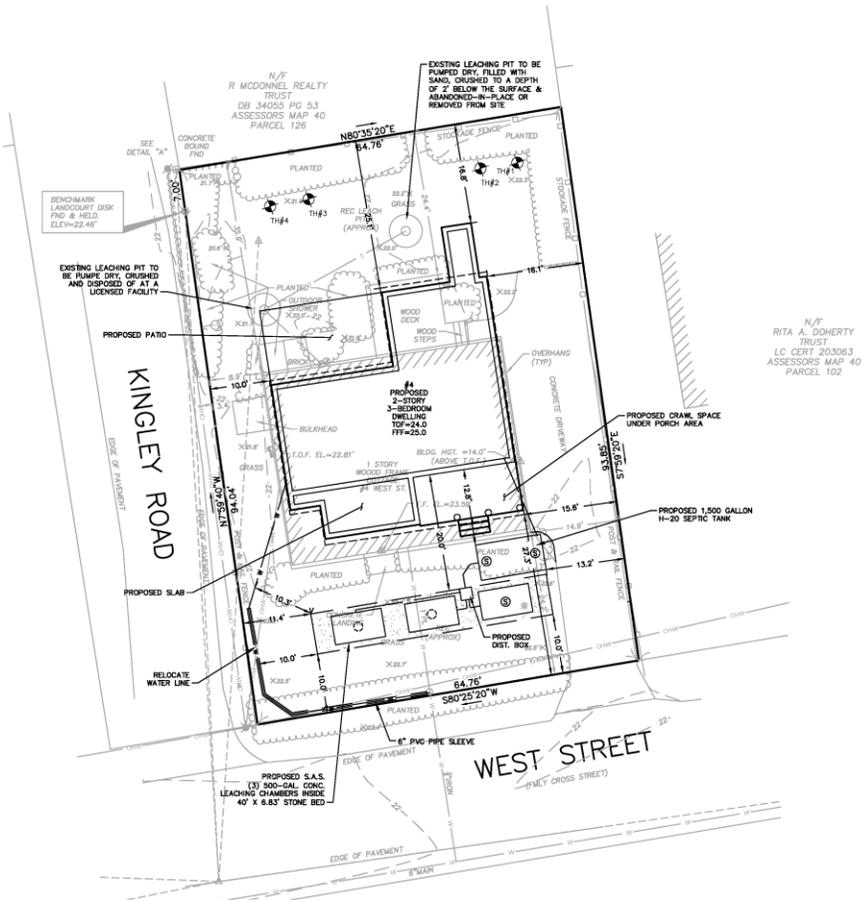








PLAN BOOK 113, PAGE 61



WITHIN SETBACK AREA

EXISTING	
BASEMENT	556± S.F.
FIRST FLOOR	532± S.F.
SECOND FLOOR	0
TOTAL	1,088± S.F.
PROPOSED	
BASEMENT	265± S.F.
FIRST FLOOR	406± S.F.
SECOND FLOOR	0
TOTAL	671± S.F.

LOCUS INFORMATION

CURRENT OWNER:	NOBLE REALTY TRUST
TITLE REFERENCE:	LAND COURT CERT. 162343
PLAN REFERENCE:	LAND COURT PLAN 14922-B LOT 1
ASSESSORS MAP:	40
PARCEL:	125
ZONING DISTRICT:	RESORT RESIDENTIAL
SETBACKS:	FRONT 25' SIDE 15' REAR 25'
OVERLAY DISTRICT:	NONE
NITROGEN SENSITIVE ZONE:	NOT IN ZONE II
NATURAL RESOURCE AREAS / NIT. SENSITIVE:	YES - CAPE COD EMBAYMENT ESTABLISHED JULY 7, 2023
FEMA FLOOD ZONE DISTRICT:	"X", DATED 7/16/14 PANEL #25001C0592J
MINIMUM LOT SIZE:	40,000 S.F.
EXISTING LOT SIZE:	6,082 S.F.
EXISTING BUILDING COVERAGE:	1,382/6,082=22.7%
PROPOSED BUILDING COVERAGE:	1,350/6,082=22.2%
EXISTING BUILDING WITHIN SETBACK:	1,068± S.F.
PROPOSED BUILDING WITHIN SETBACK:	671± S.F. (38% DECREASE)
EXISTING FLOOR AREA RATIO:	1,290/6,082=21.2%
PROPOSED (BOTH) FLOOR AREA RATIO:	1,794/6,082=29.5%



LOCUS MAP
NOT TO SCALE



Kieran J. Healy
KIERAN J. HEALY, P.E.S. DATE: 2/17/2025
FOR THE BSC GROUP, INC.

SITE PLAN OF LAND

4 WEST STREET
IN
DENNISPORT
MASSACHUSETTS
(BARNSTABLE COUNTY)

PROPOSED CONDITIONS

FEBRUARY 17, 2025

REVISIONS:

NO.	DATE	DESC.

PREPARED FOR:
LAURA NOBLE &
MARIE MONTGOMERY
139 HIGHLAND STREET
TOWNSEND, MA 01468-1129

BSC GROUP
BUILD | SUPPORT | CONNECT
349 Main Street - Route 28
West Yarmouth, Massachusetts
02673
508 778 8919

© 2025 BSC Group, Inc.

SCALE: 1" = 10'
0 5 10 20 FEET

FILE: 0101388-SP
DWG:
JOB. NO: 0101388.00 SHEET 1 OF 1



N/F
R MCDONNELL REALTY
TRUST
DB 34055 PG 53
ASSESSORS MAP 40
PARCEL 126

EXISTING LEACHING PIT TO BE
PUMPED DRY, FILLED WITH
SAND, CRUSHED TO A DEPTH
OF 2' BELOW THE SURFACE &
ABANDONED-IN-PLACE OR
REMOVED FROM SITE

BENCHMARK
LANDCOURT DISK
FND & H.E.D.
ELEV=22.46'

EXISTING LEACHING PIT TO
BE PUMPED DRY, CRUSHED
AND DEPOSED OF AT A
LICENSED FACILITY

#4
PROPOSED
2-STORY
3-BEDROOM
DWELLING
TOP=24.0
FF=25.0

N/F
RITA A. DOHERTY
TRUST
LC CERT 203063
ASSESSORS MAP 40
PARCEL 102

PROPOSED S.A.S.
(3) 500-GAL. CONC.
LEACHING CHAMBERS INSIDE
40' X 6.83' STONE BED

ZONE:	NOT IN ZONE II
NATURAL RESOURCE AREAS / NIT. SENSITIVE	YES - CAPE COD EMBAYMENT ESTABLISHED JULY 7, 2023
FEMA FLOOD ZONE DISTRICT:	"X", DATED 7/16/14 PANEL #25001C0592J
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N/F
R. WOODWELL REALTY
TRUST
DB 34055 PG 53
ASSESSOR'S MAP 40
PARCEL 126

EXISTING LEACHING PIT TO BE
PUMPED DRY, FILLED WITH
SAND, CRUSHED TO A DEPTH
OF 2' BELOW THE SURFACE &
ABANDONED—RE-PLACE OR
REMOVED FROM SITE

BENCHMARK
LANDCOURT DISK
RVD & HELD
2127402.45'

EXISTING LEACHING PIT TO
BE PUMPED DRY, CRUSHED
AND DEPOSED OF AT A
LICENSED FACILITY

PROPOSED PATIO

KINGLEY ROAD

PROPOSED SLAB

RELOCATE
WATER LINE

PROPOSED S.A.S.
33' 300-GAL. CONC.
LEACHING CHAMBER INSIDE
40' X 6.82' STONE BED

N/F
RTA A. DOHERTY
TRUST
LC 0297 203063
ASSESSOR'S MAP 40
PARCEL 102

PROPOSED GRAVEL SPACE
UNDER PORCH AREA

PROPOSED 1,000 GALLON
H-20 SEPTIC TANK

WEST STREET
TRUCK CROSS STREET



NOBLE & MONTGOMERY HOUSE

DENNIS, MA

ISSUE: PERMIT 3/1/25

-EXISTING 1,285SF HOUSE & CESSPOOL TO BE DEMOLISHED
 -NEW CONSTRUCTION, 3 BEDROOM, 2 BATH HOUSE - 1,615SF CONDITIONED SPACE, 145SF PORCH FOR A TOTAL OF 1,760 SF
 - FIRST FLOOR 1,095 SF
 - PORCH 145SF
 - SECOND FLOOR 520 SF
 -HOUSE TO BE INSULATED AS FOLLOWS
 -ROOF - 2X12 RAFTERS FILLED WITH CLOSED CELL POLY. FOAM (R76)
 -WALLS - 2X6 WALL FILLED WITH CLOSED CELL POLY. FOAM (R36)
 -FOUNDATION - 10" FOUNDATION WALL 2" TOUGH N' DRY ON EXTERIOR (R10)
 + 4.5" ROCKWOOL (R17) = FOUNDATION (R27)
 -SLAB - 4" SLAB 4" NEOPOR SUBTERRA (R20)
 -NEW SEPTIC SYSTEM
 -ANDERSEN 400 SERIES, DOUBLE PANED, ARGON FILLED, LOW-E1 COATED, PASSIVE SUN WINDOWS
 -MARVIN ULTIMATE FRENCH INSWING DOOR W/ 3 STILES, DOUBLE PANED, ARGON FILLED, LOW-E1 COATED DOOR
 -SIMPSON HANTUCKET SERIES MAIN DOOR W/ INSULATED LOW-E1 GLASS

