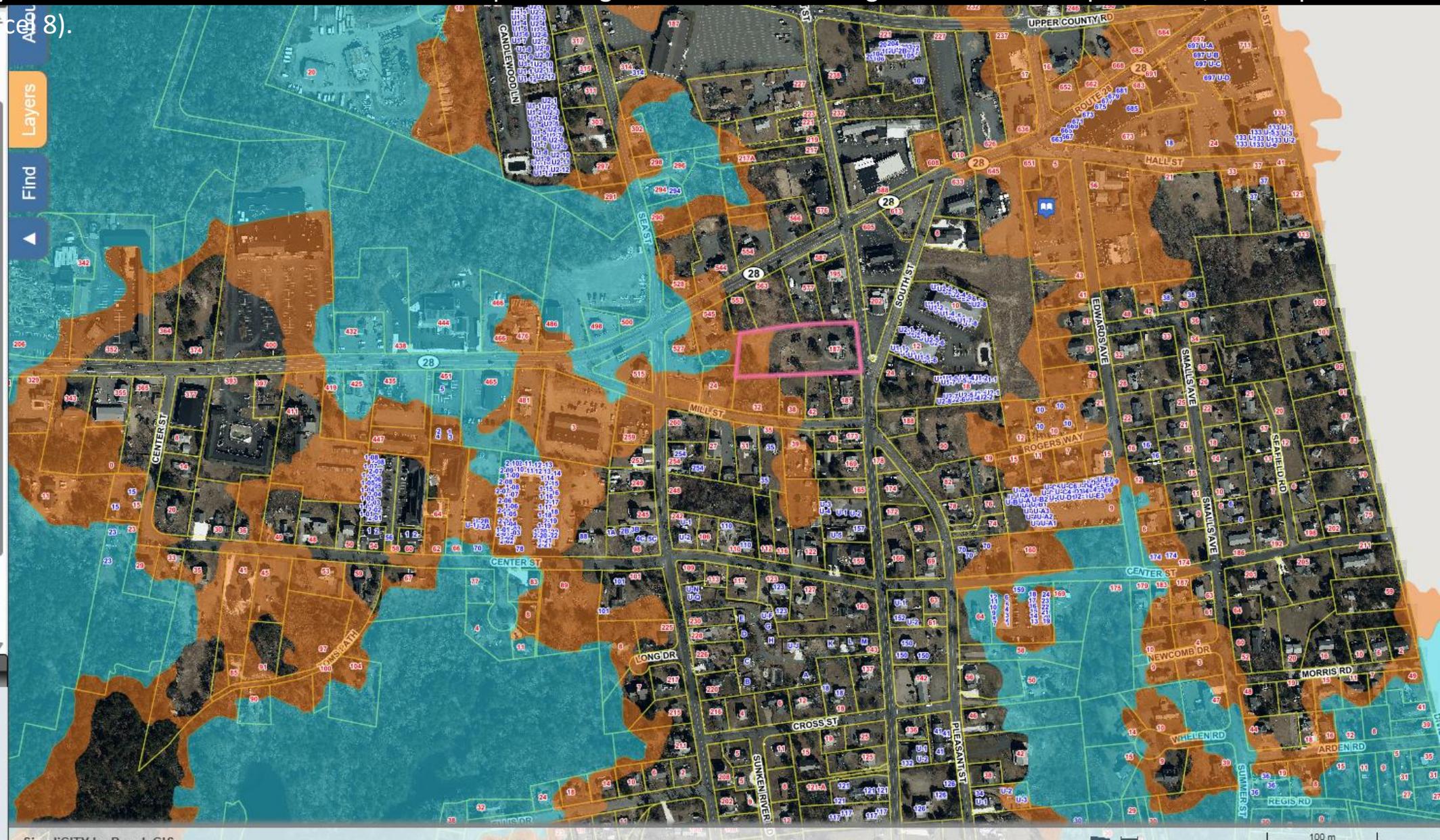


# 187 Depot Street (DP) Special Permit (PBSP-25-4): Francis A. Venuto Jr., GLF Development, LLC C/O BSC Group, 349 Main Street, West Yarmouth, MA 02673 is seeking a Special Permit to construct a municipally sponsored deed-restricted affordable multifamily housing project with 16 units on a property owned by the Town of Dennis located in the Dennisport Village Center Area B Zoning District at 187 Depot Street, Dennisport MA

(Assessor's Map 75, Parcel 8).

- Hiking/Walking Trailways
- Environmental Justice 2020 (updated 2021)
- Zoning
- Historic Districts
- Condo and Cottage Colonies
- Infrastructure Points
- 2020 Aerial Planimetrics
- Hurricane SLOSH
- FEMA Flood Zones
  - FEMA Flood Zone 2014 - 0.2%
    - 0.2% Chance
  - FEMA Flood Zone 2014 - AE
    - AE
  - FEMA Flood Zone 2014 - VE
    - VE
- Voting Precincts
- Elevation
- MassDEP Regulated Areas
- MA NHESP Certified Vernal Pools
- MA NHESP Potential Vernal Pools
- NHESP 8-1-2021 Estimated Habitat Rare Species Dennis
- NHESP 8-1-2021 Priority Habitat Rare Spec Dennis
- Land Use (Last Update 2013)
- ...
- ▼ Base Maps
  - Google Hybrid Map
  - Google Street Map
  - 2023 MassGIS Orthos
  - CCC 2020 Aerial Imagery
  - MassGIS 2014 Orthos
  - MassGIS 2005 Orthos
  - MassGIS 1994 Orthos
  - Town Base Map





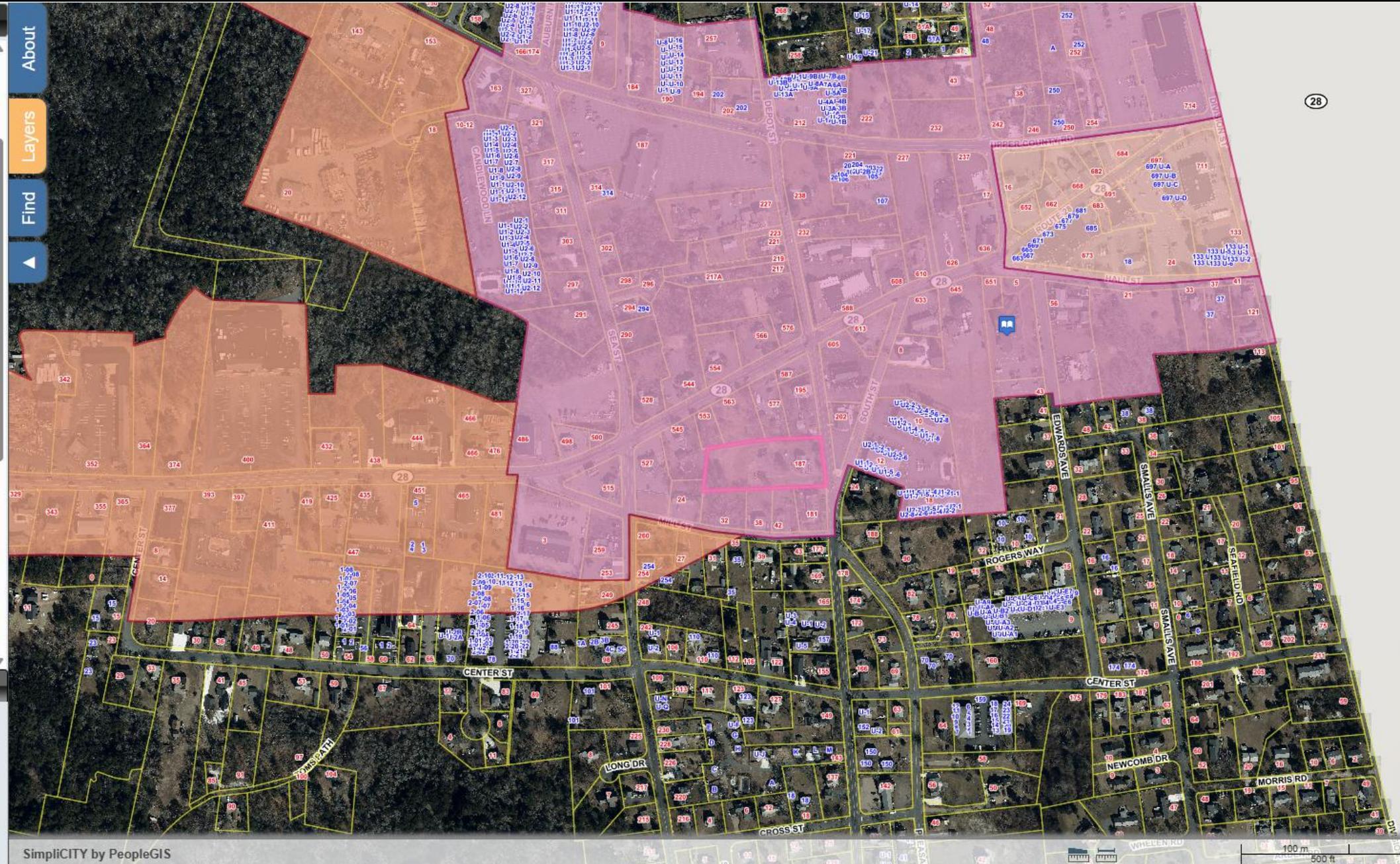
Layers

- Zoning
  - Zoning (2025)
    - Medium Wind Facility Overlay District
    - Large Wind Facility Overlay District
    - Med. & Large Wind Facility Overlay Distr
    - Scenic Corridor
    - Residential 40
    - Residential 60
    - General Commercial I
    - General Commercial II
    - General Commercial III
    - Limited Business
    - Extensive Business
    - Industrial
    - Resort Residential
    - Seasonal Resort Community
    - Hotel Resort District
    - Dennis Port Village Center Area A
    - Dennis Port Village Center Area B
    - West Dennis Village Center District
    - West Dennis Village Center Support Dist
    - West Dennis Marine Open Space District
    - West Dennis Mixed Use Marine District
    - West Dennis Residential-Commercial
    - Quivet Neck-Crowes Pasture Resource Protection District

- Historic Districts
- Condo and Cottage Colonies
- Infrastructure Points
- 2020 Aerial Planimetrics
- Hurricane SLOSH
- FEMA Flood Zones

- Base Maps
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  - Google Street Map
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  - MassGIS 2014 Orthos
  - MassGIS 2005 Orthos
  - MassGIS 1994 Orthos
  - Town Base Map

- About
- Layers
- Find



- Hiking/Walking Trailways
- Environmental Justice 2020 (updated 2021)
  - Minority
  - Income
  - English Isolation
  - Minority and Income
  - Minority and English Isolation
  - Income and English Isolation
  - Minority, Income and English Isolation
- Zoning
- Historic Districts
- Condo and Cottage Colonies
- Infrastructure Points
- 2020 Aerial Planimetrics
- Hurricane SLOSH
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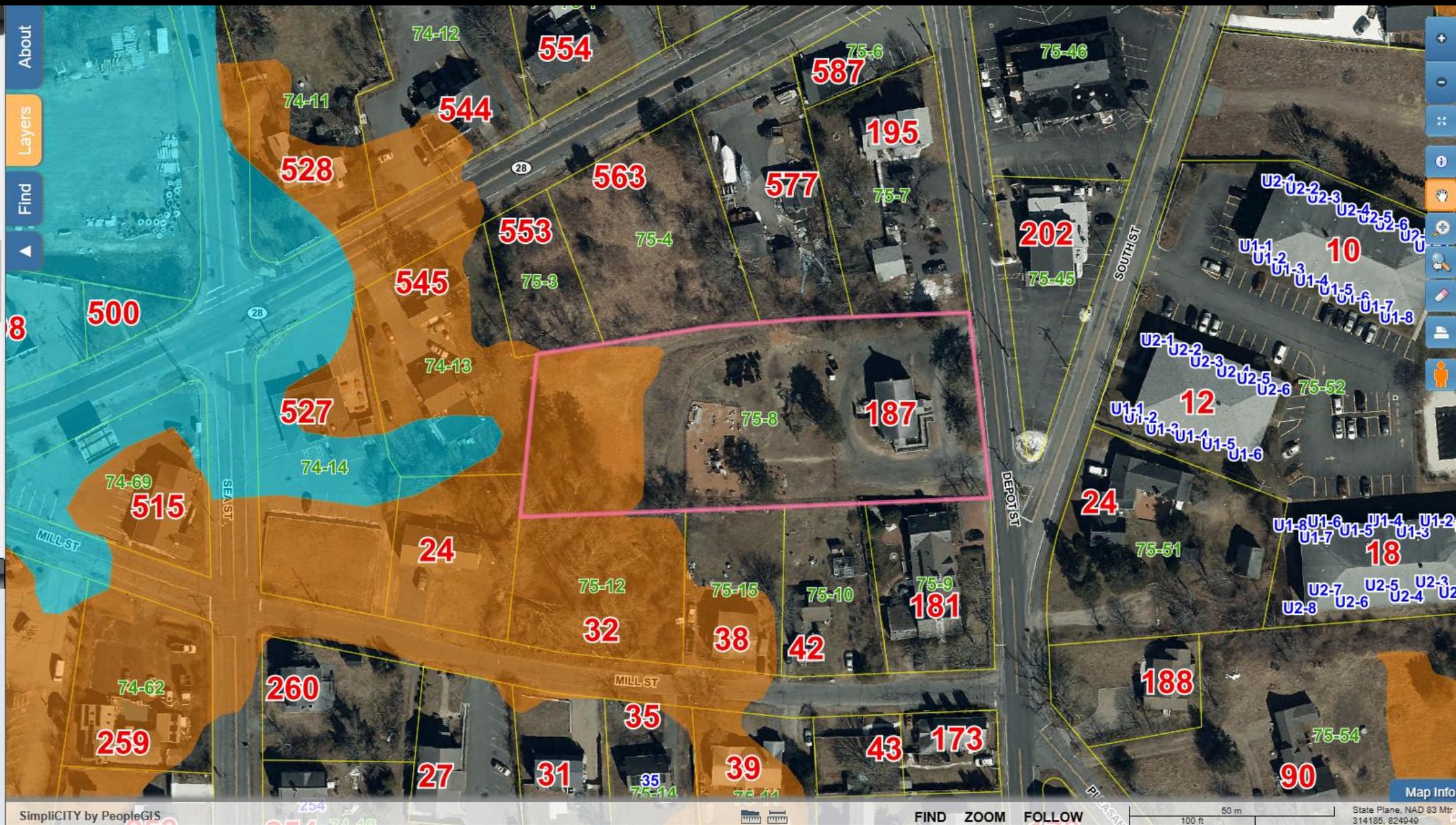


- Hiking/Walking Trailways
- Environmental Justice 2020 (updated 2021)
- Zoning
- Historic Districts
- Condo and Cottage Colonies
- Infrastructure Points
- 2020 Aerial Planimetrics
- Hurricane SLOSH
  - Category 1
  - Category 2
  - Category 3
- FEMA Flood Zones
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- Elevation
- MassDEP Regulated Areas
- MA NHESP Certified Vernal Pools
- MA NHESP Potential Vernal Pools
- NHESP 8-1-2021 Estimated Habitat Rare Species Dennis
- NHESP 8-1-2021 Priority Habitat Rare Spec Dennis
- Land Use (Last Update 2013)
- Private Access Ways
- Parcels
- Base Maps**
  - Google Hybrid Map
  - Google Street Map
  - 2023 MassGIS Orthos
  - CCC 2020 Aerial Imagery
  - MassGIS 2014 Orthos
  - MassGIS 2005 Orthos
  - MassGIS 1994 Orthos
  - Town Base Map





- Layers
  - Driveway Unpaved
  - Parking Paved
  - Parking Unpaved
  - Hurricane SLOSH
    - Category 1
    - Category 2
    - Category 3
  - FEMA Flood Zones
    - FEMA Flood Zone 2014 - 0.2%
      - 0.2% Chance
    - FEMA Flood Zone 2014 - AE
      - AE
    - FEMA Flood Zone 2014 - VE
      - VE
  - Voting Precincts
    - Voting Precincts 2020 - Labels
    - Voting Precincts 2020 (updated 2024)
      - 1
      - 2
      - 3
      - 4
      - 5
  - Zoning
    - Zoning (2024)
- Base Maps
  - OpenStreetMap
  - Google Street Map
  - Google Hybrid Map
  - 2021 MassGIS Orthos
  - 2020 CCC Regional Aerial Photo
  - 2019 MassGIS Aerial Photo
  - 2014 MassGIS Aerial Photo
  - 2012 MassGIS Aerial Photo
  - 2009 MassGIS Aerial Photo
  - 2005 MassGIS Aerial Photo
  - 2001 MassGIS Aerial Photo
  - 1994 MassGIS Aerial Photo
  - Town Base Map

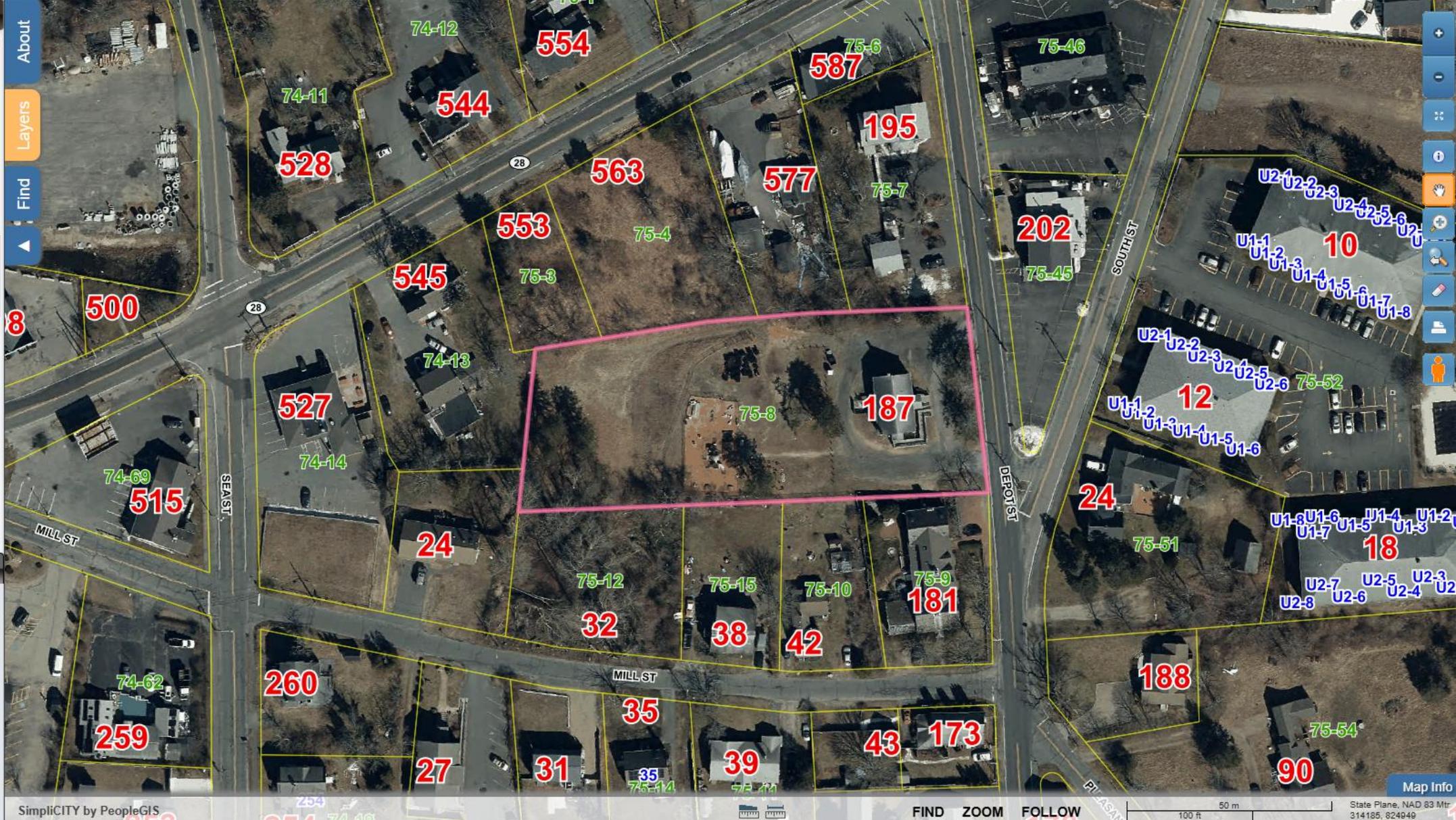


**Layers**

- Driveway Unpaved
- Parking Paved
- Parking Unpaved
- Hurricane SLOSH
  - Category 1
  - Category 2
  - Category 3
- FEMA Flood Zones
  - FEMA Flood Zone 2014 - 0.2%
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    - 1
    - 2
    - 3
    - 4
    - 5
- Zoning
  - Zoning (2024)

**Base Maps**

- OpenStreetMap
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- 2009 MassGIS Aerial Photo
- 2005 MassGIS Aerial Photo
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- Town Base Map



187 Depot St  
Dennis, Massachusetts  
[View on Google Maps](#)



LEARNING CENTER





187 Depot St  
Dennis, Massachusetts  
[View on Google Maps](#)







**UTILITY NOTE**

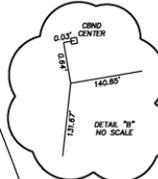
EXISTING UTILITIES, WHERE SHOWN HEREON, ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING ANY ON-SITE ACTIVITY WITH DIG-SAFE AND THE APPROPRIATE UTILITY COMPANY AND MAINTAINING EXISTING UTILITY SYSTEM SERVICE. DIG-SAFE SHALL BE NOTIFIED PER THE COMMUNICATIONS OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 40, AT 1-800-344-7233. NO GUARANTEE IS IMPLIED OR INTENDED AS TO THE ACCURACY, LOCATION OR THAT ALL UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED FROM TO THE START OF CONSTRUCTION.

**REFERENCES**

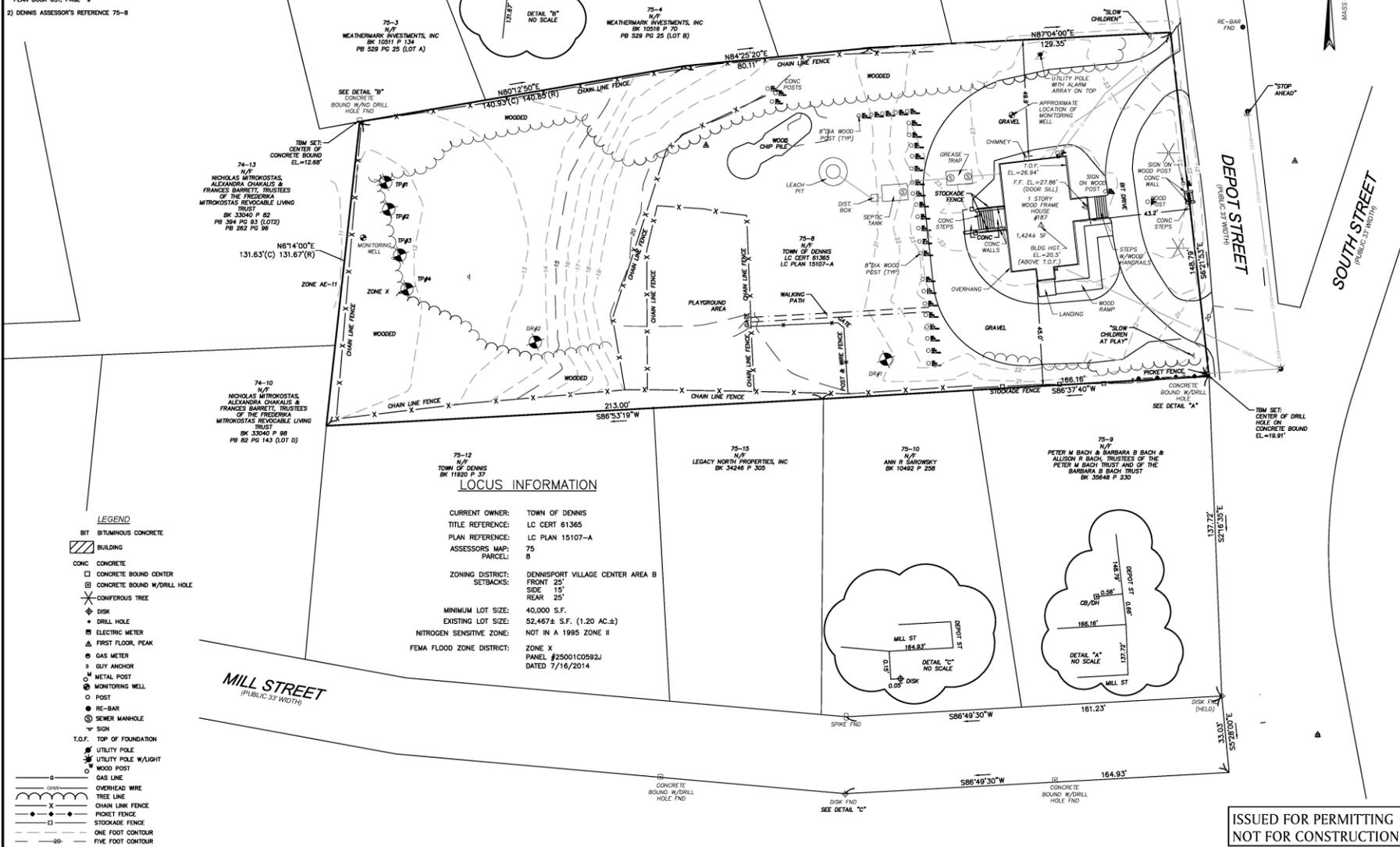
- RECORDED IN BARNSTABLE DISTRICT REGISTRY OF DEEDS:  
 LANDQUART CERT. 61365 (LOCUS)  
 LC PLAN 15107-A (LOCUS)  
 PLAN BOOK 71, PAGE 5 (MILL STREET LAYOUT)  
 PLAN BOOK 71, PAGE 7 (DEPOT STREET LAYOUT)  
 PLAN BOOK 82, PAGE 143  
 PLAN BOOK 282, PAGE 95  
 PLAN BOOK 394, PAGE 53  
 PLAN BOOK 529, PAGE 25  
 PLAN BOOK 588, PAGE 58  
 PLAN BOOK 651, PAGE 9
- DENNIS ASSESSOR'S REFERENCE 75-8

**GENERAL NOTES**

- THIS PLAN IS BASED UPON AN ON-THE-GROUND SURVEY PERFORMED BY BSC GROUP, INC. ON SEPTEMBER 25, 2024.
- HORIZONTAL DATUM IS NAD 1983 AS DERIVED FROM GPS OBSERVATIONS PERFORMED DURING THE AFOREMENTIONED SURVEY.  
 VERTICAL DATUM IS NAD-88 AS DERIVED FROM GPS OBSERVATIONS PERFORMED DURING THE AFOREMENTIONED SURVEY.  
 SEE PLAN FOR BENCHMARK SET.
- SEPTIC SYSTEM LOCATION IS BASED ON VISIBLE FIELD INFORMATION AND RECORD INFORMATION ON FILE AT THE DENNIS HEALTH DEPARTMENT.



# Existing Conditions



**LOCUS INFORMATION**

CURRENT OWNER: TOWN OF DENNIS  
 TITLE REFERENCE: LC CERT 61365  
 PLAN REFERENCE: LC PLAN 15107-A  
 ASSESSOR'S MAP: 75-8  
 PARCEL: B

ZONING DISTRICT: DENNISPORT VILLAGE CENTER AREA B  
 FRONT 25'  
 SIDE 15'  
 REAR 25'

MINIMUM LOT SIZE: 40,000 S.F.  
 EXISTING LOT SIZE: 52,467± S.F. (1.20 AC.±)  
 NITROGEN SENSITIVE ZONE: NOT IN A 1995 ZONE II  
 FEMA FLOOD ZONE DISTRICT: ZONE X  
 PANEL #25001C0592J  
 DATED 7/16/2014

- LEGEND**
- BT BITUMINOUS CONCRETE
  - ▨ BUILDING
  - CONC CONCRETE
  - CONCRETE BOUND CENTER
  - ⊖ CONCRETE BOUND W/DRILL HOLE
  - ✕ CONFEROUS TREE
  - ⊕ DISK
  - ⊖ DRILL HOLE
  - ⊖ ELECTRIC METER
  - ▲ FIRST FLOOR, PEAK
  - ⊖ GAS METER
  - ⊖ GUY ANCHOR
  - ⊖ METAL POST
  - ⊖ MONITORING WELL
  - ⊖ POST
  - ⊖ RE-BAR
  - ⊖ SICKER MANHOLE
  - ⊖ SIGN
  - T.O.F. TOP OF FOUNDATION
  - ⊖ UTILITY POLE
  - ⊖ UTILITY POLE W/AUGHT
  - ⊖ WOOD POST
  - ⊖ GAS LINE
  - OVERHEAD WIRE
  - TREE LINE
  - CHAIN LINE FENCE
  - SICKER FENCE
  - STOCKADE FENCE
  - ONE FOOT CONTOUR
  - FIVE FOOT CONTOUR

THE DENNISPORT CROSSINGS  
 187 DEPOT STREET  
 IN DENNIS MASSACHUSETTS (BARNSTABLE COUNTY)  
 EXISTING CONDITIONS PLAN

APRIL 30, 2025

REVISIONS:

NO.	DATE	DESC.

PREPARED FOR:  
 GLF DEVELOPMENT LLC  
 P.O. BOX 4847  
 FRAMINGHAM, MA 01704

**BSC GROUP**  
 BUILD | SUPPORT | CONNECT  
 349 Main Street - Route 28  
 West Yarmouth, Massachusetts  
 02673  
 508 778 8919

© 2025 BSC Group, Inc.  
 1" = 20'  
 0 10 20 40 FEET  
 FILE: P:\010081301\C\0  
 DWG: SHEETV-1.0  
 JOB. NO: 010081.01

ISSUED FOR PERMITTING  
 NOT FOR CONSTRUCTION

**UTILITY NOTE**

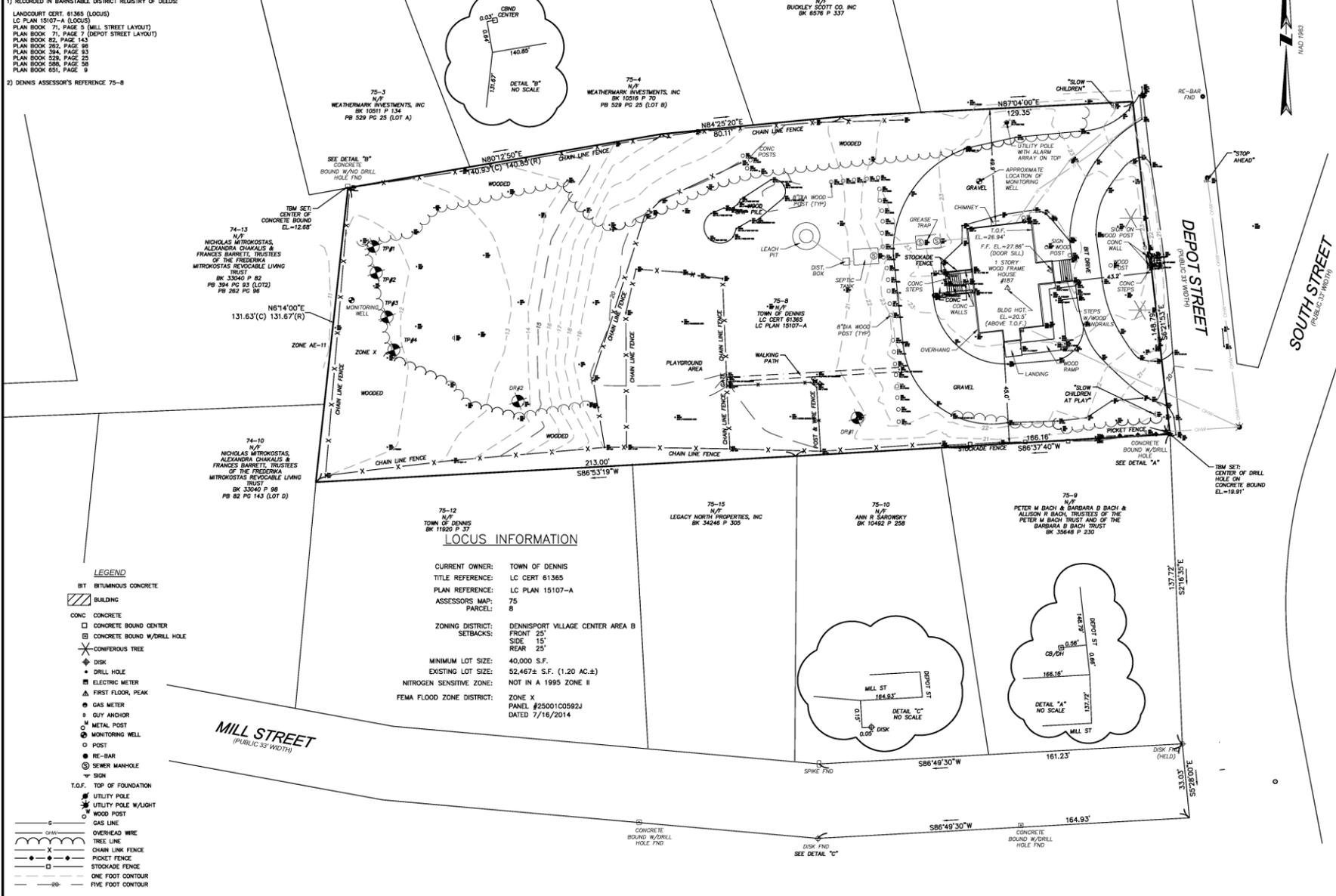
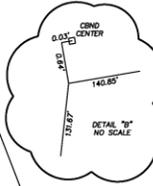
EXISTING UTILITIES, WHERE SHOWN HEREON, ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER LOCATION AND COORDINATING ANY ON-SITE ACTIVITY WITH DIG-SAFE AND THE APPROPRIATE UTILITY COMPANY AND MAINTAINING EXISTING UTILITY SYSTEM SERVICE. DIG-SAFE SHALL BE NOTIFIED PER THE COMMONWEALTH OF MASSACHUSETTS STATUTE CHAPTER 80, SECTION 40, AT 1-800-344-7333. NO GUARANTEE IS IMPLIED OR INTENDED AS TO THE ACCURACY, LOCATION OR THAT ALL UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.

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 PLAN BOOK 651, PAGE 9
- DENNIS ASSESSOR'S REFERENCE 75-8

**GENERAL NOTES**

- THIS PLAN IS BASED UPON AN ON-THE-GROUND SURVEY PERFORMED BY BSC GROUP, INC. ON SEPTEMBER 20, 2024.
- HORIZONTAL DATUM IS NAD 1983 AS DERIVED FROM GPS OBSERVATIONS PERFORMED DURING THE AFOREMENTIONED SURVEY.  
 VERTICAL DATUM IS NAD-88 AS DERIVED FROM GPS OBSERVATIONS PERFORMED DURING THE AFOREMENTIONED SURVEY.  
 SEE PLAN FOR BENCHMARK SET.
- SEPTIC SYSTEM LOCATION IS BASED ON VISIBLE FIELD INFORMATION AND RECORD INFORMATION ON FILE AT THE DENNIS HEALTH DEPARTMENT.