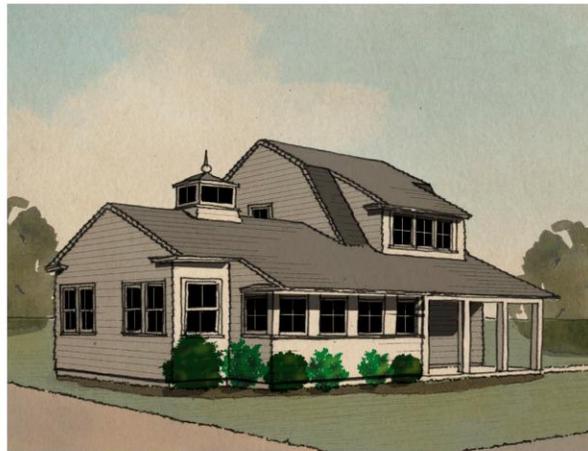


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A11	PROPOSED SITE PLAN	•
A20	BASEMENT PLAN	•
A21	FIRST FLOOR PLAN	•
A22	SECOND FLOOR PLAN	•
A23	ROOF PLAN	•
A30	EXTERIOR ELEVATIONS	•
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A50	WINDOW AND DOOR SCHEDULE	•
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E20	BASEMENT ELECTRICAL PLAN	•
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S13	ROOF FORMING PLAN	•
S14	DETAILS	•
S15	DETAILS	•

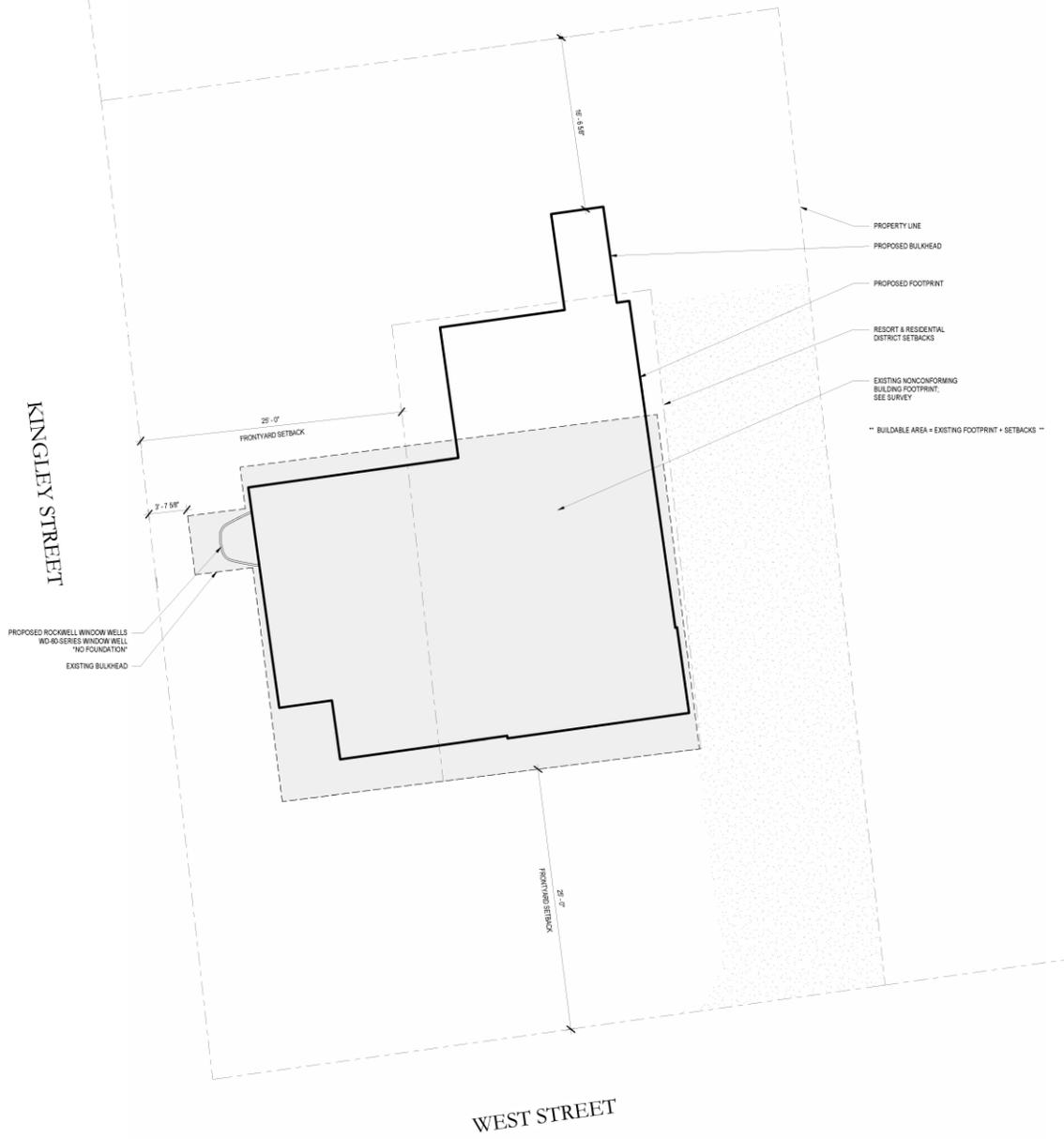
ART Albert-Richter-Tirrmann
 ARCHITECTS
 33 Union Street 4th Floor Boston, MA 02108
 617.451.5740 ARTarchitects.com

NOBLE & MONTGOMERY
 HOUSE
 DENNIS, MA

DATE	ISSUE	DRAWN	CHECKED
11/14/24	PRELIM	ESC	DAK
3/1/25	PERMIT	ESC	DAK

TITLE	COVER
JOB NUMBER	2378
SCALE	

A0.0



A1.0

TITLE
EXISTING CONDITIONS
SITE ANALYSIS

JOB NUMBER
2328

SCALE
3/16" = 1'-0"

DATE	ISSUE	DRAWN	CHECKED
11/11/24	PRELIM	ESG	D.A.
3/7/25	PERM	ESG	D.A.

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HOUSE
DENNIS, MA

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31 Union Street 4th Floor · Boston, MA 02108
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KINGLEY STREET

EXISTING BULKHEAD

3'-7 5/8"

25'-0"
FRONTYARD SETBACK

G

2'-0"
FRONTYARD SETBACK

PROPERTY LINE

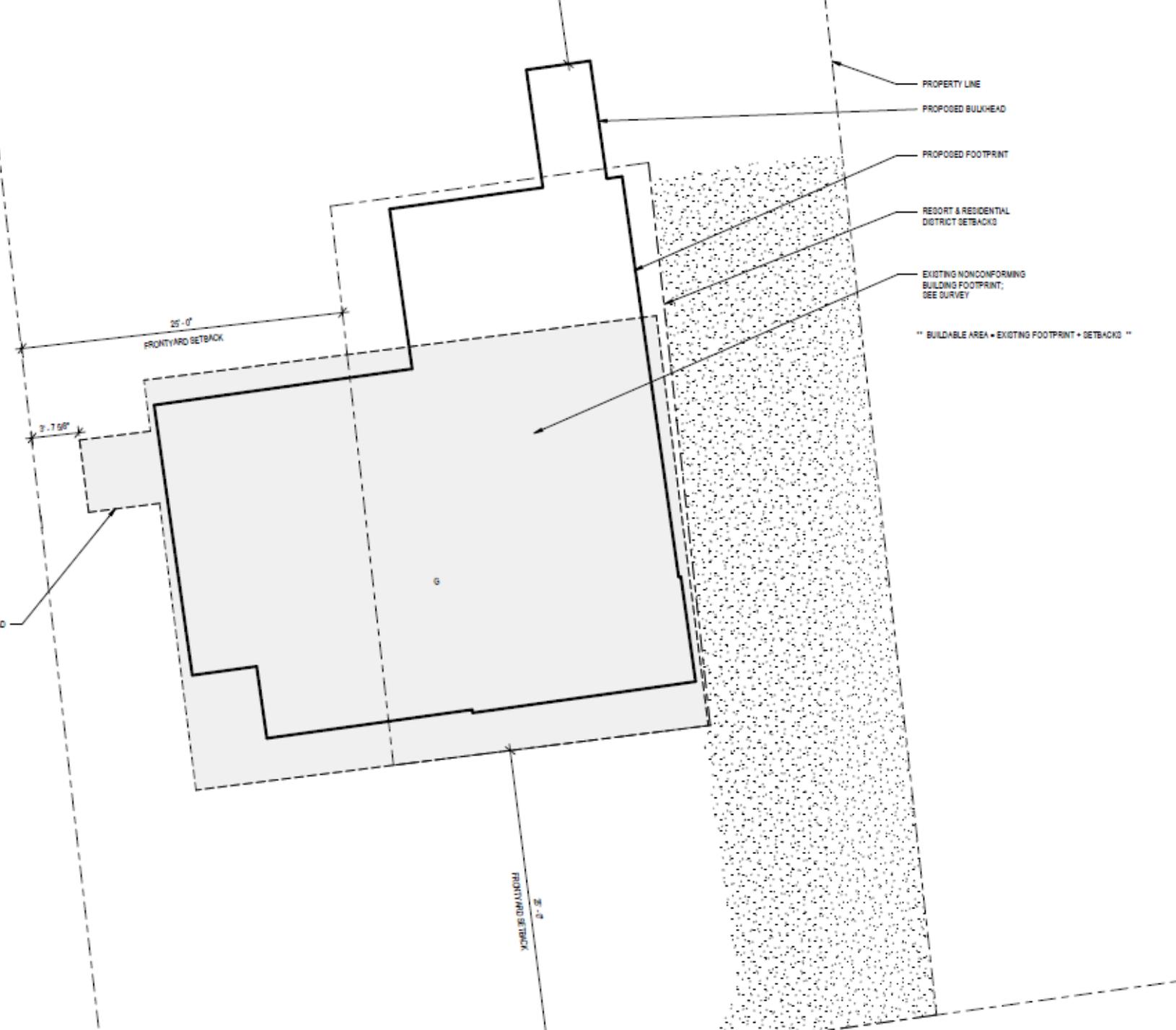
PROPOSED BULKHEAD

PROPOSED FOOTPRINT

RECORD & RESIDENTIAL
DISTRICT SETBACKS

EXISTING NONCONFORMING
BUILDING FOOTPRINT;
SEE SURVEY

** BUILDABLE AREA = EXISTING FOOTPRINT + SETBACKS **



KINGLEY STREET

EXISTING BULKHEAD

8'-7 5/8"