**LOCUS MAP**  
 NOT TO SCALE  
 I CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THAT THE LOT CORNERS, DIMENSIONS AND SETBACKS TO THE STRUCTURE AS DETERMINED BY INSTRUMENT SURVEY AND AS SHOWN ON THIS PLAN ARE CORRECT.

KIERAN J. HEALY, PLS DATE FOR THE BSC GROUP

**THE DENNISPORT CROSSINGS**  
 187 DEPOT STREET  
 IN DENNIS MASSACHUSETTS (BARNSTABLE COUNTY)  
 EXISTING CONDITIONS PLAN OF LAND  
 NOVEMBER 25, 2024

REVISIONS:

NO.	DATE	DESC.

PREPARED FOR:  
 GLF DEVELOPMENT LLC  
 P.O. BOX 4847  
 FRAMINGHAM, MA 01704  
 fvir@verizon.net

© 2024 BSC Group, Inc.  
 SCALE: 1" = 20'  
 0 10 20 40 FEET  
 FILE: P:\SUR\DR\C30\DEPOT-SP.dwg  
 DWG: --- SHEET 1 OF 1

File: P:\01000\30\SUR\DR\C30\DEPOT-SP.dwg - Tab: PLAN Plotted On: April 17, 2025 - 2:24 PM by: MADRIDZE MORISON Saved on 3/7/2025 1:57 PM by: FIBERLAIAN

- LEGEND**
- BT BITUMINOUS CONCRETE
  - ▨ BUILDING
  - CONC CONCRETE
  - CONCRETE BOUND CENTER
  - ⊞ CONCRETE BOUND W/DRILL HOLE
  - ✕ CONFEROUS TREE
  - ⊙ DISK
  - ⊙ DRILL HOLE
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  - GAS METER
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  - METAL POST
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  - POST
  - RE-BAR
  - ⊙ SINKER MANHOLE
  - ▽ SIGN
  - T.O.F. TOP OF FOUNDATION
  - UTILITY POLE
  - UTILITY POLE W/AUGHT
  - WOOD POST
  - GAS LINE
  - OVERHEAD WIRE
  - TREE LINE
  - CHAIN LINK FENCE
  - PICKET FENCE
  - STOCKADE FENCE
  - ONE FOOT CONTOUR
  - FIVE FOOT CONTOUR

**LOCUS INFORMATION**

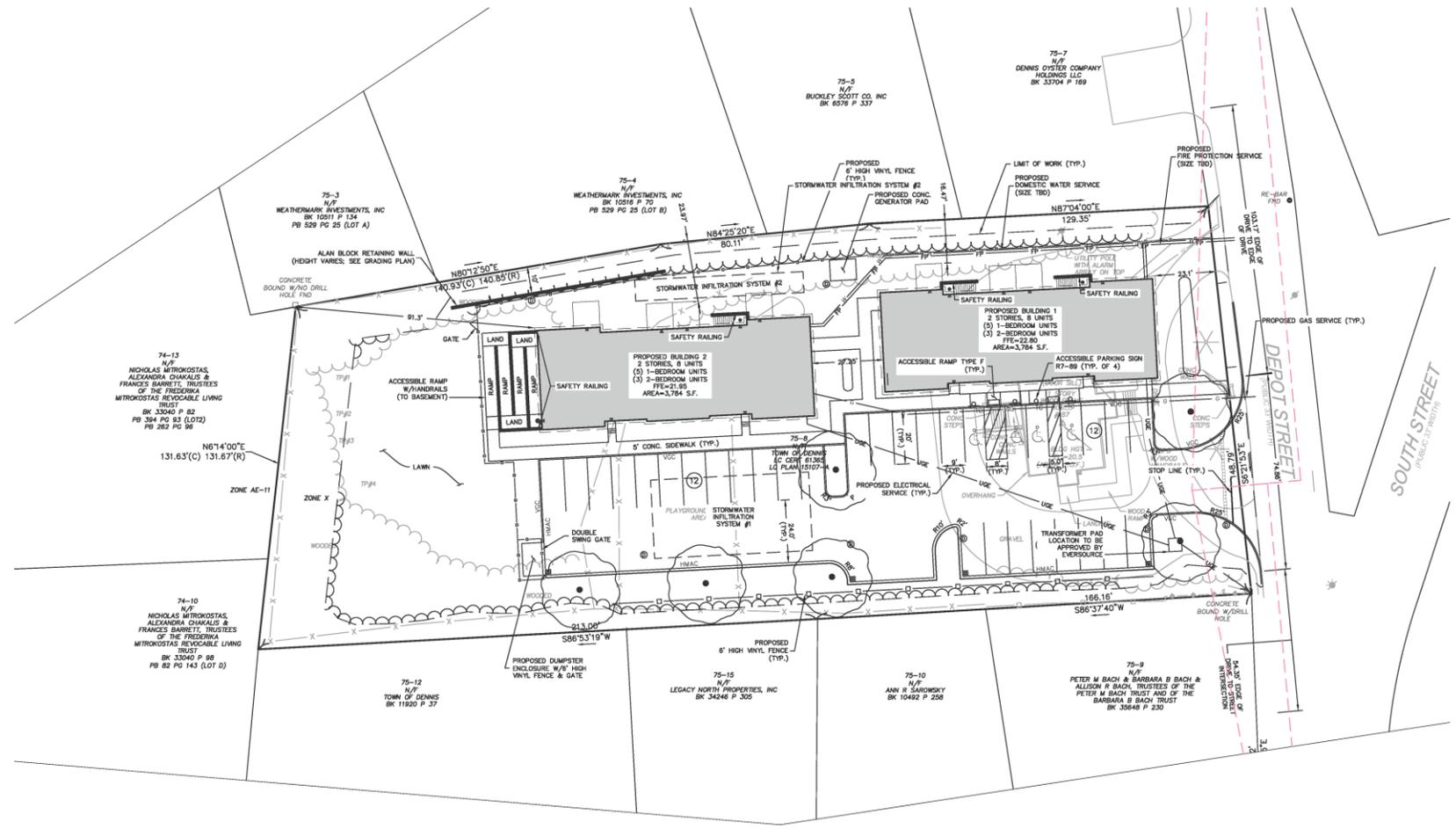
CURRENT OWNER: TOWN OF DENNIS  
 TITLE REFERENCE: LC CERT 61365  
 PLAN REFERENCE: LC PLAN 15107-A  
 ASSESSOR'S MAP: 75  
 PARCELL: B

ZONING DISTRICT: DENNISPORT VILLAGE CENTER AREA B  
 SETBACKS:  
 FRONT 25'  
 SIDE 15'  
 REAR 25'

MINIMUM LOT SIZE: 40,000 S.F.  
 EXISTING LOT SIZE: 52,467± S.F. (1.20 AC.±)  
 NITROGEN SENSITIVE ZONE: NOT IN A 1995 ZONE II  
 FEMA FLOOD ZONE DISTRICT: ZONE X  
 PANEL #25001C0592J  
 DATED 7/16/2014







**SITE DISTANCE**

RIGHT TURN SIGHT DISTANCE TRIANGLE LEG = 290 FT  
LEFT TURN SIGHT DISTANCE TRIANGLE LEG = 335 FT

**PARKING CALCULATIONS**

PROPOSED USE:  
RESIDENTIAL: MULTI-FAMILY APARTMENTS  
TOTAL PROPOSED UNITS = 16 UNITS  
TOTAL NUMBER OF REQUIRED SPACES = 32 SPACES  
TOTAL NUMBER OF SPACES PROVIDED = 32 SPACES

**REQUIRED TREE CALCULATIONS**

TOTAL NUMBER OF REQUIRED TREES = 1 TREE PER 8 PARKING SPACES  
TOTAL NUMBER OF SPACES PROVIDED = 32 SPACES  
TOTAL NUMBER OF TREES PROVIDED = 8 TREES

ISSUED FOR PERMITTING  
NOT FOR CONSTRUCTION



04/17/25

**THE DENNISPORT CROSSINGS**

187 DEPOT STREET  
IN  
DENNIS MASSACHUSETTS  
(BARNSTABLE COUNTY)

**LAYOUT & MATERIALS PLAN**

APRIL 30, 2025

**REVISIONS:**

NO.	DATE	DESC.

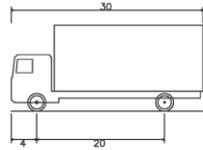
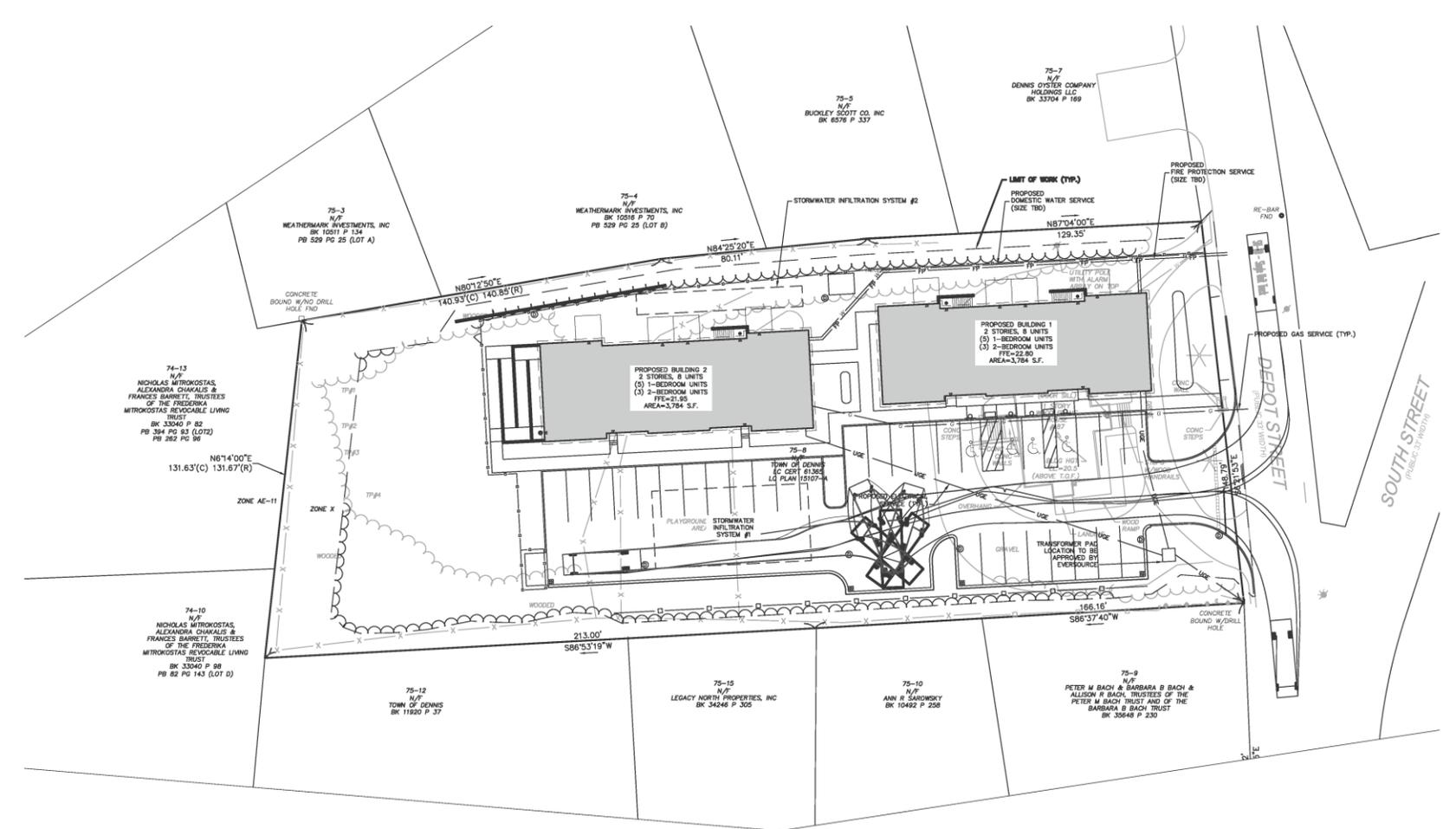
PREPARED FOR:  
GLF DEVELOPMENT LLC  
P.O. BOX 4847  
FRAMINGHAM, MA 01704

**BSC GROUP**  
BUILD | SUPPORT | CONNECT  
349 Main Street - Route 28  
West Yarmouth, Massachusetts  
02673  
508 778 8919

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1" = 20'



FILE: P:\010081301\C\0  
DWG:  
JOB. NO: 010081.01 SHEET C-2.0



SU-30 - Single Unit Truck  
 Overall Length 30.000ft  
 Overall Width 8.000ft  
 Overall Body Height 13.500ft  
 Min Body Ground Clearance 1.367ft  
 Track Width 4.000ft  
 Lock-to-lock time 5.00s  
 Max Steering Angle (Virtual) 31.80

ISSUED FOR PERMITTING  
 NOT FOR CONSTRUCTION



04/17/25

THE DENNISPORT  
 CROSSINGS  
 187 DEPOT STREET  
 IN  
 DENNIS  
 MASSACHUSETTS  
 (BARNSTABLE COUNTY)

VEHICLE TURNING PLAN

APRIL 30, 2025

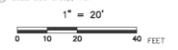
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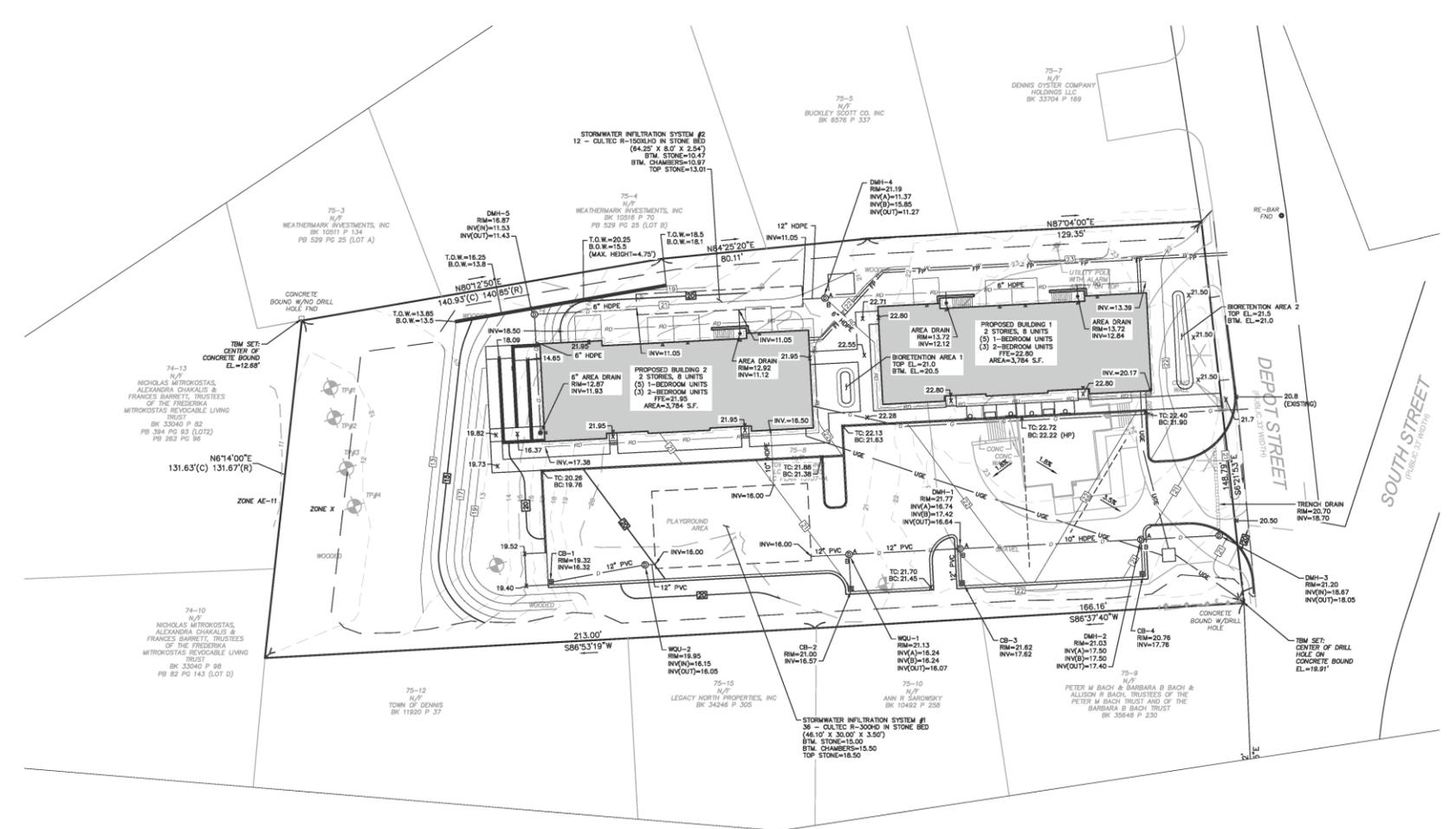
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 P.O. BOX 4847  
 FRAMINGHAM, MA 01704

**BSC GROUP**  
 BUILD | SUPPORT | CONNECT  
 349 Main Street - Route 28  
 West Yarmouth, Massachusetts  
 02673  
 508 778 8919

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 DWG: C-2.1  
 JOB. NO: 0100813.01 SHEET C-2.1



04/17/25

**THE DENNISPORT CROSSINGS**

187 DEPOT STREET  
IN  
DENNIS MASSACHUSETTS  
(BARNSTABLE COUNTY)

**GRADING & DRAINAGE PLAN**

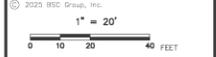
APRIL 30, 2025

REVISIONS:

NO.	DATE	DESC.

PREPARED FOR:  
GLF DEVELOPMENT LLC  
P.O. BOX 4847  
FRAMINGHAM, MA 01704

**BSC GROUP**  
BUILD | SUPPORT | CONNECT  
349 Main Street - Route 28  
West Yarmouth, Massachusetts  
02673  
508 778 8919



FILE: P:\010081301\C\0  
DWG: C-3.0  
JOB: 0100813.01 SHEET C-3.0

ISSUED FOR PERMITTING  
NOT FOR CONSTRUCTION



**GENERAL NOTES:**

- THIS PLAN IS INTENDED FOR THE PERMITTING AND CONSTRUCTION OF THE SEWAGE DISPOSAL SYSTEM AND ASSOCIATED SITE WORK.
- ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO 310 CMR 15.000 AND DENNIS BOARD OF HEALTH REGULATIONS.
- THERE ARE NO KNOWN OR PROPOSED PRIVATE WELLS LOCATED WITHIN 150 FT. OF THE PROPOSED LEACHING FACILITY.
- IF AN OVERDIG IS SPECIFIED, REMOVE ALL TOPSOIL, SUBSOIL AND OTHER UNSUITABLE MATERIALS.
- IF AN OVERDIG IS SPECIFIED, REPLACE ALL EXCAVATED MATERIALS WITHIN THE LIMIT OF EXCAVATION WITH CLEAN GRANULAR SAND, FREE FROM ORGANIC MATERIAL AND DELETERIOUS SUBSTANCES. MIXTURES OF DIFFERENT CLASSES OF SOIL SHALL NOT BE USED. FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN 2 INCHES. A SIEVE ANALYSIS USING A #4 SIEVE SHALL BE PERFORMED ON A REPRESENTATIVE SAMPLE OF FILL UP TO 40% BY WEIGHT MAY BE RETAINED ON THE #4 SIEVE. SUCH ANALYSES MUST DEMONSTRATE THAT THE MATERIAL MEETS EACH OF THE FOLLOWING SPECIFICATIONS:  
 100% MUST PASS #4 SIEVE  
 10% MUST PASS #60 SIEVE  
 0-20% MUST PASS #100 SIEVE  
 0-SK MUST PASS #200 SIEVE
- EXISTING UTILITIES WHERE SHOWN ON THE PLANS ARE APPROXIMATE. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL SUBSURFACE STRUCTURES ARE SHOWN. CONTRACTOR SHALL VERIFY THE SIZE, LOCATION AND ELEVATION OF INVERTS OF UTILITIES AND STRUCTURES, WITHIN THE LIMIT OF WORK, PRIOR TO THE START OF CONSTRUCTION. IF ANY DISCREPANCIES ARE DISCOVERED OR FIELD CHANGES REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY COORDINATING THE PROPOSED CONSTRUCTION ACTIVITIES WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES, AND SHALL COMPLETE THE PROPOSED WORK WITHOUT ANY INTERRUPTIONS IN SERVICE.
- CONTRACTOR IS REQUIRED TO NOTIFY DIGSAFE, PER MASS. STATUTE CHAPTER 82, SECTION 40 AT (888) 344-7233 A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- THIS SYSTEM IS NOT DESIGNED FOR THE USE OF A GARBAGE GRINDER. INSTALLATION OR USE OF A GARBAGE GRINDER AT THIS PROPERTY IS NOT ALLOWED PER 310 CMR 15.240(4).

**DESIGN CALCULATIONS**

**DESIGN FLOW**  
 (BUILDING #1 AND #2 CONTAIN 11 BEDROOMS EACH)  
 22 BEDROOMS X 110 GPD = 2,420 GPD  
 DAILY DESIGN FLOW = 2,420 GPD

**REQUIRED SEPTIC TANKS**  
 2-COMPARTMENT TANK REQUIRED

**SEPTIC TANK #1**  
 1,210 GPD X 200% = 2,420 GALLONS (CHAMBER #1)  
 1,210 GPD X 100% = 1,210 GALLONS (CHAMBER #2)  
 USE 4,000-GALLON SEPTIC TANK (SEE DETAIL)

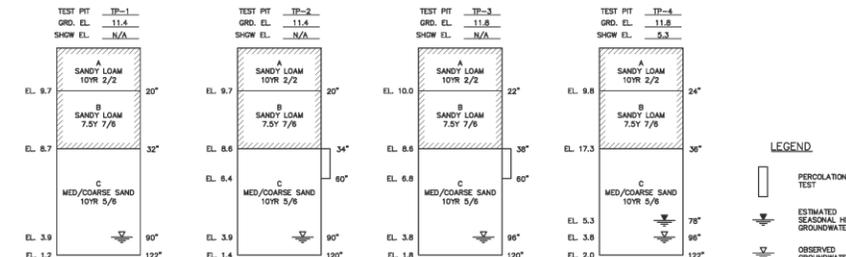
**SEPTIC TANK #2**  
 1,210 GPD X 200% = 2,420 GALLONS (CHAMBER #1)  
 1,210 GPD X 100% = 1,210 GALLONS (CHAMBER #2)  
 USE 4,000-GALLON SEPTIC TANK (SEE DETAIL)

**EFFECTIVE LEACHING AREA (REQUIRED)**  
 DESIGN PERC. RATE: <math>42 \text{ MIN/INCH}</math>  
 LONG TERM APPL. RATE: <math>0.74 \text{ GPD/SF}</math>  
 2,420 GPD ÷ <math>0.74 \text{ GPD/SF}</math> = 3,271 SF

**LENGTH OF DRIP TUBING SYSTEM**  
 USE PERFORATED DRIP DISTRIBUTION SYSTEM  
 PER MANUFACTURER'S DESIGN MANUAL, THE REQUIRED LENGTH OF TUBING IS EQUAL TO THE REQUIRED EFFECTIVE LEACHING AREA DIVIDED BY TWO (1,638 LF).

**SOIL TEST PIT DATA**

NOT TO SCALE

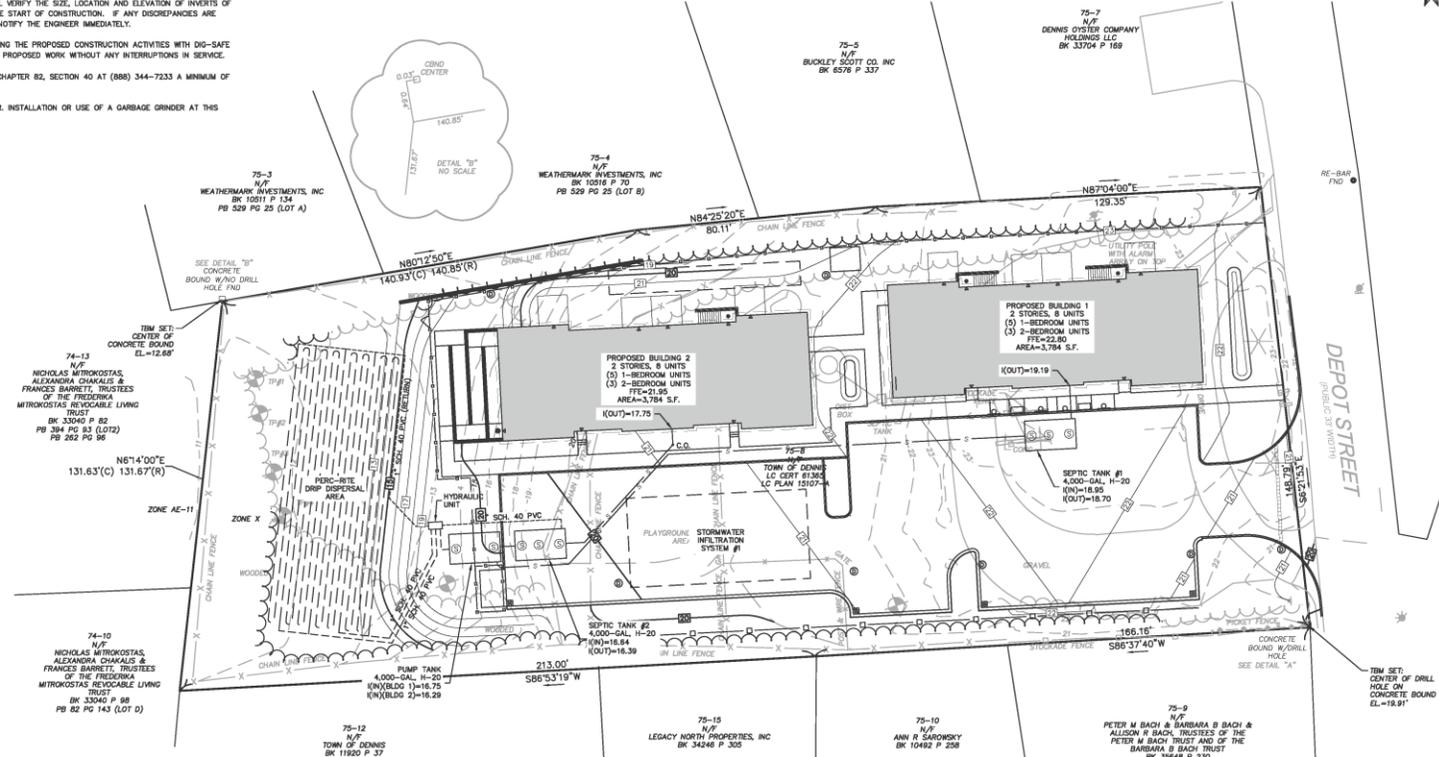


**LEGEND**



**SEASONAL HIGH GROUNDWATER ADJUSTMENT**  
 (BASED ON TEST PIT #4)

DEPTH TO OBSERVED WATER	8.0
INDEX WELL	126-89
WATER LEVEL RANGE ZONE	A
DEPTH @ INDEX WELL (4/7/21)	11.70
WATER LEVEL ADJUSTMENT	1.5
DEPTH TO ADJUSTED WATER	6.5



**LOCUS MAP**  
 NOT TO SCALE

*(Signature)*  
 3/24/25  
 BRIAN G. YERGANIAN  
 PROFESSIONAL ENGINEER

**THE DENNISPORT CROSSINGS**

187 DEPOT STREET  
 IN  
 DENNISPORT MASSACHUSETTS (BARNSTABLE COUNTY)

**SEPTIC PLAN**

MARCH 24, 2025

REVISIONS:

NO.	DATE	DESC.

PREPARED FOR:  
 GLF DEVELOPMENT LLC  
 P.O. BOX 4847  
 FRAMINGHAM, MA 01704

**BSC GROUP**  
 BUILD | SUPPORT | CONNECT  
 349 Main Street - Route 28  
 West Yarmouth, Massachusetts  
 02673  
 508 778 8919

© 2025 BSC Group, Inc.  
 1" = 20'  
 0 10 20 40 FEET

FILE: P:\010081301\CAD\010081301-SEP.dwg  
 DWG: \_\_\_\_\_ SHEET C-5.0  
 JOB: NO: 010081301

75-3  
N/F  
K INVESTMENTS, INC  
0511 P 134  
PG 25 (LOT A)

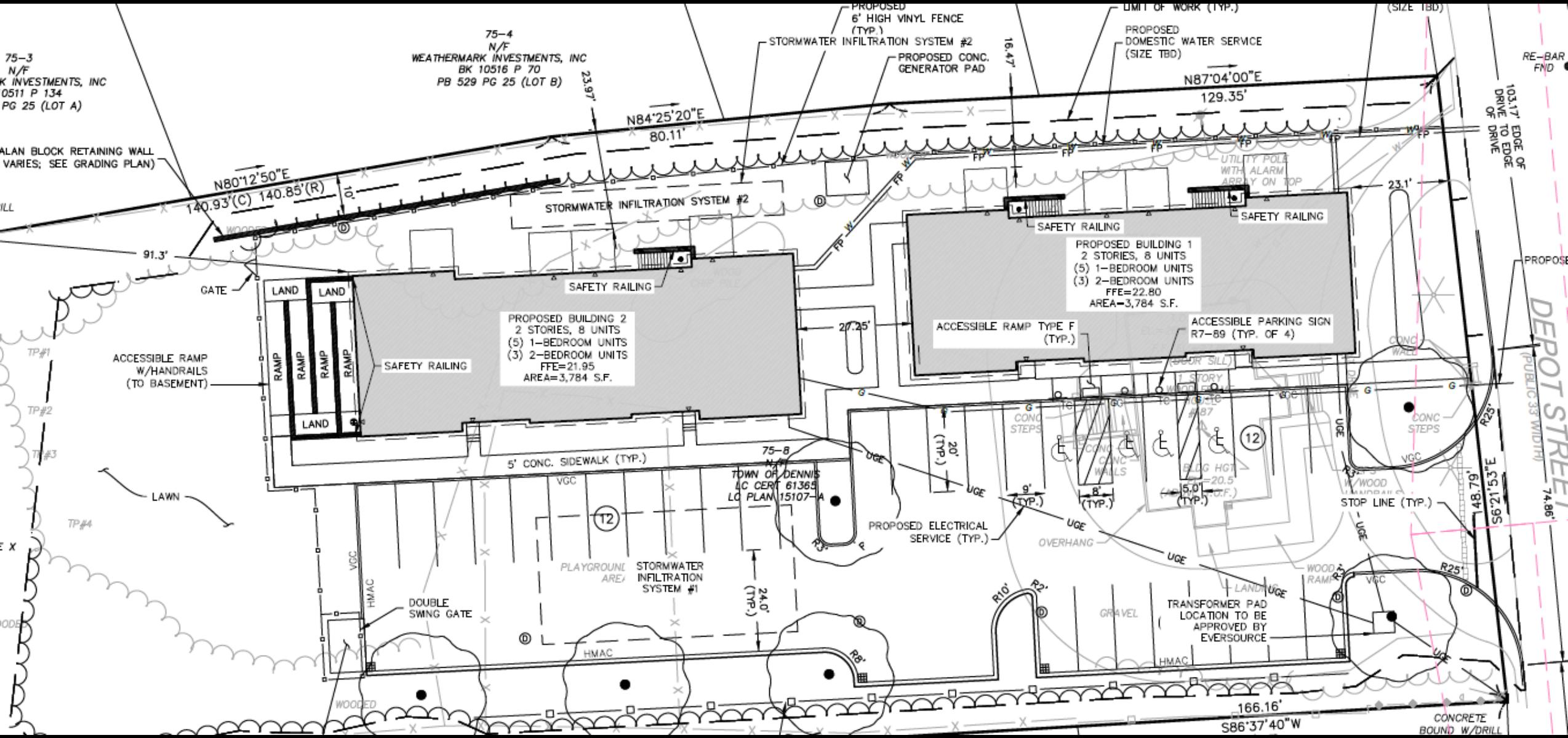
75-4  
N/F  
WEATHERMARK INVESTMENTS, INC  
BK 10516 P 70  
PB 529 PG 25 (LOT B)

ALAN BLOCK RETAINING WALL  
VARIES; SEE GRADING PLAN)

ILL

E X

MODE



N80°12'50"E  
140.93'(C) 140.85'(R)

N84°25'20"E  
80.11'

N87°04'00"E  
129.35'

91.3'

LAND  
RAMP  
RAMP  
RAMP  
LAND

PROPOSED BUILDING 2  
2 STORIES, 8 UNITS  
(5) 1-BEDROOM UNITS  
(3) 2-BEDROOM UNITS  
FFE=21.95  
AREA=3,784 S.F.

PROPOSED BUILDING 1  
2 STORIES, 8 UNITS  
(5) 1-BEDROOM UNITS  
(3) 2-BEDROOM UNITS  
FFE=22.80  
AREA=3,784 S.F.