25'-0"
FRONTYARD SETBACK

G

25'-0"
FRONTYARD SETBACK

PROPERTY LINE

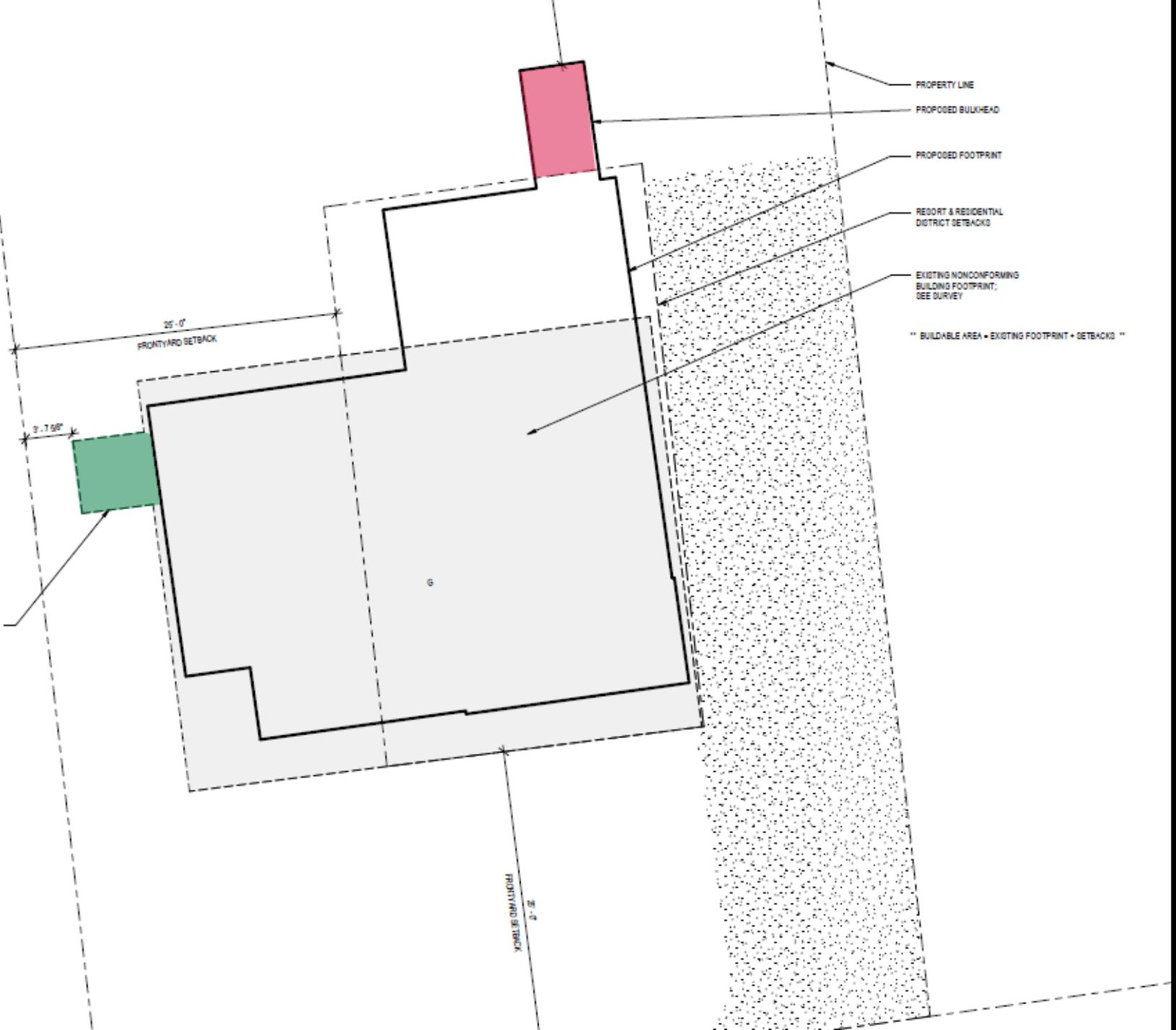
PROPOSED BULKHEAD

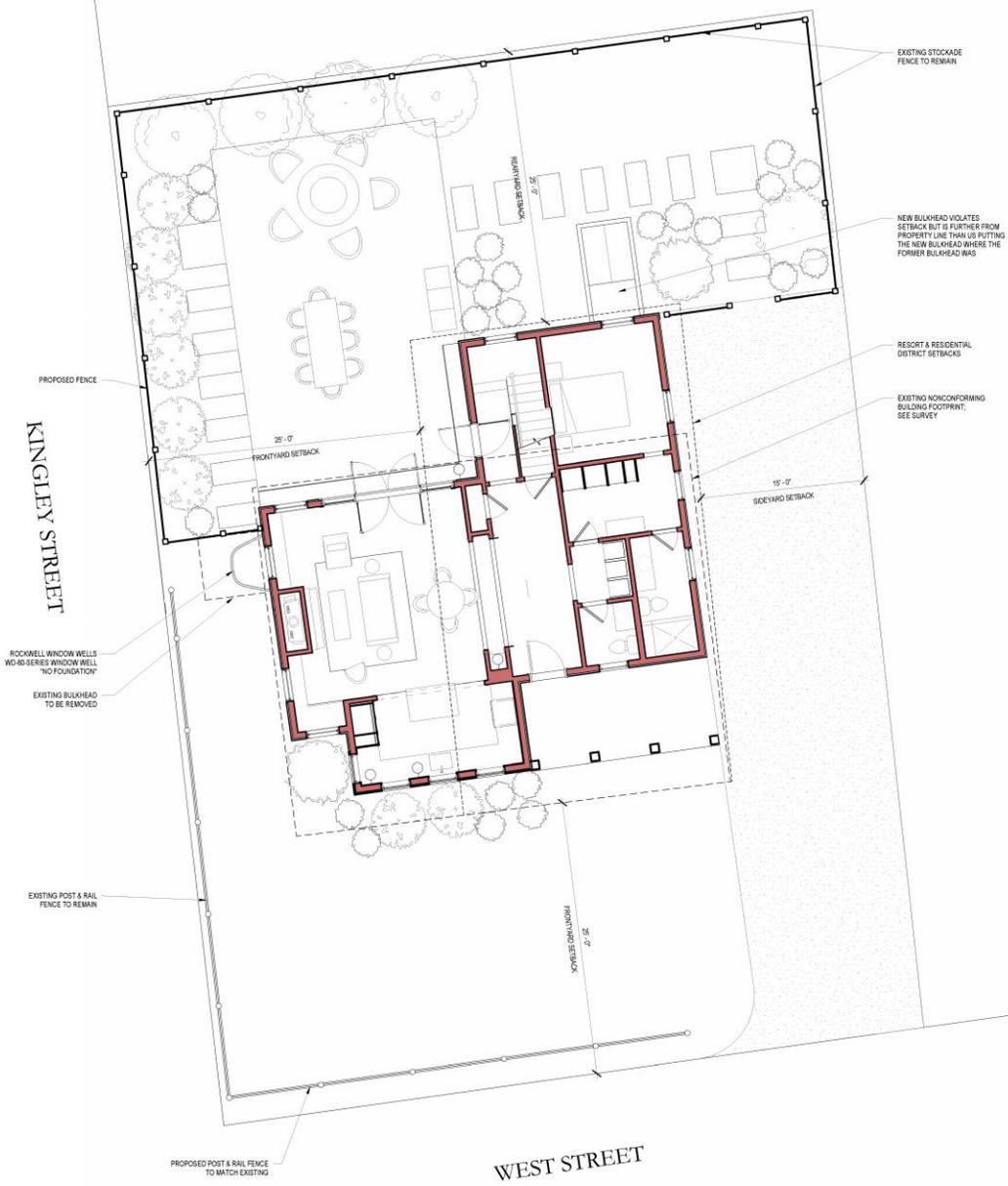
PROPOSED FOOTPRINT

RESORT & RESIDENTIAL
DISTRICT SETBACKS

EXISTING NONCONFORMING
BUILDING FOOTPRINT;
SEE SURVEY

" BUILDABLE AREA = EXISTING FOOTPRINT + SETBACKS "