75-8  
N/F  
TOWN OF DENNIS  
LC CERT 61365  
LC PLAN 15107-A

RE-BAR  
END

103.17' EDGE OF  
DRIVE TO EDGE  
OF DRIVE

PROPOSE

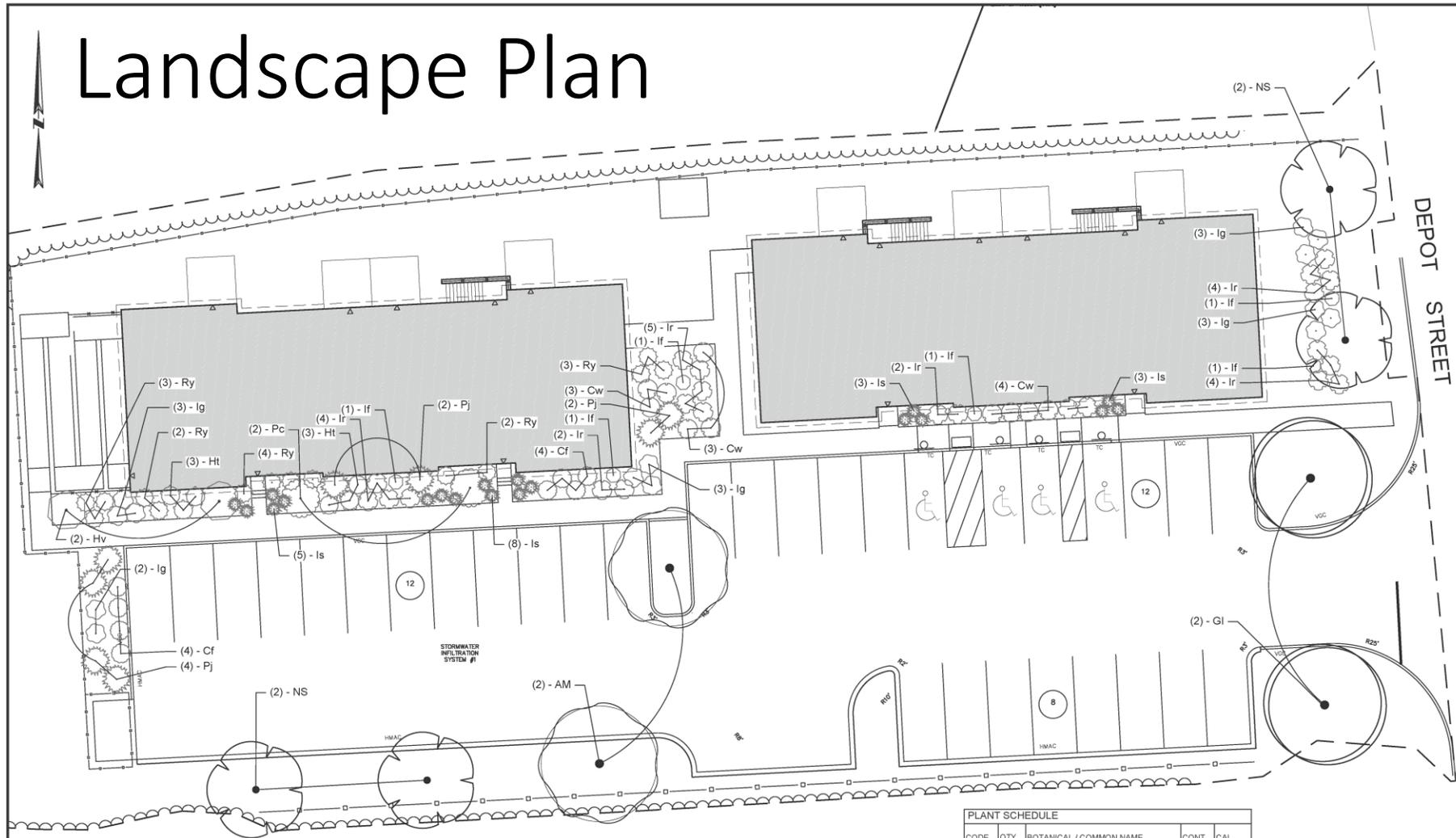
DEPOT STREET  
(PUBLIC 33' WIDTH)  
74.86'

3.5'± 12.95'  
48.79'

166.16'  
S86°37'40"W

CONCRETE  
BOUND W/DRILL

# Landscape Plan



CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL
<b>DECIDUOUS TREES</b>				
AM	2	AMER ROBURUM	B & B	3-4" CAL
CI	2	CELANDELA VIRGATICA	B & B	3-3" CAL
NS	4	NYSSA SYRIACA	B & B	2-3"
<b>SHRUBS</b>				
CI	10	CELANDELA VIRGATICA	5 GAL	
CI	8	CORNUS STOLONIFERA	5 GAL	
CI	2	DIQUETIA SPECTABILIS	5 GAL	4-5 HT
CI	2	DIQUETIA SPECTABILIS	5 GAL	4-5 HT
CI	8	DIQUETIA SPECTABILIS	5 GAL	
CI	8	DIQUETIA SPECTABILIS	5 GAL	
CI	14	DIQUETIA SPECTABILIS	5 GAL	
CI	23	DIQUETIA SPECTABILIS	5 GAL	
CI	8	DIQUETIA SPECTABILIS	5 GAL	
CI	16	DIQUETIA SPECTABILIS	5 GAL	
CI	8	DIQUETIA SPECTABILIS	5 GAL	
CI	2	DIQUETIA SPECTABILIS	5 GAL	5-6 HT
CI	14	DIQUETIA SPECTABILIS	5 GAL	

ISSUED FOR PERMITTING  
NOT FOR CONSTRUCTION



04/17/25

## THE DENNISPORT CROSSINGS

187 DEPOT STREET  
IN  
DENNIS  
MASSACHUSETTS  
(BARNSTABLE COUNTY)

### LANDSCAPE PLAN

APRIL 30, 2025

NO.	DATE	DESC.

PREPARED FOR:  
GLF DEVELOPMENT LLC  
P.O. BOX 4847  
FRAMINGHAM, MA 01704

**BSC GROUP**  
BUILD | SUPPORT | CONNECT  
803 Summer Street  
Boston, Massachusetts  
02127  
617 896 4300

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1" = 10'



FILE: P:\010081301\C\0  
DWG.:  
JOB. NO: 010081.3.01 SHEET L-1.0



LOCUS INFORMATION

CURRENT OWNER: TOWN OF DENNIS  
 TITLE REFERENCE: LC CERT 61365  
 PLAN REFERENCE: LC PLAN 15107-A  
 ASSESSORS MAP: 75  
 PARCEL: 8  
  
 ZONING DISTRICT: DENNISPORT VILLAGE CENTER AREA B  
 SETBACKS: FRONT 25'  
 SIDE 15'  
 REAR 25'  
  
 MINIMUM LOT SIZE: 40,000 S.F.  
 EXISTING LOT SIZE: 52,467± S.F. (1.20 AC.±)  
 NITROGEN SENSITIVE ZONE: NOT IN A 1995 ZONE II  
  
 MA FLOOD ZONE DISTRICT: ZONE X  
 PANEL #25001C0592J  
 DATED 7/16/2014

**PLANT SCHEDULE**

CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL
------	-----	-------------------------	------	-----

**DECIDUOUS TREES**

AM	2	ACER RUBRUM RED MAPLE	B & B	3-4" CAL.
GI	2	GLEDITSIA TRIACANTHOS INERMIS THORNLESS HONEY LOCUST	B & B	3-3.5" CAL
NS	4	NYSSA SYLVATICA TUPELO	B & B	2.5-3"

CODE	QTY	BOTANICAL / COMMON NAME	CONT	HT.
------	-----	-------------------------	------	-----

**SHRUBS**

Cw	10	CLETHRA ALNIFOLIA 'SOTITE' WHITE DOVE™ SUMMERSWEET	3 GAL	
Cf	8	CORNUS STOLONIFERA 'FARROW' ARCTIC FIRE® RED TWIG DOGWOOD	5 GAL	
Hv	2	HAMAMELIS VIRGINIANA COMMON WITCH HAZEL	5 GAL	4'-6-HT
Ht	6	HYDRANGEA SERRATA 'MAK20' TUFF STUFF™ HYDRANGEA	5 GAL	
Ig	14	ILEX GLABRA INKBERRY HOLLY	5 GAL	
Ir	23	ILEX VERTICILLATA 'FARROWBPOP' BERRY POPPINS® WINTERBERRY	5 GAL	
If	6	ILEX VERTICILLATA 'FARROWMRP' MR. POPPINS® WINTERBERRY	3 GAL	
Is	19	ILEX X CRENATA 'SOFT TOUCH' SOFT TOUCH HOLLY	3 GAL	
Pj	8	PIERIS JAPONICA JAPANESE PIERIS	5 GAL	
Pc	2	PRUNUS X CISTENA PURPLE LEAF SAND CHERRY	B & B	6'-8' HT.
Ry	14	RHODODENDRON YEDOENSE POUKHANENSE 'COMPACTA' COMPACT KOREAN AZALEA	3 GAL	

UTILITY NOTE

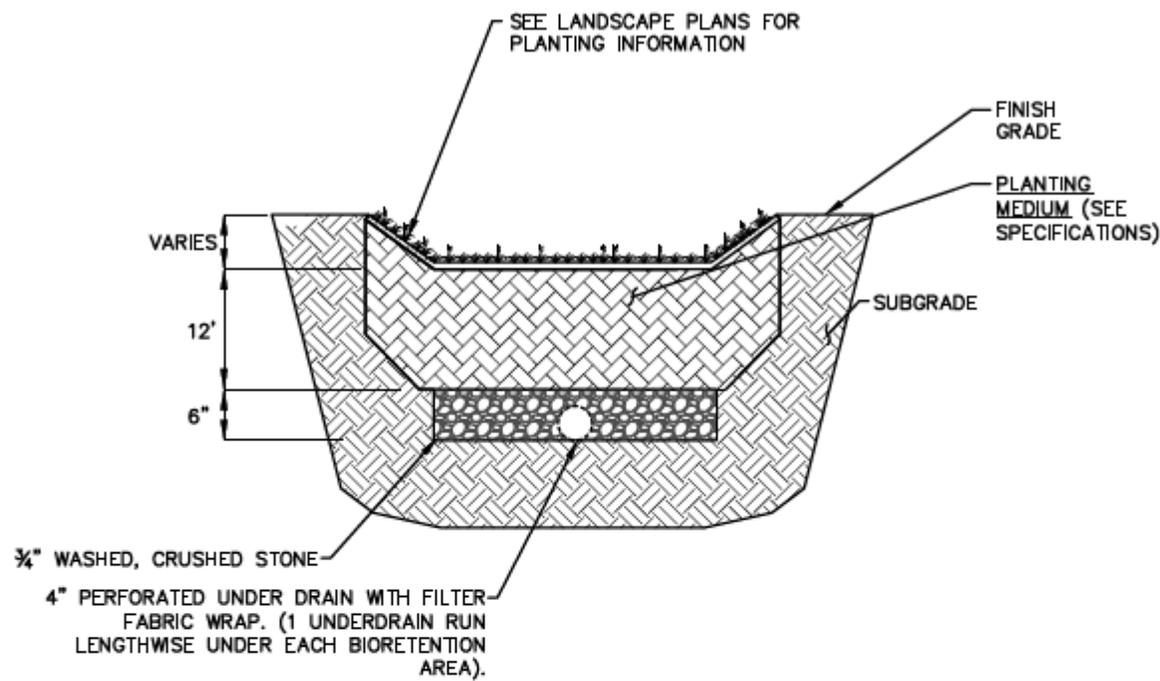
EXISTING UTILITIES, WHERE SHOWN HEREON, ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING ANY ON-SITE ACTIVITY WITH DIG-SAFE AND THE APPROPRIATE UTILITY COMPANY AND MAINTAINING EXISTING UTILITY SYSTEM SERVICE. DIG-SAFE SHALL BE NOTIFIED PER THE COMMONWEALTH OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 40, AT 1-888-344-7233. NO GUARANTEE IS IMPLIED OR INTENDED AS TO THE ACCURACY, LOCATION OR THAT ALL UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERTS OR UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.

REFERENCES

1) RECORDED IN BARNSTABLE DISTRICT REGISTRY OF DEEDS:

LANDCOURT CERT. 61365 (LOCUS)  
 LC PLAN 15107-A (LOCUS)  
 PLAN BOOK 71, PAGE 5 (MILL STREET LAYOUT)  
 PLAN BOOK 71, PAGE 7 (DEPOT STREET LAYOUT)  
 PLAN BOOK 82, PAGE 143  
 PLAN BOOK 262, PAGE 96  
 PLAN BOOK 394, PAGE 93  
 PLAN BOOK 529, PAGE 25  
 PLAN BOOK 588, PAGE 58  
 PLAN BOOK 651, PAGE 9

2) DENNIS ASSESSOR'S REFERENCE 75-8



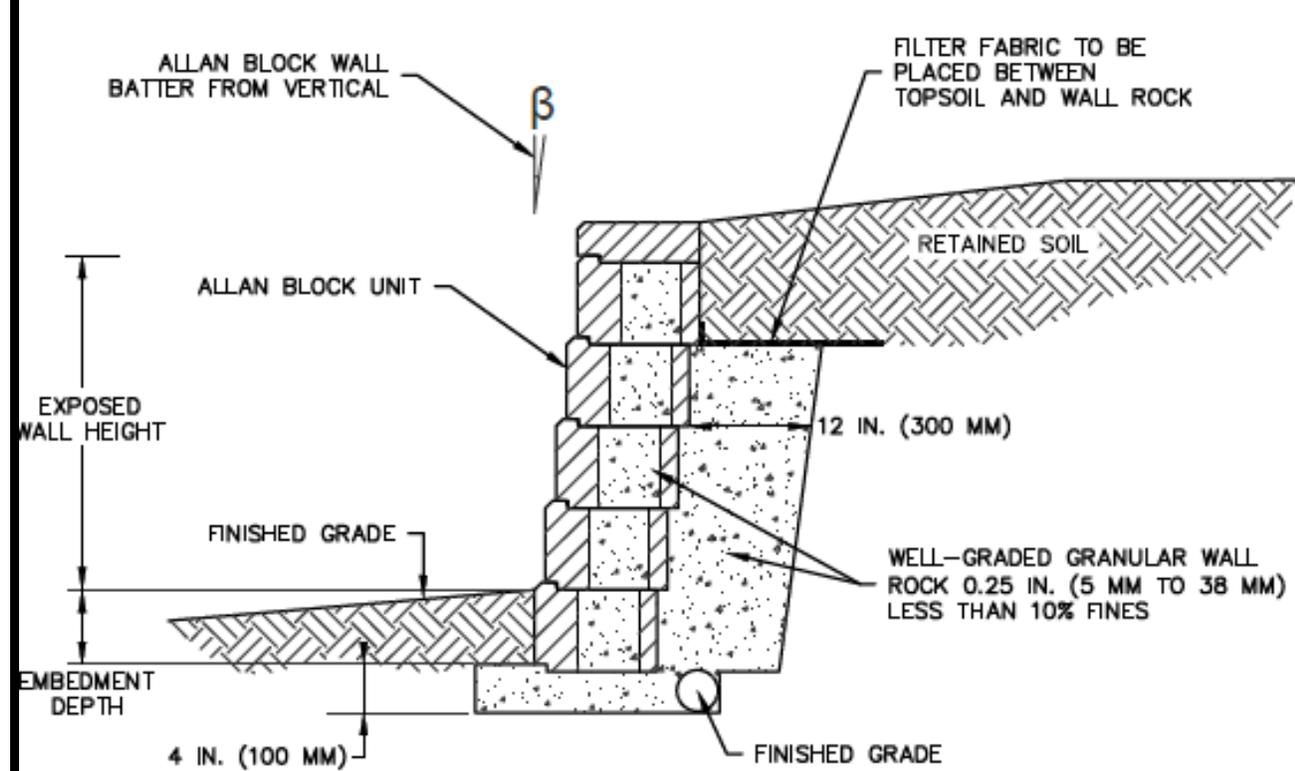
**PLANTING MEDIUM NOTES:**

1. PARTICLE SIZE DISTRIBUTION SHALL BE TESTED IN ACCORDANCE WITH ASTM D422.
2. PARTICLE SIZE DISTRIBUTION BY SEPARATES:
  - a. EXCLUDE ALL MATERIAL THAT DOES NOT PASS A STANDARD #4 SIEVE (LARGER THAN 4.76mm)
  - b. VERY COARSE SAND/GRAVEL (2.0-4.76mm): 5% MAX. (% BY DRY WEIGHT)
  - c. SAND (0.42mm-2.0mm): 60-80% (% BY DRY WEIGHT)
  - d. SILT (0.075mm-0.42mm): 20% MAX. (% BY DRY WEIGHT)
  - e. CLAY (LESS THAN 0.075mm): 5% MAX. (% BY DRY WEIGHT)
3. ORGANIC MATTER SHALL BE 5-9% BY VOLUME WITH MAXIMUM 500 ppm SOLUBLE SALTS
4. SOIL SHALL HAVE A pH BETWEEN 5.5 AND 7.0
5. CEC OF TOTAL SOIL: MIN. 10 meq/100 ML at pH OF 7.0
6. NO COMPOST SHALL BE INCLUDED IN THE PLANTING MEDIUM

PLANTING MIX PARTICLE SIZE DISTRIBUTION	
SIEVE #	PERCENT PASSING
4	100
10	95-100
40	15-45
200	10-20
<200 (PAN)	0-5

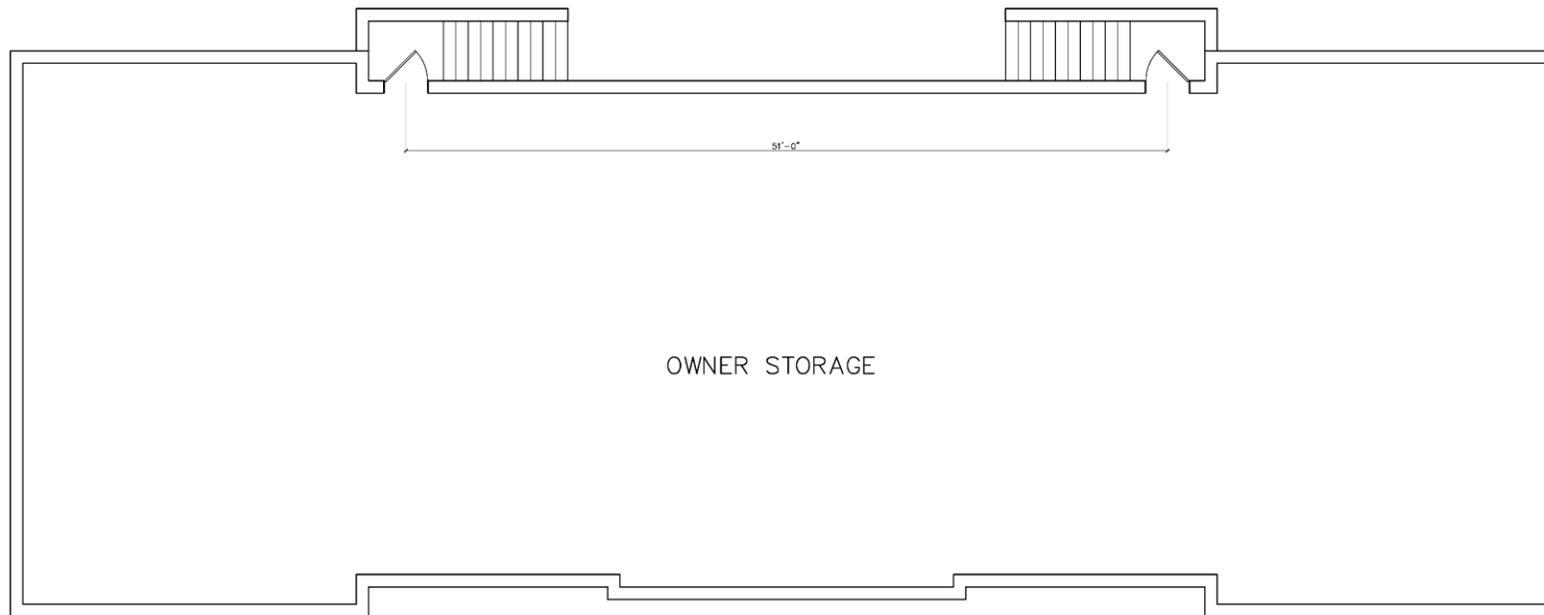
**RAIN GARDEN/BIORETENTION AREAS**

SCALE: NONE



**ALLAN BLOCK-01 TYPICAL GRAVITY WALL**

SCALE: NONE



BASEMENT PLAN  
 BUILDING '1'  
 EAST BUILDING

**ERT**  
**architects**  
 CELEBRATING 25 YEARS

architects interior designers builders

299 WHITES PATH  
 SOUTH YARMOUTH,  
 MASSACHUSETTS, 02664

tel (508) 367 - 8883  
 (508) 740 - 2800  
 fax (508) 740 - 5800  
 WWW.ERTARCHITECTS.COM

**THE DENNISPORT CROSSINGS**

**187 DEPOT STREET**

**DENNISPORT, MA**

**PREPARED FOR:**

**GLF DEVELOPMENT, LLC**

PROJECT # 450924

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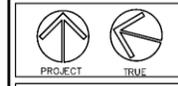
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REGISTRATION

REVISIONS

DATE:	REVISIONS:

ISSUED FOR:  
 DATE:



SCALE: 1/4"=1'-0"  
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**1.0**

TOTAL NUMBER OF SHEETS IN SET:  
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**THE DENNISPORT CROSSINGS**

**187 DEPOT STREET**

**DENNISPORT, MA**

**PREPARED FOR:**

**GLF DEVELOPMENT, LLC**

PROJECT # 450924

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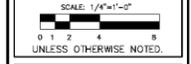
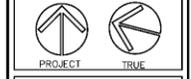
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REVISIONS

DATE:	REVISIONS:

ISSUED FOR:

DATE:



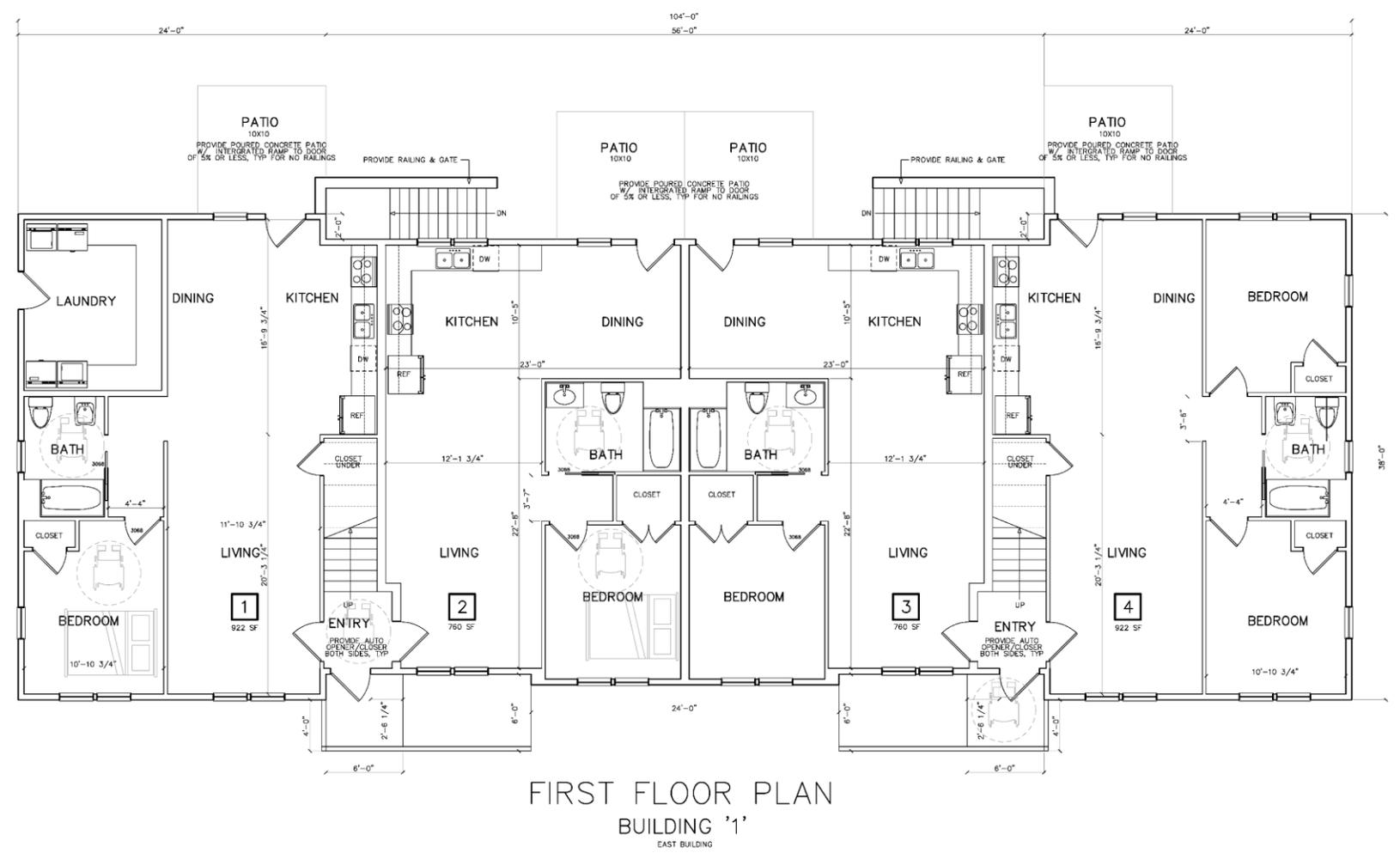
SHEET NO.

**1.1**

TOTAL NUMBER OF SHEETS IN SET:

**X**

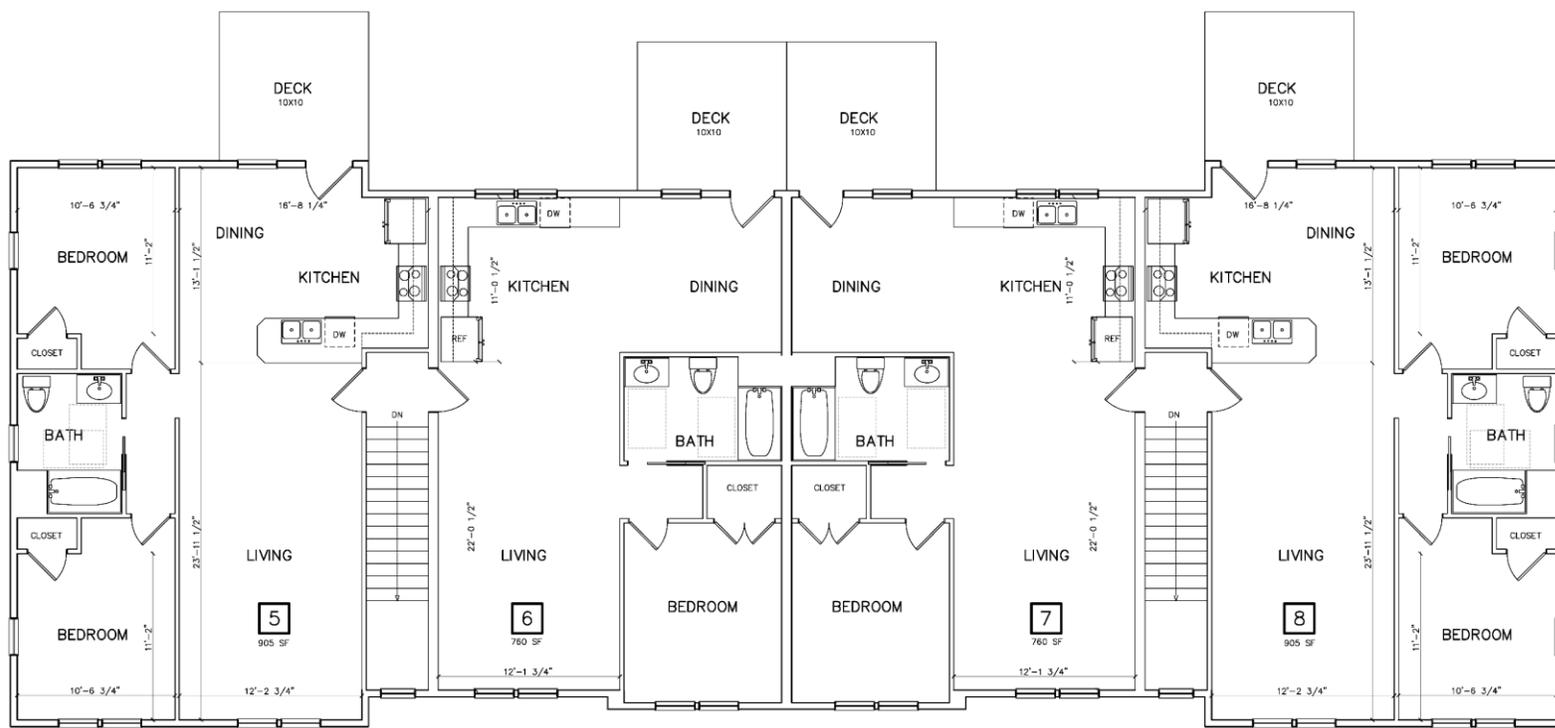
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**FIRST FLOOR PLAN**

**BUILDING '1'**

EAST BUILDING



SECOND FLOOR PLAN  
BUILDING '1'  
EAST BUILDING

**THE DENNISPORT CROSSINGS**

**187 DEPOT STREET**

**DENNISPORT, MA**

**PREPARED FOR:**

**GLF DEVELOPMENT, LLC**

PROJECT # 450924

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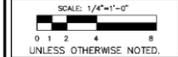
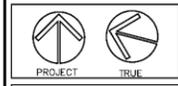
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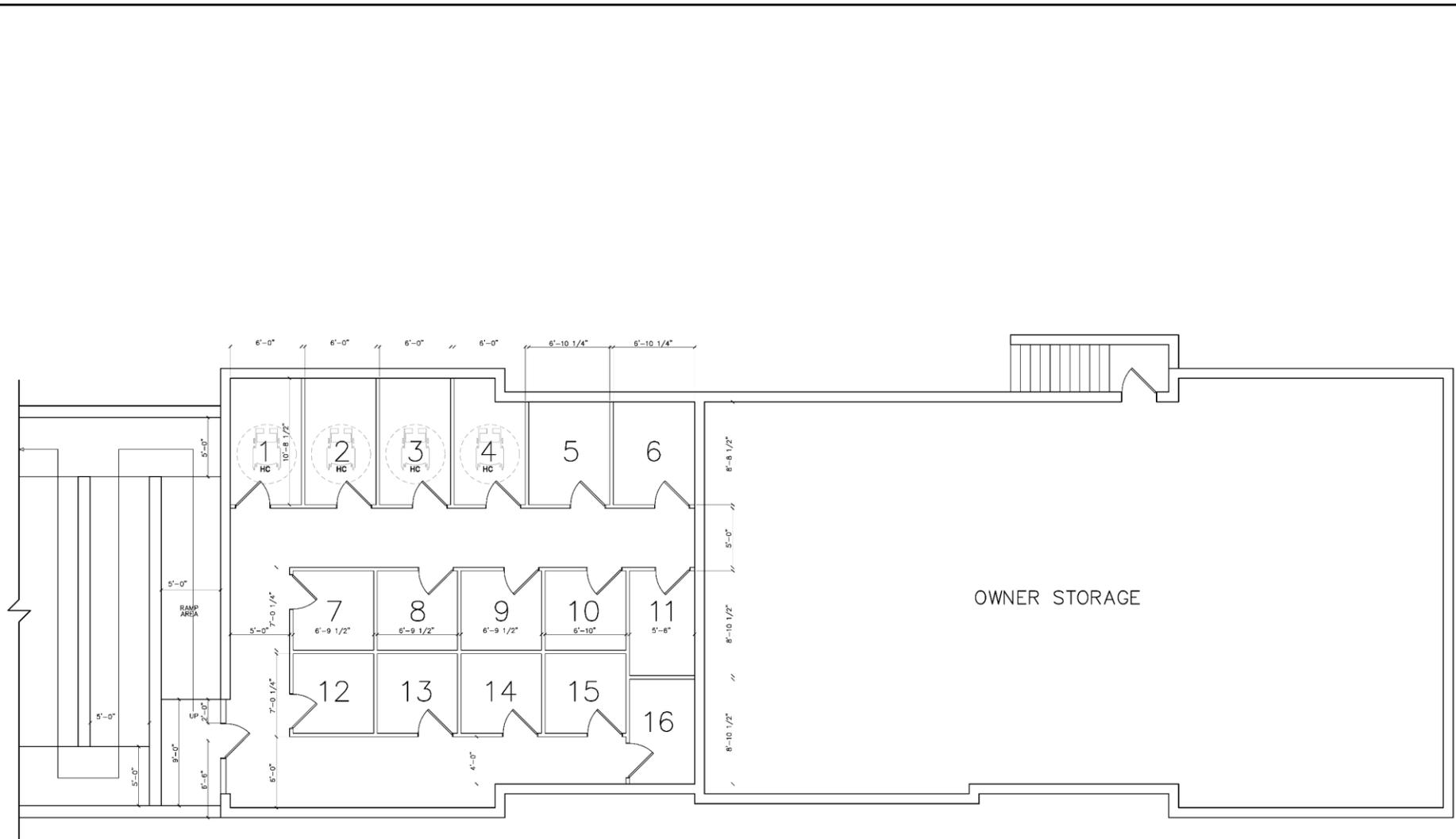
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SHEET NO.  
**2.0**

TOTAL NUMBER OF SHEETS IN SET:  
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**BASEMENT PLAN**  
**BUILDING '2'**  
WEST BUILDING

**THE DENNISPORT CROSSINGS**

**187 DEPOT STREET**

**DENNISPORT, MA**

**PREPARED FOR:**

**GLF DEVELOPMENT, LLC**

PROJECT # 450924

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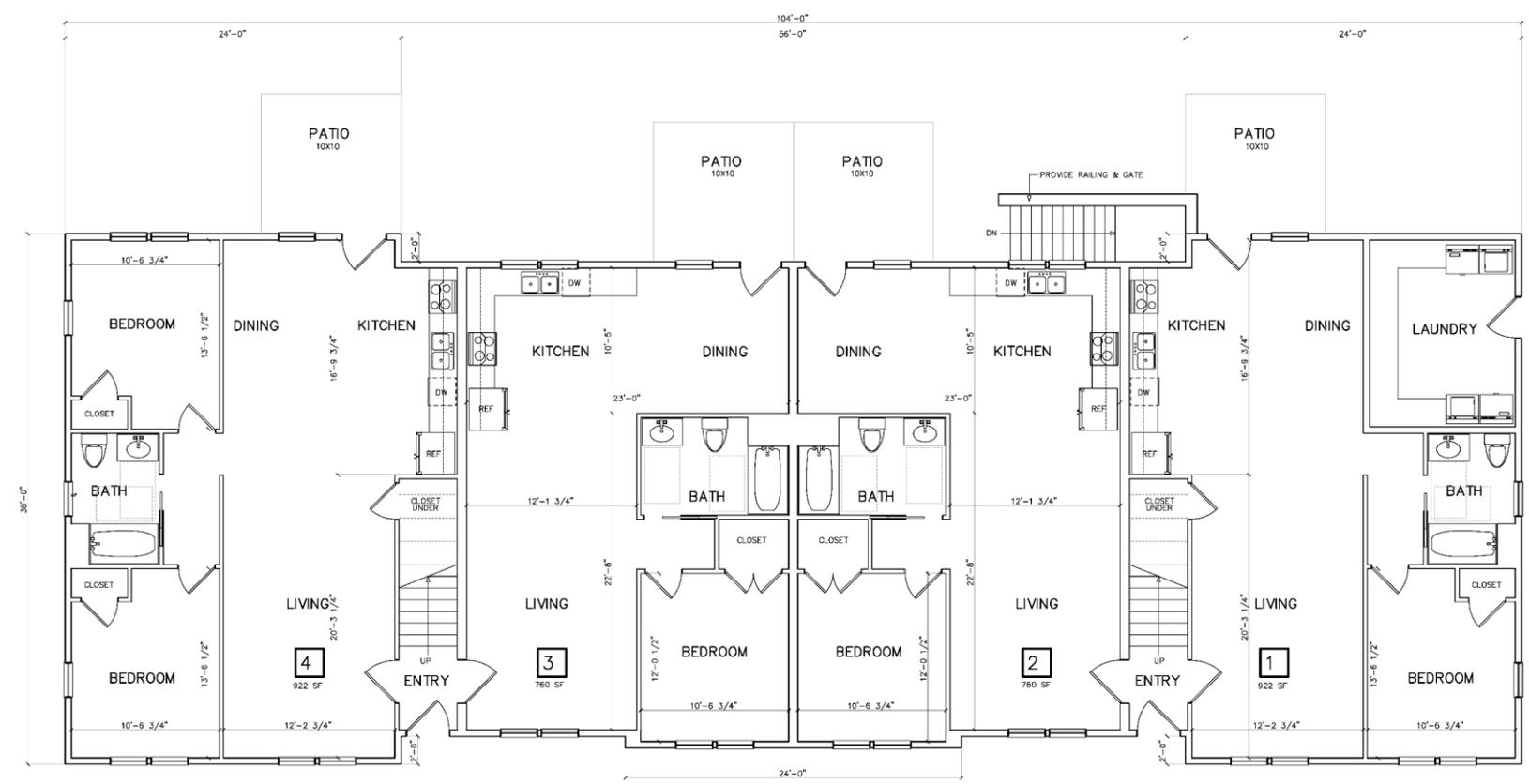
PROJECT TRUE