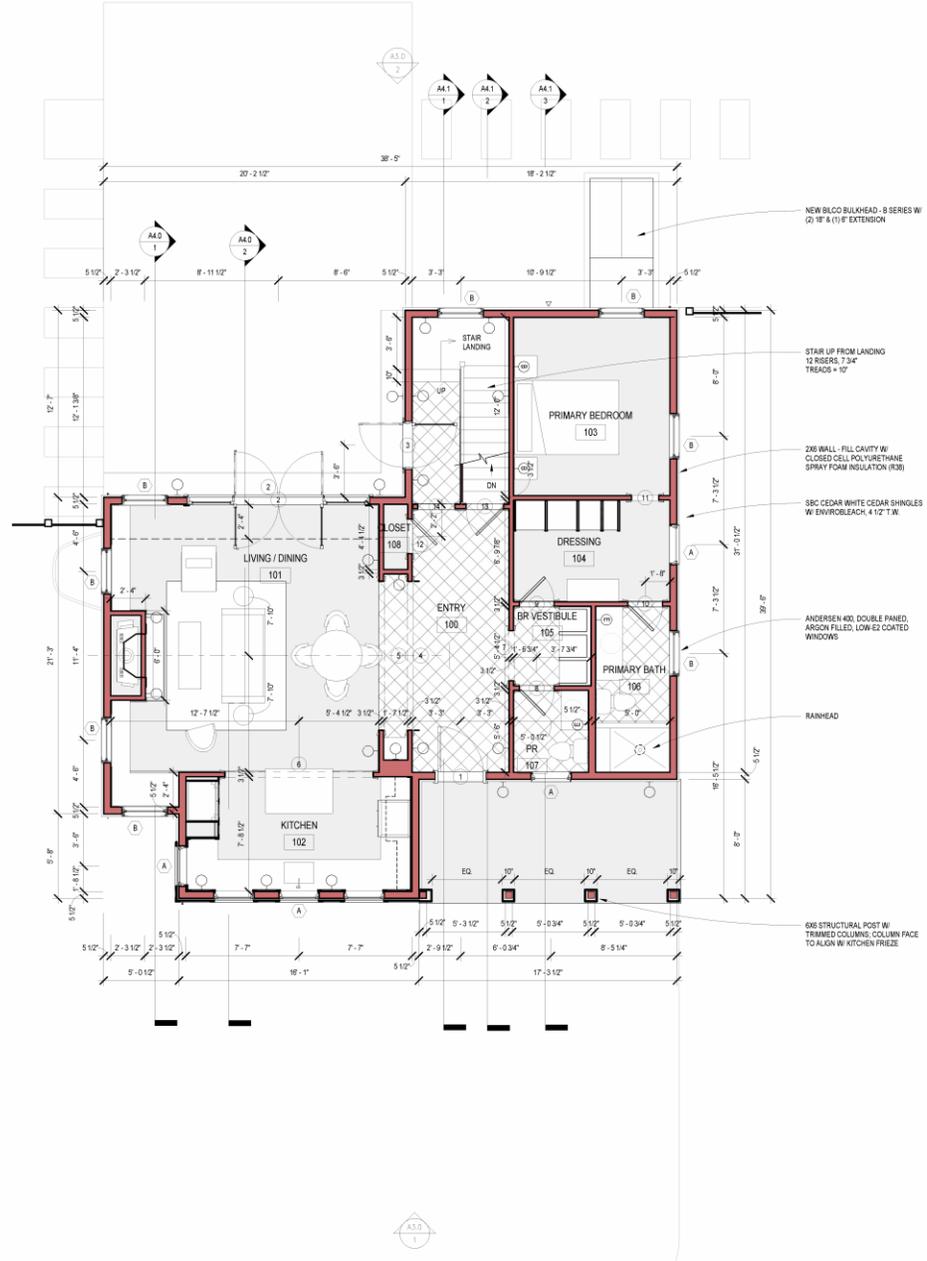
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PROPOSED SITE PLAN	11/11/24	PRELIM	ESG	DA
	3/7/25	PERMIT	ESG	DA
JOB NUMBER	2328			

SCALE
3/16" = 1'-0"

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A1.1



NEW BILCO BULKHEAD - R SERIES W/ (2) 18" x 11" EXTENSION

STAR UP FROM LANDING
12 RISERS, 7 3/4"
TREADS = 10"

2X6 WALL - FILL CAVITY W/
CLOSED CELL POLYURETHANE
SPRAY FOAM INSULATION (R30)

SBC CEDAR WHITE CEDAR SHINGLES
W/ ENVIROBLEACH, 4 1/2" T.W.

ANDERSEN 400, DOUBLE PANELED,
ARGON FILLED, LOW-E2 COATED
WINDOWS

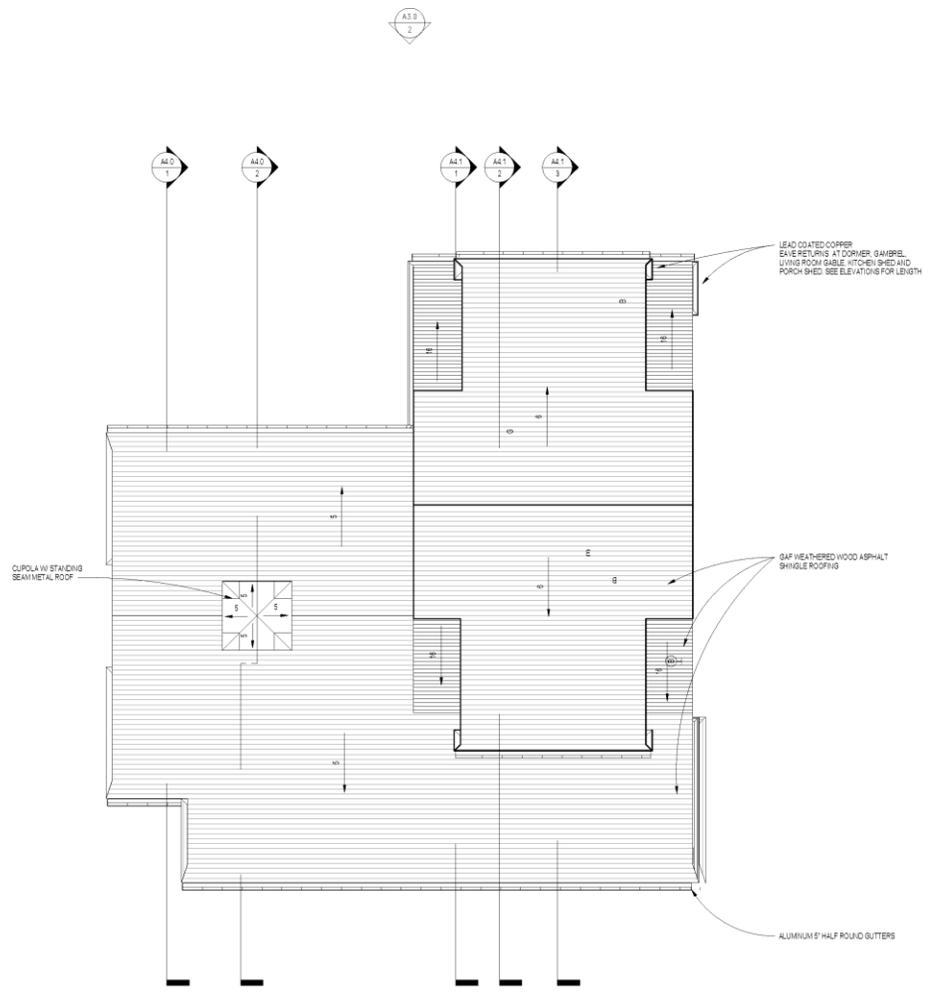
RAINHEAD

ONE STRUCTURAL POST W/
TRIMMED COLUMN, COLUMN FACE
TO ALIGN W/ KITCHEN PRIZEE

NOBLE & MONTGOMERY
HOUSE
DENNIS, MA

TITLE	DATE	ISSUE	DRAWN	CHECKED
FIRST FLOOR PLAN	11/14/14	FRS/NC	ESG	D.A.
JOB NUMBER	2328	SCALE	1/4" = 1'-0"	

A3.0
3



A3.0
2

A4.0
1

A4.0
2

A4.1
1

A4.1
2

A4.1
3

A3.0
4

A3.0
1

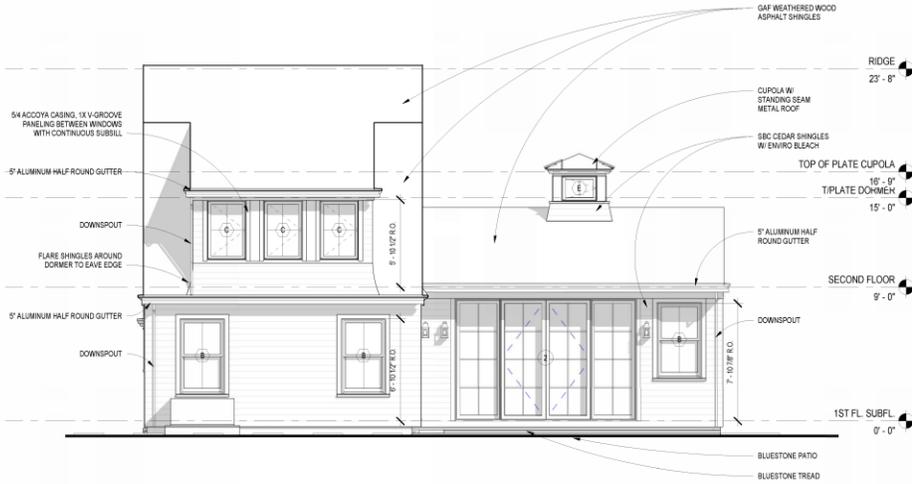
A2.3

TITLE
ROOF PLAN
JOB NUMBER
2328
SCALE
1/4" = 1'-0"