SCALE: 1/4"=1'-0"  
0 1 2 4 8  
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FIRST FLOOR PLAN  
BUILDING '2'  
WEST BUILDING

**THE DENNISPORT CROSSINGS**

**187 DEPOT STREET**

**DENNISPORT, MA**

**PREPARED FOR:**

**GLF DEVELOPMENT, LLC**

PROJECT # 450924

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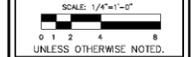
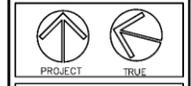
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REVISIONS

DATE:	REVISIONS:

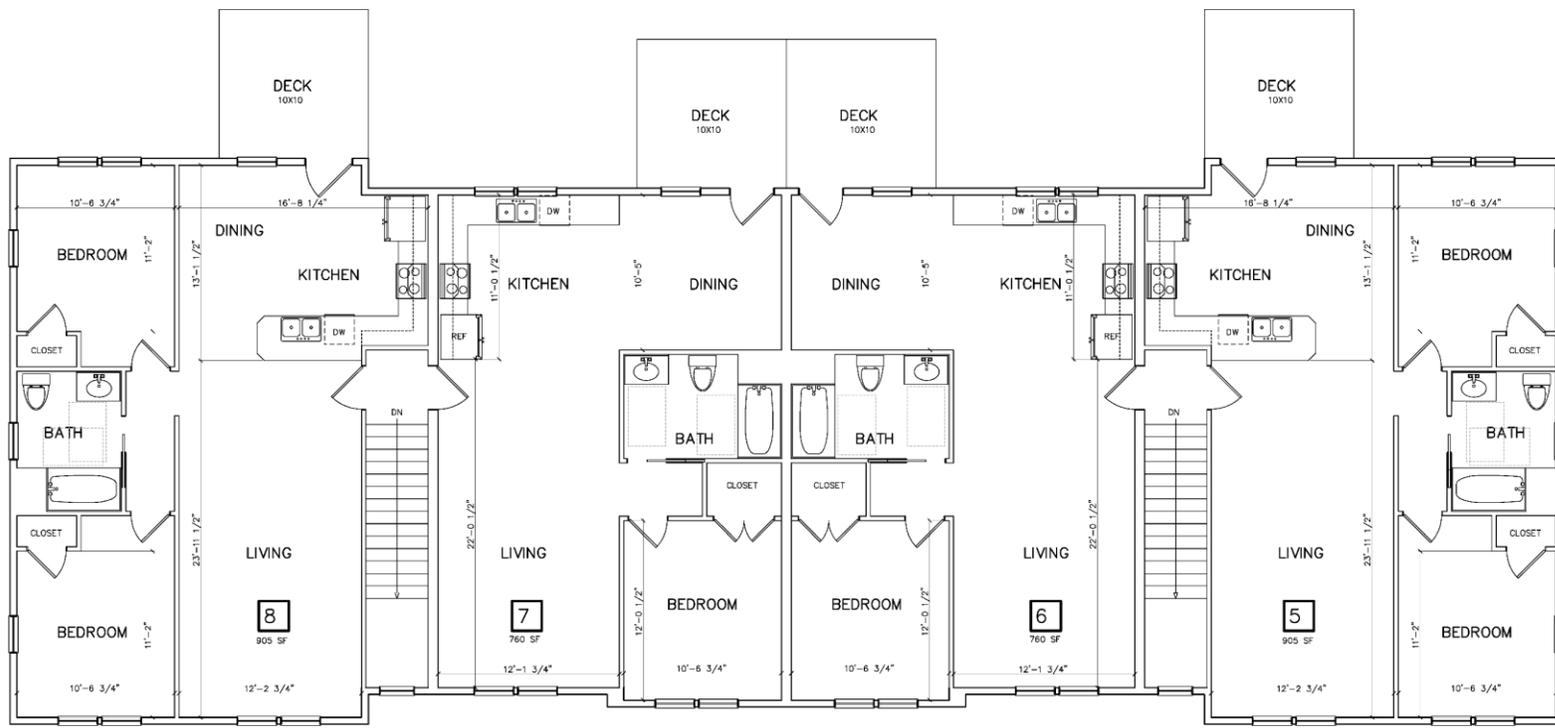
ISSUED FOR:  
DATE:



SHEET NO.  
**2.2**

TOTAL NUMBER OF SHEETS IN SET:  
**X**

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SECOND FLOOR PLAN  
BUILDING '2'  
WEST BUILDING



FRONT ELEVATION



RIGHT ELEVATION

architect interior design builder  
 299 WHITES PATH  
 SOUTH YARMOUTH  
 MASSACHUSETTS 02864  
 TEL (508) 362-8863  
 (508) 740-2800  
 FAX (508) 740-5600  
 WWW.BERKARCHITECTS.COM

**THE DENNISPORT CROSSINGS**

**187 DEPOT STREET  
 DENNISPORT, MA  
 PREPARED FOR:  
 GLF DEVELOPMENT, LLC**

PROJECT # 450924

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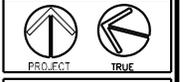
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REVISIONS

DATE:	REVISIONS:

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 0 1 2 4 8  
 UNLESS OTHERWISE NOTED.

SHEET NO.  
**A.3**

TOTAL NUMBER OF SHEETS IN SET:  
**X**

THIS SHEET INVALID UNLESS ACCOMPANIED BY A BOARD OF SEALS



REAR ELEVATION



LEFT ELEVATION

architects interior designers builders  
 299 WHEES PATH  
 SOUTH YARMOUTH  
 MASSACHUSETTS 02884  
 TEL (508) 342-8883  
 (508) 745-2833  
 FAX (508) 763-5833  
 WWW.ERTARCHITECTS.COM

**THE DENNISPORT CROSSINGS**

**187 DEPOT STREET  
 DENNISPORT, MA  
 PREPARED FOR:  
 GLF DEVELOPMENT, LLC**

PROJECT # 450924

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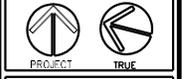
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REVISIONS

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 0 1 2 4 8  
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SHEET NO.  
**A. 4**

TOTAL NUMBER OF SHEETS IN SET:  
**X**

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169 Depot St  
Dennis, Massachusetts  
View on Google Maps



Streets View



Google



28 South St  
Dennis, Massachusetts  
View on Google Maps



Google

24 South St  
Dennis, Massachusetts  
View on Google Maps





187 Depot St  
Dennis, Massachusetts  
View on Google Maps



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Depot St



Google

187 Depot St  
Dennis, Massachusetts  
View on Google Maps



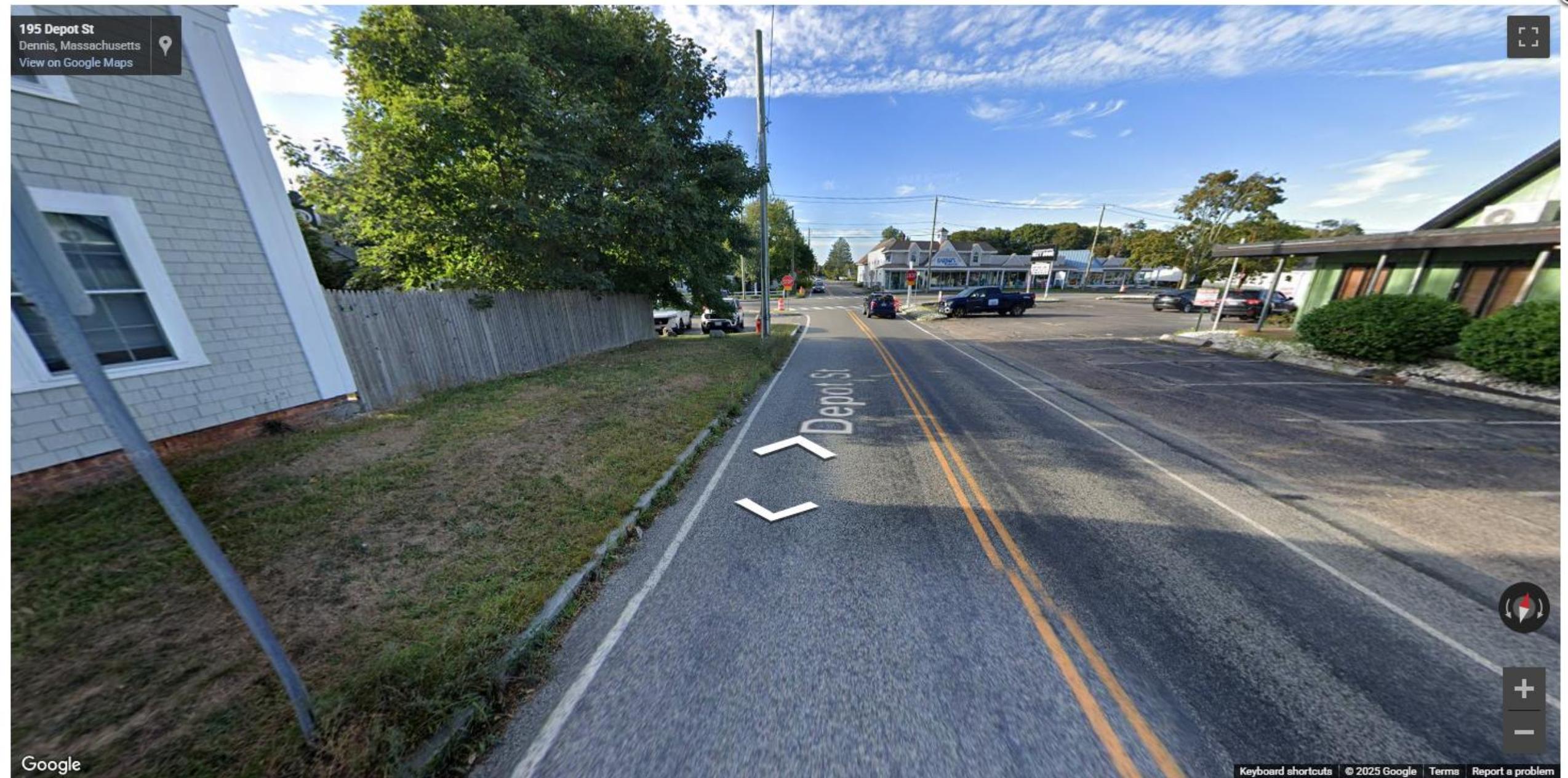
Depot St



202 Depot St  
Dennis, Massachusetts  
[View on Google Maps](#)



195 Depot St  
Dennis, Massachusetts  
View on Google Maps



587 Main St  
Dennis, Massachusetts  
View on Google Maps

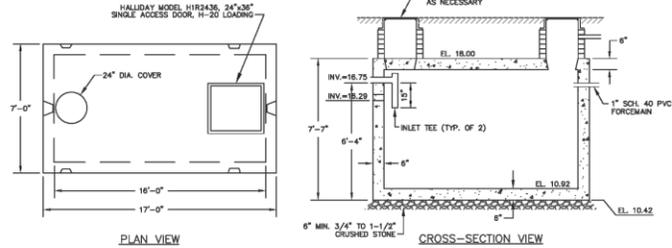


Google



### 4,000 GALLON PUMP CHAMBER

NOT TO SCALE



#### PUMP CHAMBER NOTES

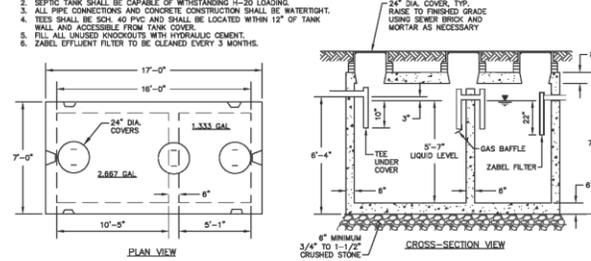
1. PUMP CHAMBER SHALL BE STEEL REINFORCED CONCRETE, CAPABLE OF WITHSTANDING H-20 LOADING.
2. ALL PIPE CONNECTIONS AND CONCRETE CONSTRUCTION SHALL BE WATER TIGHT FROM THE FACTORY.
3. INLET TEES SHALL BE SCH. 40 PVC AND SHALL BE LOCATED UNDER MANHOLE FOR EASE OF MAINTENANCE.
4. POWER CABLES TO BE PLACED IN CONDUIT IN ACCORDANCE WITH LOCAL BUILDING AND WIRE CODES.
5. PUMP AND ALARM SHALL BE WIRED ON SEPARATE CIRCUITS.
6. ALL UNUSED KNOCKOUTS SHALL BE FILLED WITH HYDRAULIC CEMENT.
7. THE QUICK DISCONNECT SHOULD BE ACCESSIBLE FROM WITHIN THE TIESEL.
8. EACH PUMP SHALL BE EQUIPPED WITH A LIFTING CHAIN AND PVC OR GREATER SLIDE RAIL SYSTEM.

### 4,000 GALLON, 2-COMPARTMENT SEPTIC TANK

NOT TO SCALE

#### NOTES:

1. SEPTIC TANK SHALL BE STEEL REINFORCED CONCRETE.
2. SEPTIC TANK SHALL BE CAPABLE OF WITHSTANDING H-20 LOADING.
3. ALL PIPE CONNECTIONS AND CONCRETE CONSTRUCTION SHALL BE WATER TIGHT.
4. TEES SHALL BE SCH. 40 PVC AND SHALL BE LOCATED WITHIN 12" OF TANK WALL AND ACCESSIBLE FROM TANK COVER.
5. FILL ALL UNUSED KNOCKOUTS WITH HYDRAULIC CEMENT.
6. ZABEL EFFLUENT FILTER TO BE CLEANED EVERY 3 MONTHS.



3/24/25

BRIAN G. YERGATIAN  
PROFESSIONAL ENGINEER DATE

### THE DENNISPORT CROSSINGS

187 DEPOT STREET  
IN  
DENNISPORT  
MASSACHUSETTS  
(BARNSTABLE COUNTY)

#### SEPTIC DETAILS

MARCH 24, 2025

#### REVISIONS:

NO.	DATE	DESC.

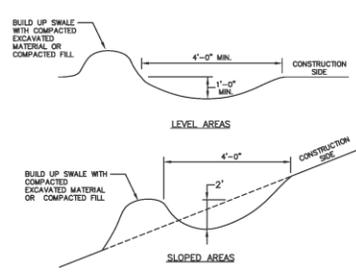
PREPARED FOR:  
GLF DEVELOPMENT LLC  
P.O. BOX 4847  
FRAMINGHAM, MA 01704

**BSC GROUP**  
BUILD | SUPPORT | CONNECT  
349 Main Street - Route 28  
West Yarmouth, Massachusetts  
02673  
508 778 8919

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NO SCALE

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DWG:  
JOB. NO: 010081.3.01 SHEET C-5.1

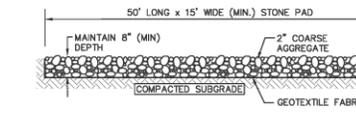




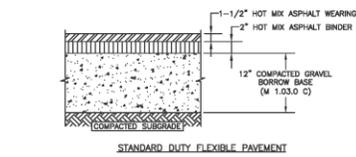
**TEMPORARY DIVERSION SWALE**  
SCALE: NONE

NOTE:  
TEMPORARY DIVERSION SWALES ARE INSTALLED AS REQUIRED BY THE CONTRACTOR TO FIT SITE CONDITIONS. THERE IS NO ONE DETAIL THAT FITS ALL CONDITIONS. THE TWO DETAILS SHOWN ABOVE ARE THE MINIMUM THAT CAN BE USED TO CHANNEL WATER FROM DISTURBED AREAS TO THE TEMPORARY SEDIMENT BASIN.

**TEMPORARY DIVERSION SWALE**  
SCALE: NONE

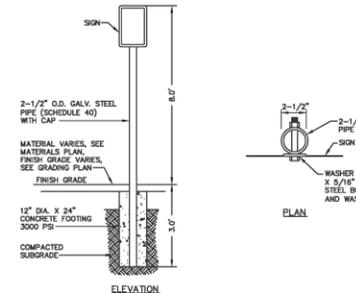


**TEMPORARY CONSTRUCTION ENTRANCE**  
SCALE: NONE

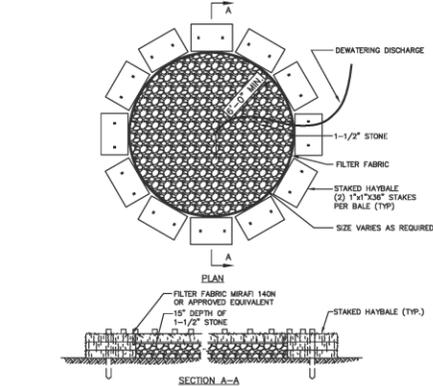


NOTE:  
PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF GEOTECHNICAL INVESTIGATIONS

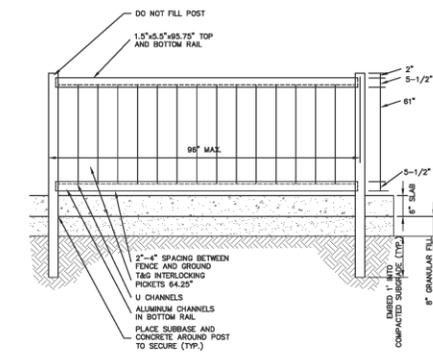
**HOT MIX ASPHALT PAVEMENT SECTIONS**  
SCALE: NONE



**TYPICAL SIGN SUPPORT**  
SCALE: NONE

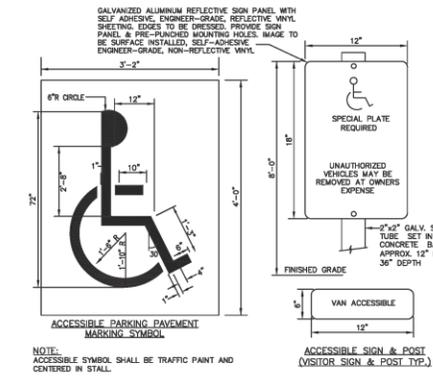


**DEWATERING SEDIMENT TRAP**  
SCALE: NONE

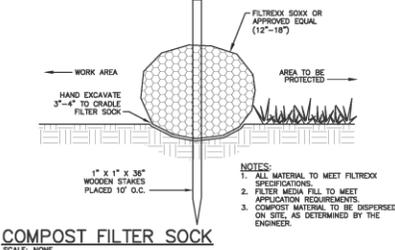


GENERAL NOTES:  
1. FENCE SHALL BE "THE SAVANNAH PRIVACY FENCE" AS MANUFACTURED BY USA VINYL FENCE COMPANY OR ENGINEER-APPROVED EQUAL.  
2. COLOR SHALL BE WOOD-GRAIN KANYON. SUBMIT COLORING COLOR SAMPLE FOR APPROVAL.