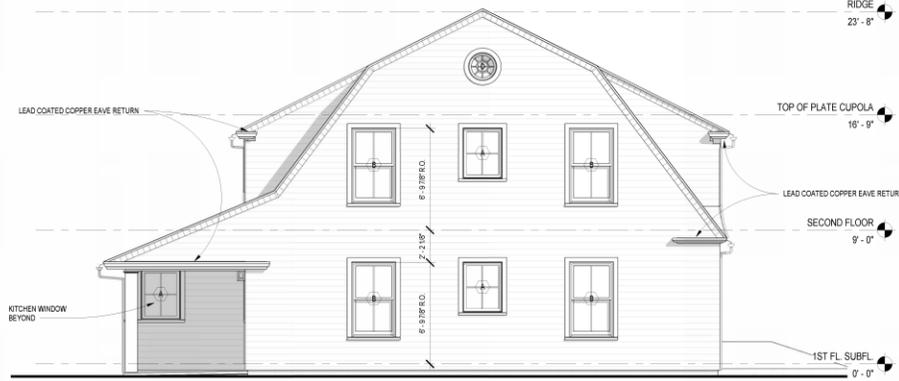
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11/11/24	PS/NC	FSG	DA
3/1/25	PS/MT	FSG	DA

**NOBLE & MONTGOMERY
HOUSE
DENNIS, MA**

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2 NORTH ELEVATION
1/4" = 1'-0"



4 EAST ELEVATION
1/4" = 1'-0"

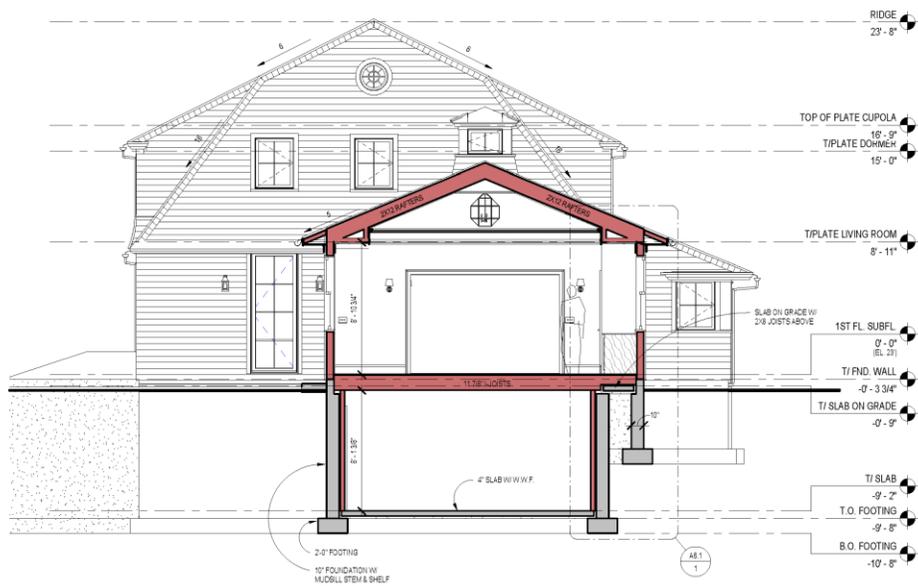


3 WEST ELEVATION
1/4" = 1'-0"

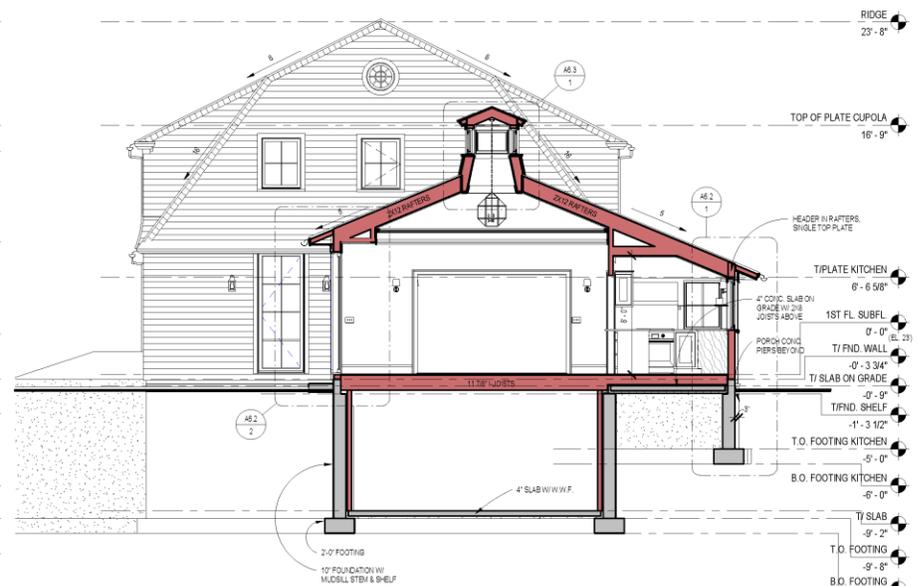


1 SOUTH ELEVATION
1/4" = 1'-0"

TITLE	DATE	ISSUE	DRAWN	CHECKED
EXTERIOR ELEVATIONS	11/14/24	FRSING	DA	DA
	3/7/25	FRSING	DA	DA
JOB NUMBER	2328			
SCALE	1/4" = 1'-0"			

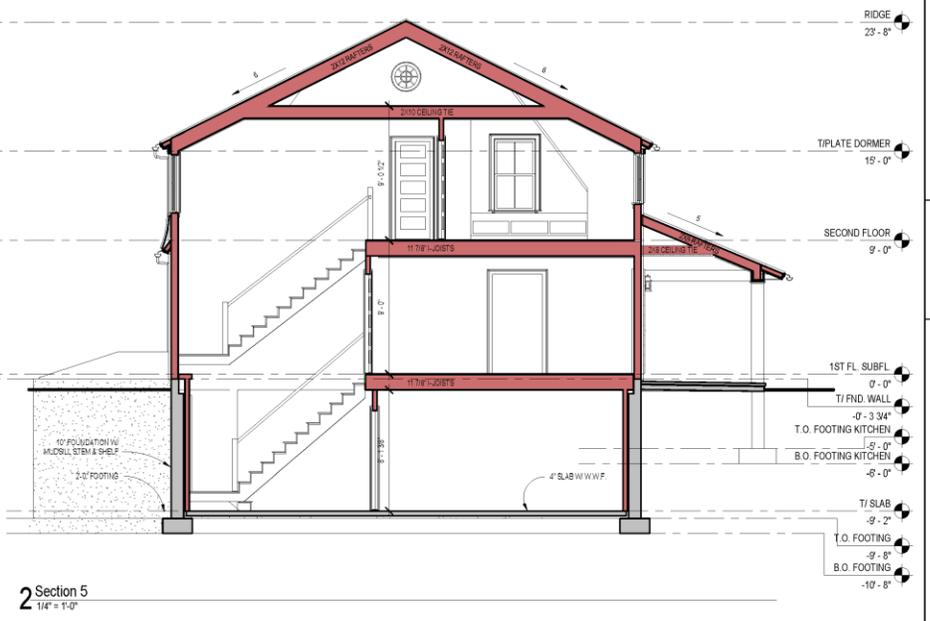
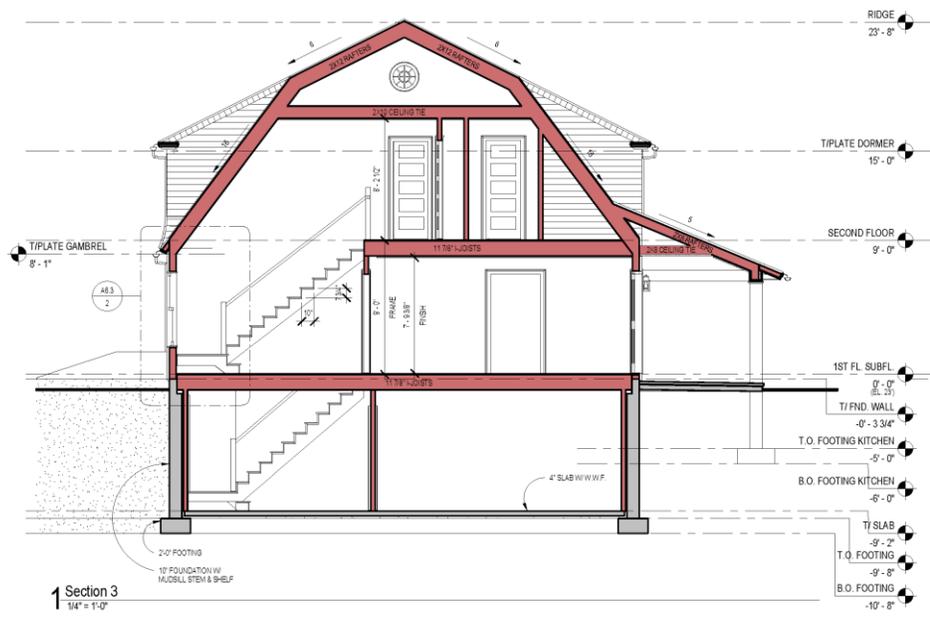


1 Section 1
1/4" = 1'-0"



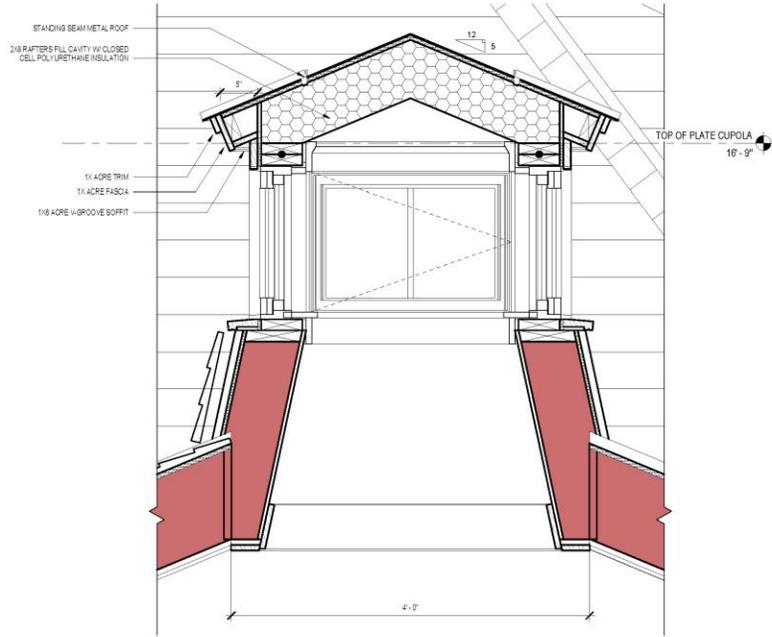
2 Section 2
1/4" = 1'-0"

TITLE	DATE	ISSUE	DRAWN	CHECKED
BUILDING SECTIONS	11/14/24	PRELIM	FSK	DA
JOB NUMBER	2328	PERMIT	FSK	DA
SCALE	1/4" = 1'-0"			

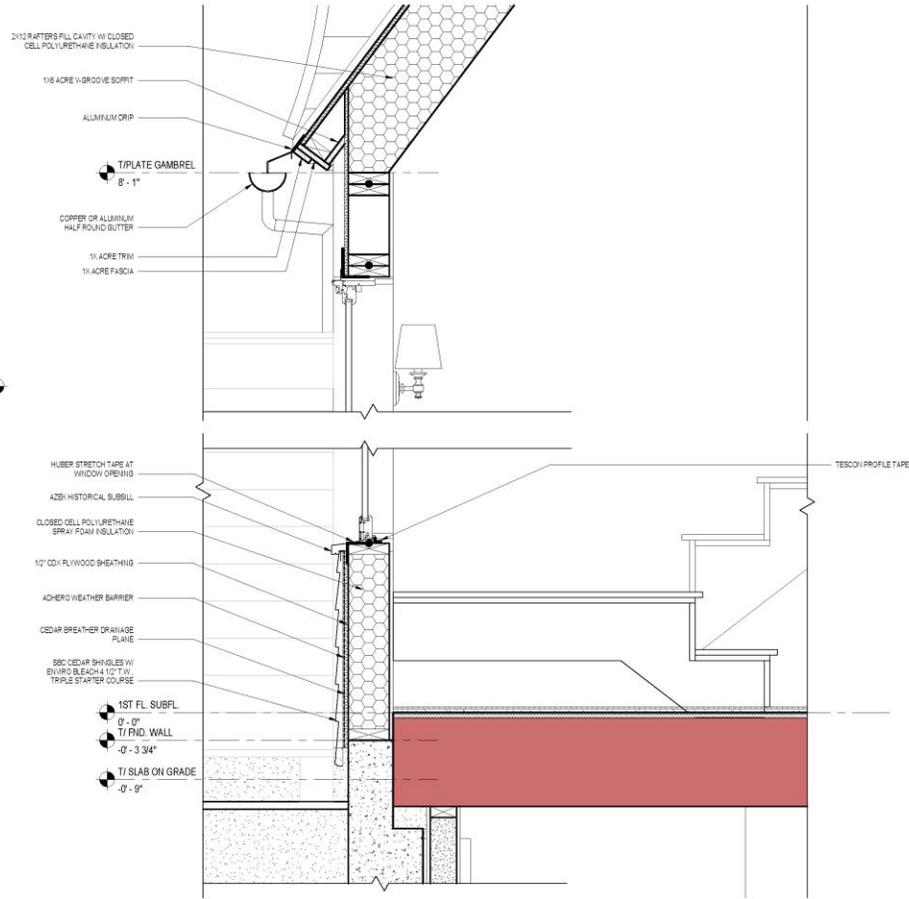


DATE	ISSUE	DRAWN	CHECKED
11/14/24	PRINC	FSK	DA
3/17/25	PERM	FSK	DA

TITLE	BUILDING SECTIONS	SCALE
JOB NUMBER	2328	1/4" = 1'-0"



1 DETAIL @ CUPOLA
1 1/2" = 1'-0"



2 DETAIL @ GAMBREL
1 1/2" = 1'-0"

TITLE	DATE	ISSUE	DRAWN	CHECKED
WALL SECTION DETAILS	11/11/24	PRELIM	ESG	DA
JOB NUMBER	2328	SCALE	1 1/2" = 1'-0"	

GENERAL CONDITIONS

1. GENERAL CONTRACTOR TO CONSTRUCT FRAMING AS REPRESENTED IN THE STRUCTURAL DRAWINGS, COORDINATE WITH ARCHITECTURAL PLANS, AND FOLLOW STANDARD BUILDING PRACTICE. GENERAL CONTRACTOR RESPONSIBLE FOR IDENTIFYING ANY CONFLICTS REPRESENTED IN THE FRAMING PLANS. ANY PROPOSED DEPARTURES FROM WHAT IS INDICATED MUST BE REVIEWED WITH THE ENGINEER PRIOR TO CONSTRUCTION. ALL UNAUTHORIZED CHANGES TO THE APPROVED DRAWINGS MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
2. THE CONTRACTOR SHALL CAREFULLY VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS PRIOR TO COMMENCEMENT OF THE WORK, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ENGINEERING AND ARCHITECTURAL DOCUMENTS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF TEMPORARY SHORING, BRACING, OR OTHERWISE PROTECTING ANY PORTION OF THE STRUCTURE, SITE AND UTILITIES FROM DAMAGE DURING CONSTRUCTION. THE ENGINEER IS SPECIFYING THE FINISHED CONDITION ONLY, WITHOUT ASSUMING KNOWLEDGE NOR RESPONSIBILITY FOR HOW THE CONTRACTOR WILL ACHIEVE THIS RESULT.
4. FOR RENOVATION WORK STRUCTURAL DRAWINGS ARE PRODUCED WITH ASSUMPTIONS MADE REGARDING EXISTING CONDITIONS. IF CONTRACTOR FINDS EXISTING CONDITIONS NOT AS ASSUMED CONTACT ENGINEER IMMEDIATELY. REVISIONS TO THE STRUCTURAL FRAMING MAY BE REQUIRED.
5. FOR EXACT LOCATIONS OF FLOOR AND ROOF OPENINGS, POSTS, ETC., SEE ARCHITECTURAL DRAWINGS.

FOUNDATIONS

1. WHERE FOUNDATIONS ARE EXISTING, DESIGN HAS BEEN COMPLETED ASSUMING FOUNDATIONS ARE SUITABLE TO SUPPORT PROPOSED RENOVATION. CONTRACTOR RESPONSIBLE FOR VERIFYING THAT THE EXISTING FOUNDATION CONFORMS TO BUILDING CODE REQUIREMENTS AND REPORT FOOTING CONDITIONS TO ENGINEER FOR VERIFICATION.
2. EXCAVATE TO LINES AND GRADES REQUIRED TO PROPERLY INSTALL THE FOUNDATIONS ON INORGANIC, UNDISTURBED SOIL OR CONTROLLED STRUCTURAL BACKFILL. ALL EXCAVATIONS SHALL BE DRY BEFORE PLACING ANY CONCRETE.
3. EXTERIOR FOOTINGS SHALL BE PLACED ON APPROVED SOIL AT A MINIMUM DEPTH OF 4 FEET, OR AS MODIFIED BY THE STRUCTURAL ENGINEER, BELOW THE LOWEST ADJACENT GROUND EXPOSED TO FREEZING. ANY ADJUSTMENT OF FOOTING ELEVATIONS DUE TO FIELD CONDITIONS MUST HAVE THE APPROVAL OF THE STRUCTURAL ENGINEER.
4. SOIL BEARING CAPACITY: FOOTINGS MUST BE PLACED ON SOIL WITH A MINIMUM BEARING CAPACITY OF 4000 POUNDS PER SQUARE FOOT.
5. BACKFILL BELOW FOOTINGS AND SLABS SHALL BE MADE WITH APPROVED GRANULAR MATERIALS PLACED IN 6" LAYERS. LAYERS SHALL BE COMPACTED TO 98% DENSITY AT OPTIMUM MOISTURE CONTENT, AS DEFINED BY ASTM D1557.
6. BACKFILLING AGAINST WALLS OR PIERS MAY ONLY BE DONE AFTER WALLS OR PIERS ARE BRACED TO PREVENT MOVEMENT. FOR WOOD FRAMED RESIDENTIAL CONSTRUCTION, NO BACKFILLING OF WALLS MAY TAKE PLACE UNTIL THE FIRST FLOOR DECK HAS BEEN FRAMED AND SHEATHED, UNLESS WRITTEN APPROVAL IS GIVEN BY THE ARCHITECT OR ENGINEER.
7. PROVIDE FOUNDATION DRAINAGE, WATERPROOFING/DAMP-PROOFING, AND FOUNDATION WALL INSULATION AS INDICATED ON THE ARCHITECTURAL DRAWINGS.

CONCRETE

1. ALL CONCRETE WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE LATEST EDITION OF ACI-318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
2. CONCRETE SHALL ACHIEVE A MINIMUM 28 DAY DESIGN STRENGTH AS FOLLOWS: FOOTINGS, WALLS, INTERIOR SLABS-ON-GRADE, AND OTHER CONCRETE NOT OTHERWISE SPECIFIED - 3000 PSI. EXTERIOR SLABS EXPOSED TO WEATHER - 4000 PSI.
3. SLUMP AT THE POINT OF DISCHARGE FROM THE READY-MIX TRUCK SHALL BE 3-5".
4. REINFORCING STEEL: TYPICAL - ASTM A615, GRADE 60. FIELD BENT - ASTM A615, GRADE 40 WELDED WIRE FABRIC - ASTM A185.

STRUCTURAL STEEL

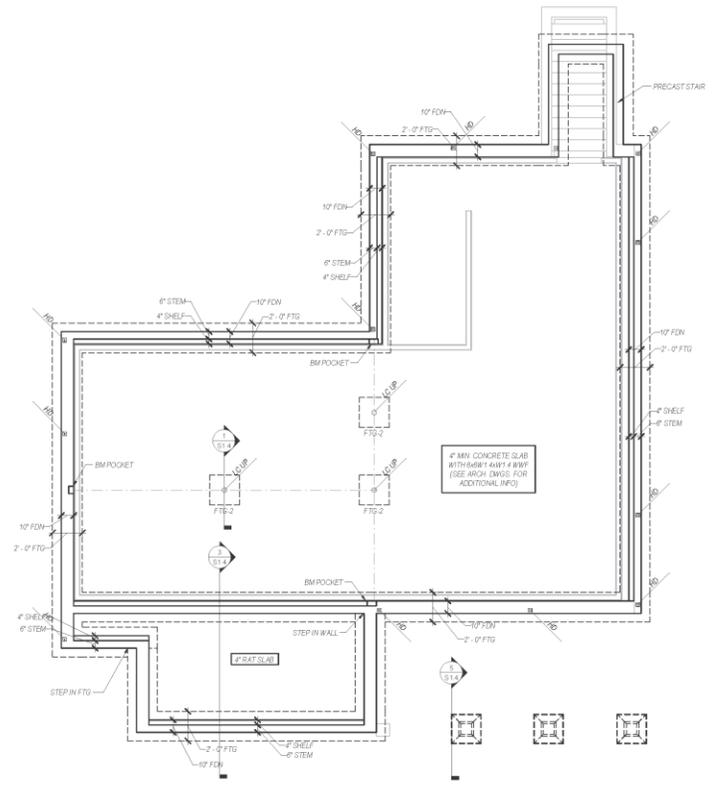
1. STRUCTURAL STEEL WORK SHALL CONFORM TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION: "SPECIFICATION FOR STRUCTURAL STEEL FOR BUILDINGS", LATEST EDITION.
2. STEEL WIDE FLANGE BEAMS SHALL CONFORM TO ASTM A992, WITH A MINIMUM YIELD STRENGTH OF 50 KSI. PLATES, ANGLES, CHANNELS, AND MISC. FABRICATED HARDWARE SHALL CONFORM TO ASTM A36, WITH A MINIMUM YIELD STRENGTH OF 36 KSI. RECTANGULAR STEEL TUBING SHALL CONFORM TO ASTM A500, GRADE B, WITH A MINIMUM YIELD STRENGTH OF 46 KSI.
3. ALL STEEL TO STEEL FIELD CONNECTIONS SHALL BE MADE BY HIGH STRENGTH BOLTING WITH ASTM A325 BOLTS OR WELDING WITH E70 XX ELECTRODES. STEEL TO CONCRETE AND STEEL TO WOOD FIELD CONNECTIONS MAY BE MADE WITH ASTM A 307 BOLTS.
4. STEEL SHALL BE SHOP-PAINTED WITH A MODIFIED ALKYD PRIMER UNLESS OTHERWISE NOTED.
5. NO CUTTING OF OR OPENINGS THROUGH STEEL WILL BE PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.
6. CONTRACTOR TO SUBMIT SHOP DRAWING TO ARCHITECT AND ENGINEER FOR APPROVAL.

LATERAL FRAMING NOTES

1. THE STRUCTURAL DESIGN OF THIS RESIDENCE WAS PERFORMED IN COMPLIANCE WITH THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS. THE PRESCRIPTIVE REQUIREMENTS OF THIS CODE DO NOT APPLY PER SECTIONS 301.1.3 ALTERNATIVE PROVISIONS AND 301.1.3 ENGINEERED DESIGN.
2. FRAMING COMPONENTS AND FASTENERS AS IDENTIFIED IN THESE DRAWINGS AND NOTES ADEQUATELY RESIST THE LATERAL LOAD REQUIREMENTS AS DEFINED BY THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.
3. ALL EXTERIOR WALLS TO FOLLOW SHEARWALL SHEATHING CRITERIA.
SHEARWALLS CONSTRUCTION:
SHEATHING TO BE 1/2" APA RATED
SHEATHING TO BE ATTACHED TO THE WALL STUDS WITH 8d NAILS @ 4" OC AROUND EDGES & 8" OC IN FIELDS.
4. HOLDDOWNS TO BE HDU5 BY SIMPSON AND SHALL BE ATTACHED TO A MIN OF 2-2x STUDS
5. THREADED ROD TO BE 5/8" AND EPOXY SHALL BE SIMPSON SET-3G
6. ALL PLYWOOD SEAMS IN A SHEARWALL SHALL BE BLOCKED WITH DIMENSIONAL LUMBER OF THE SAME SIZE AS THE WALL STUDS.
7. REFER TO PLANS AND SECTIONS FOR STUD SIZES, STUDS SHALL BE SPACED AT 16 INCHES ON CENTER UNLESS NOTED OTHERWISE ON PLAN.
8. CARE SHOULD BE TAKEN TO ADJUST NAIL GUN PRESSURE SO AS TO NOT OVER DRIVE NAILS INTO PLYWOOD. NAIL HEADS SHOULD BE FLUSH WITH PLYWOOD FACE. OVER DRIVING NAILS GREATLY REDUCES THE EFFECTIVENESS OF THE SHEARWALL.
9. FOR FRAMING SIZES REFER TO FRAMING PLANS.



NOBLE & MONTGOMERY HOUSE
DENNIS MA



FOUNDATION PLAN
1/4" = 1'-0"

- FOUNDATION NOTES**
1. REFERENCE ARCHITECTURAL PLANS FOR FOUNDATION DIMENSIONS AND ELEVATIONS NOT SHOWN
 2. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT AND ENGINEER OF ANY TOP OF WALL ELEVATION AND DIMENSION DEVIATIONS BETWEEN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS

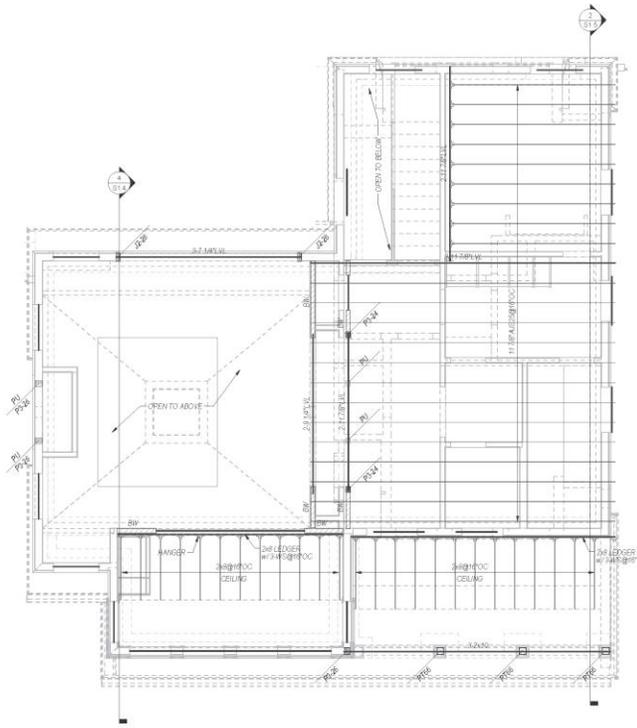
DATE	ISSUE	DRAWN	CHECKED
03.21.25	PERMIT	-	DWW

TITLE	FOUNDATION PLAN
JOB NUMBER	WSS# 2434
SCALE	1/4" = 1'-0"

S1.0

20250321.DWG - WSS#2434 - NOBLE & MONTGOMERY HOUSE - DENNIS MA

DRAWN: J. L. WEBB | CHECKED: D. W. WEBB | DATE: 03/21/25 | PROJECT: NOBLE & MONTGOMERY HOUSE



SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"

- FLOOR FRAMING NOTES**
- ALL INDIVIDUAL LVLs ARE 1 3/4" THICK UNLESS NOTED OTHERWISE ON PLAN.
 - BEAMS COMPRISED OF 3 LVLs OR MORE SHALL BE BOLTED TOGETHER WITH A MINIMUM OF (2) 1/2" BOLTS AT 16" OC OR (3) 3/8" WOOD SCREWS @ 16" OC. ALTERNATING INSERTION SIDES FOLLOW MANUFACTURER'S SPECIFICATIONS UNLESS NOTED OTHERWISE ON PLAN.
 - HEADERS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:



NOBLE & MONTGOMERY HOUSE
DENNIS MA

DATE	ISSUE	DRAWN	CHECKED
03.21.25	PERMIT	-	DWW

TITLE	SECOND FLOOR FRAMING PLAN
JOB NUMBER	WSS# 2434
SCALE	1/4" = 1'-0"

S1.2

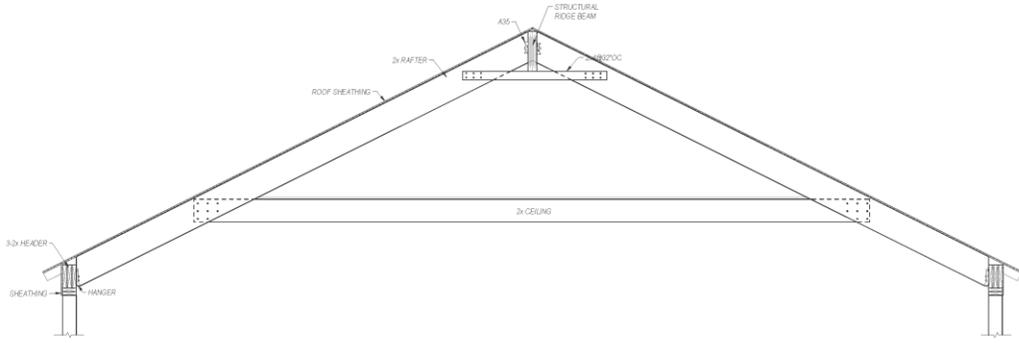


NOBLE & MONTGOMERY HOUSE
 DENNIS MA

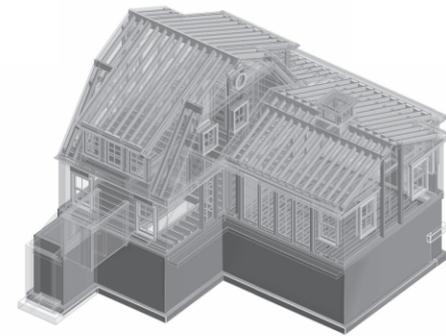
DATE	ISSUE	DRAWN	CHECKED
03.21.25	PERMIT	-	DWW

TITLE	DETAILS	SCALE	1/2" = 1'-0"
JOB NUMBER	WSS# 2434		

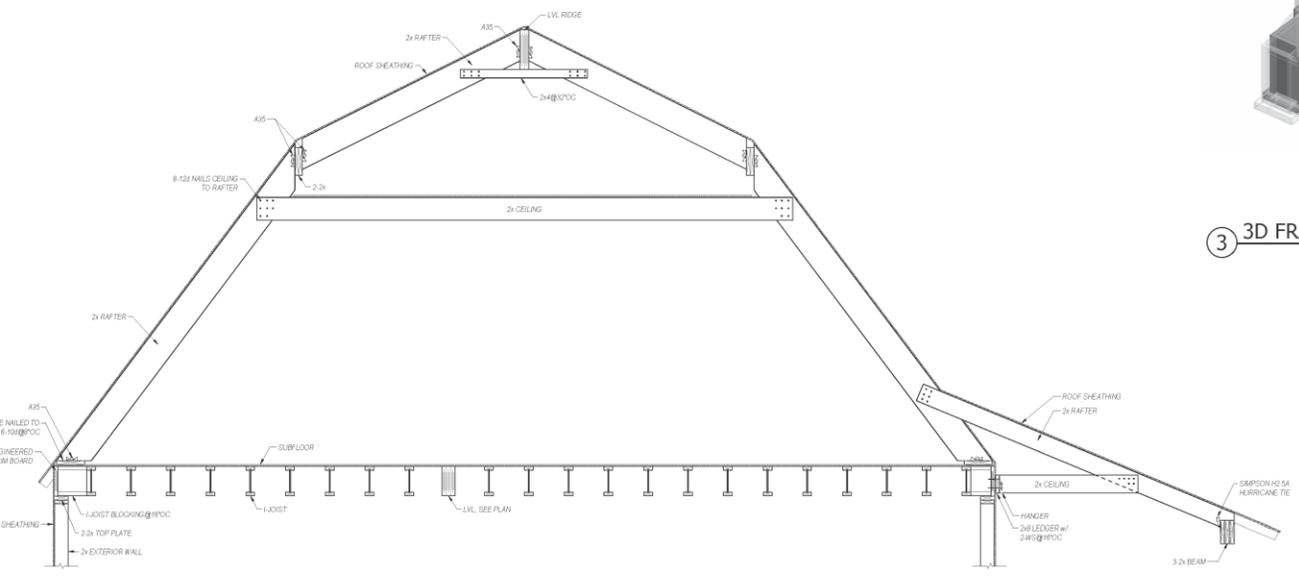
S1.5



1 SECTION
 1/2" = 1'-0"



3 3D FRAME



2 SECTION
 1/2" = 1'-0"

03/21/2025 10:47 AM - 10:55 AM - NOBLE & MONTGOMERY HOUSE - PERMIT - 2434 - 1/2" = 1'-0"

PLAN BOOK 113, PAGE 61



WITHIN SETBACK AREA

EXISTING	
BASEMENT	556± S.F.
FIRST FLOOR	532± S.F.
SECOND FLOOR	0
TOTAL	1,088± S.F.
PROPOSED	
BASEMENT	265± S.F.
FIRST FLOOR	406± S.F.
SECOND FLOOR	0
TOTAL	671± S.F.

LOCUS INFORMATION

CURRENT OWNER:	NOBLE REALTY TRUST
TITLE REFERENCE:	LAND COURT CERT. 162343
PLAN REFERENCE:	LAND COURT PLAN 14922-B LOT 1
ASSESSORS MAP:	40
PARCEL:	125
ZONING DISTRICT:	RESORT RESIDENTIAL
SETBACKS:	FRONT 25' SIDE 15' REAR 25'
OVERLAY DISTRICT:	NONE
NITROGEN SENSITIVE ZONE:	NOT IN ZONE II
NATURAL RESOURCE AREAS / NIT. SENSITIVE:	YES - CAPE COD EMBAYMENT ESTABLISHED JULY 7, 2023
FEMA FLOOD ZONE DISTRICT:	"X", DATED 7/16/14 PANEL #25001C0592J
MINIMUM LOT SIZE:	40,000 S.F.
EXISTING LOT SIZE:	6,082 S.F.
EXISTING BUILDING COVERAGE:	1,382/6,082=22.7%
PROPOSED BUILDING COVERAGE:	1,350/6,082=22.2%
EXISTING BUILDING WITHIN SETBACK:	1,068± S.F.
PROPOSED BUILDING WITHIN SETBACK:	671± S.F. (38% DECREASE)
EXISTING FLOOR AREA RATIO:	1,290/6,082=21.2%
PROPOSED (BOTH) FLOOR AREA RATIO:	1,794/6,082=29.5%



LOCUS MAP
NOT TO SCALE



2/17/2025
KIERAN J. HEALY, P.E.
FOR THE BSC GROUP, INC. DATE

SITE PLAN OF LAND

4 WEST STREET
IN
DENNISPORT
MASSACHUSETTS
(BARNSTABLE COUNTY)

PROPOSED CONDITIONS

FEBRUARY 17, 2025

REVISIONS:

NO.	DATE	DESC.

PREPARED FOR:
LAURA NOBLE &
MARIE MONTGOMERY
139 HIGHLAND STREET
TOWNSEND, MA 01468-1129

BSC GROUP
BUILD | SUPPORT | CONNECT
349 Main Street - Route 28
West Yarmouth, Massachusetts
02673
508 778 8919

© 2025 BSC Group, Inc.
SCALE: 1" = 10'
0 5 10 20 FEET

FILE: 0101388-SP
DWG:
JOB. NO: 0101388.00 SHEET 1 OF 1

Commonwealth of Massachusetts



TOWN OF DENNIS
BUILDING DEPARTMENT
ZONING REFERRAL LETTER
685 Route 134, South Dennis, MA 02660
(508) 760-6157

PERMIT NUMBER:
ZDET-25-11

DATE OF REFERRAL:
March 31, 2025

FEES PAID:
\$50.00

NOBLE LAURA A

4 WEST STREET, DENNIS PORT, MA, 02639

OWNERS NAME:

40-125-0

PROPERTY ADDRESS OF WORK:

MAP & PARCEL:

**ZBA Special Permit required for the Voluntary
Demolition and replacement of a non-conforming
structure on a non-conforming lot.**

DETERMINATION OF
REFERRAL:

ZBA Special Permit required for the Voluntary Demolition and
replacement of a non-conforming structure on a non-
conforming lot.

ISSUED BY:

DESCRIPTION OF WORK BY APPLICANT:

To remove the existing dwelling and replace with a new dwelling and to remove the bulkhead within the front setback and replace it within the rear setback. The building coverage will decrease and the FAR will increase from 21.2% to 29.5%