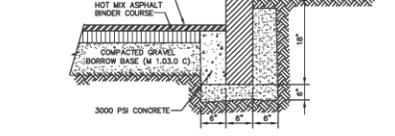
**6" VINYL PRIVACY FENCE**  
SCALE: NONE



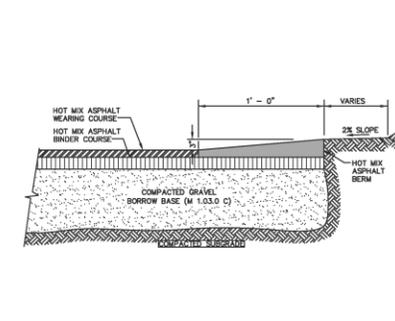
**PAINTED PAVEMENT MARKINGS ACCESSIBLE PARKING SYMBOL & ACCESSIBLE PARKING SIGN**  
SCALE: NONE



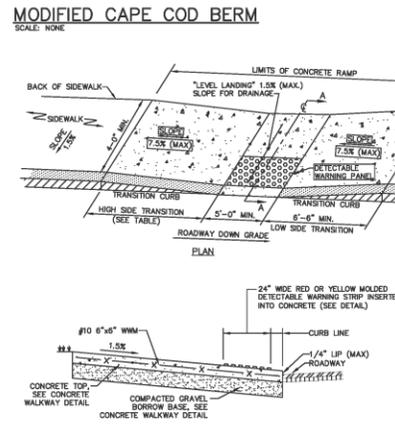
**COMPOST FILTER SOCK**  
SCALE: NONE



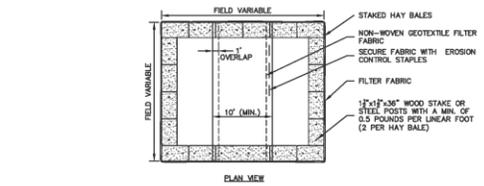
**VERTICAL GRANITE CURB**  
SCALE: NONE



**MODIFIED CAPE COD BERM**  
SCALE: NONE



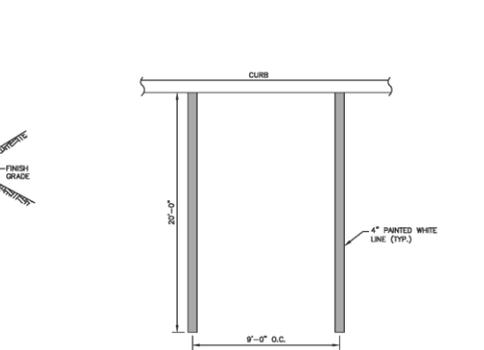
**STANDARD PAINTED PARKING MARKINGS**  
SCALE: NONE



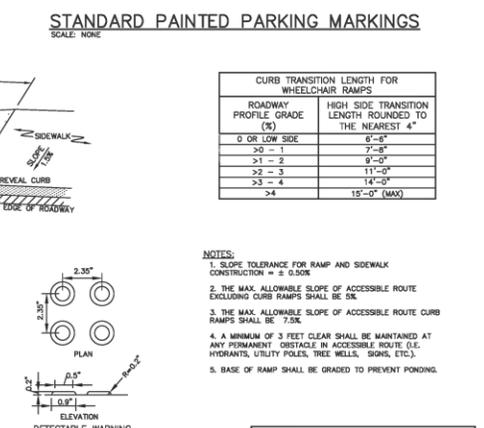
**TEMPORARY CONCRETE WASHOUT AREA**  
SCALE: NONE

NOTES:  
1. CONSTRUCT WASHOUT AREA LARGE ENOUGH TO ENSURE MATERIALS WILL BE CONTAINED WHERE WASTE CONCRETE CAN SOLIDIFY IN PLACE AND EXCESS WATER CAN SAFELY EVAPORATE.  
2. WASHOUT AREA SHALL BE LARGE ENOUGH TO RETAIN ALL LIQUID AND WASTE CONCRETE MATERIALS FROM WASHOUT OPERATION.  
3. WEEKLY INSPECTIONS OF WASHOUT AREAS SHALL BE CONDUCTED TO ASSESS THE HOLDING CAPACITY AND FUNCTIONALITY OF THE WASHOUT AREA.

**TEMPORARY CONCRETE WASHOUT AREA**  
SCALE: NONE



**STANDARD PAINTED PARKING MARKINGS**  
SCALE: NONE



**TYPICAL SIGN SUPPORT**  
SCALE: NONE



04/17/25

**THE DENNISPORT CROSSINGS**

187 DEPOT STREET  
IN  
DENNIS MASSACHUSETTS  
(BARNSTABLE COUNTY)

**DETAILS**

APRIL 30, 2025

REVISIONS:

NO.	DATE	DESC.

PREPARED FOR:  
GLF DEVELOPMENT LLC  
P.O. BOX 4847  
FRAMINGHAM, MA 01704

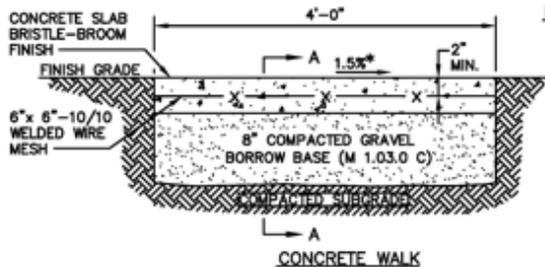
**BSC GROUP**  
BUILD | SUPPORT | CONNECT  
803 Summer Street  
Boston, Massachusetts  
02127  
617 896 4300

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DWG: 010081301 SHEET C-6.0

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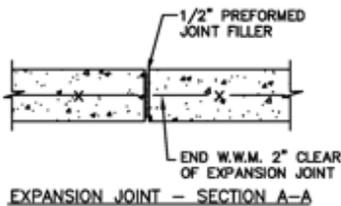


**NOTES:**

1. WALK TO 6" THICK IF SUBJECT TO VEHICULAR LOAD.
2. PROVIDE EXPANSION JOINTS AT MIN. 20 FT O.C. WITH PRE-MOULDED JOINT FILLER.
3. PROVIDE CONTROL JOINTS AT 5' O.C.
4. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
5. CONCRETE SHALL BE 4,000 PSI-TYPE II.
- \*6. CONSTRUCTION TOLERANCE = 0.5%.

**EXPANSION JOINT NOTES:**

1. EJ AT ALL INTERSECTIONS WALKS-EVENLY SPACE CJ BETWEEN EJ.
2. EJ ALONG ALL RETAINING WALLS, STRUCTURES, HANDICAP RAMPS, LIGHT BASES, BENCHES ETC.. USE REMOVABLE PVC SPACER & SILICONE JOINT FILLER.
3. ALONG GRANITE CURB PROVIDE POLYETHYLENE BOND BREAKER & TOOL EDGE JOINT.



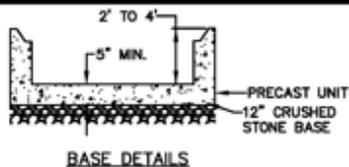
**CONTROL/EXPANSION JOINT SPACING**

WIDTH	CJ	EJ
4'	5'	25'
5'	5'	25'
6'	6'	24'
7'	5'	26'
8'	4'x4'	24'
9'	4.5'x4.5'	27'
10'	5'x5'	30'

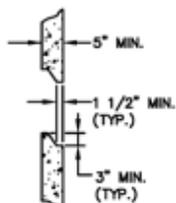
CJ= CONTROL JOINT  
EJ= EXPANSION JOINT

**CONCRETE WALKWAY**

SCALE: NONE



**BASE DETAILS**



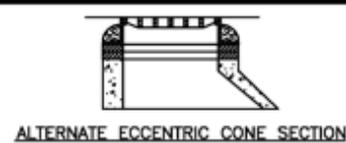
**JOINT DETAILS**

**NOTES:**

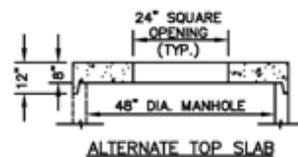
1. ALL PRECAST JOINTS TO BE SEALED WITH BUTYL RUBBER.
2. DESIGN TO CONFORM TO H-20 LOADING.
3. CONTRACTOR HAS THE OPTION TO USE ALTERNATE TOP SLAB.

**PRECAST CONCRETE CATCH BASIN**

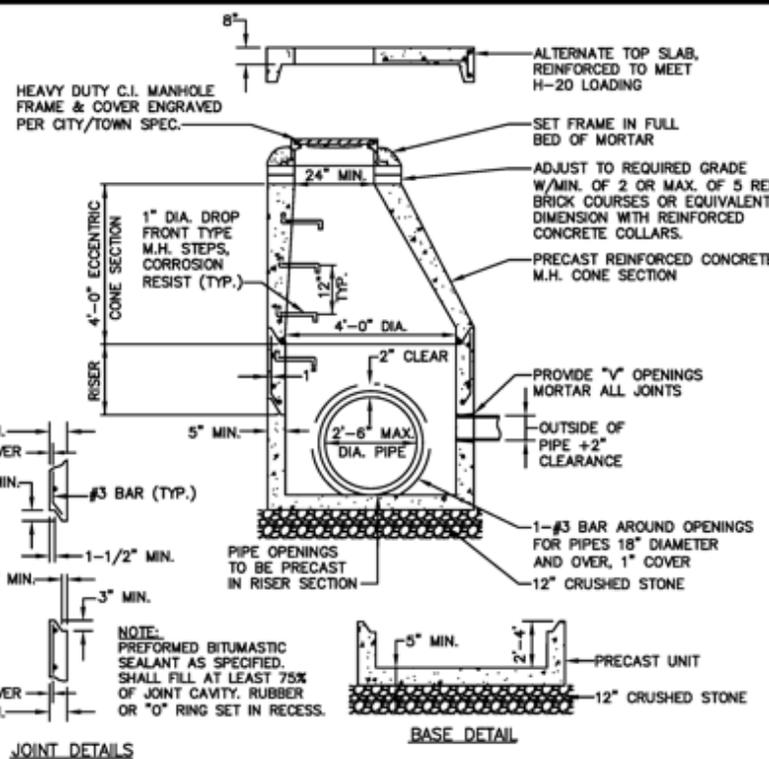
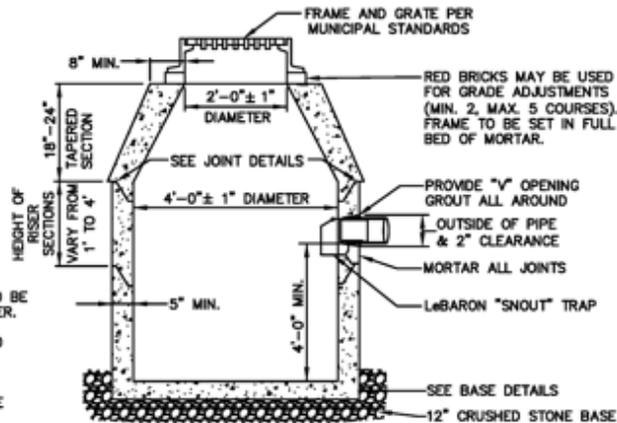
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**ALTERNATE ECCENTRIC CONE SECTION**



**ALTERNATE TOP SLAB**

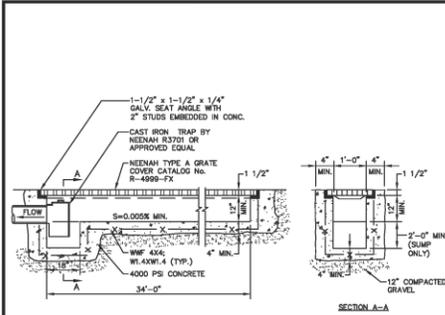


**JOINT DETAILS**

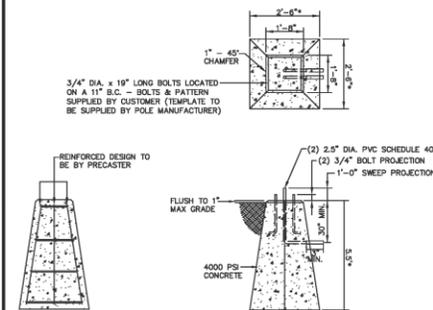
**BASE DETAIL**

**PRECAST CONCRETE DMH**

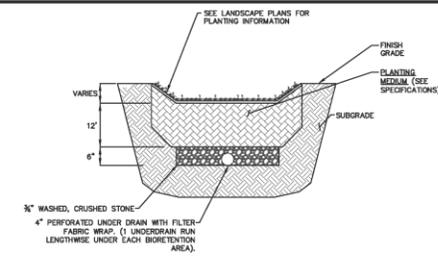
SCALE: NONE



**CAST-IN PLACE CONCRETE TRENCH DRAIN**  
SCALE: NONE



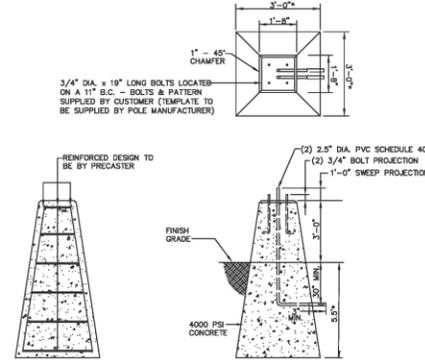
**PRECAST LIGHT POLE BASE — FLUSH SURFACE**  
SCALE: NONE



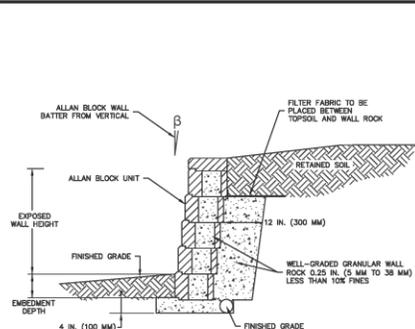
- PLANTING MEDIUM NOTES:**
- PARTICLE SIZE DISTRIBUTION SHALL BE TESTED IN ACCORDANCE WITH ASTM D422.
  - PARTICLE SIZE DISTRIBUTION BY SEPARATES:
    - EXCLUDE ALL MATERIAL THAT DOES NOT PASS A STANDARD #4 SIEVE (LARGER THAN 4.75mm)
    - VERY COARSE SAND/GRAVEL (2.0-4.75mm): 5% MAX. (% BY DRY WEIGHT)
    - SAND (0.425mm-2.0mm): 60-80% (% BY DRY WEIGHT)
    - SILT (0.075mm-0.425mm): 20% MAX. (% BY DRY WEIGHT)
    - CLAY (LESS THAN 0.075mm): 5% MAX. (% BY DRY WEIGHT)
  - ORGANIC MATTER SHALL BE 5-9% BY VOLUME WITH MAXIMUM 500 ppm SOLUBLE SALTS
  - SOIL SHALL HAVE A pH BETWEEN 5.5 AND 7.0
  - CEC OF TOTAL SOIL MIN. 10 mmol/100 ml at pH of 7.0
  - NO COMPOST SHALL BE INCLUDED IN THE PLANTING MEDIUM

PLANTING MIX PARTICLE SIZE DISTRIBUTION	
SEIVE #	PERCENT PASSING
4	100
10	85-100
40	15-45
200	10-20
<200 (PAN)	0-5

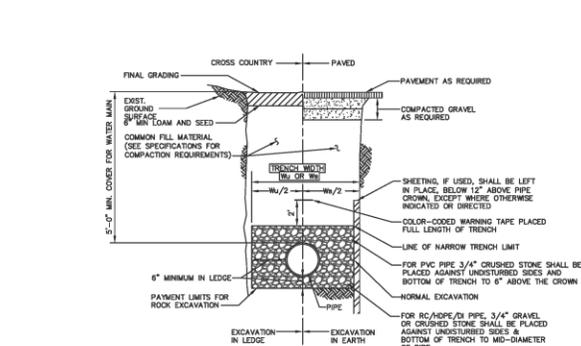
**RAIN GARDEN/BIORETENTION AREAS**  
SCALE: NONE



**TYPICAL PIPE TRENCH SECTION**  
SCALE: NONE



**ALLAN BLOCK-01 TYPICAL GRAVITY WALL**  
SCALE: NONE



**TYPICAL PIPE TRENCH SECTION**  
SCALE: NONE

D DIAMETER OF PIPE	TRENCH WIDTH, Ws OR Wu	
	Ws UNSHIELDED	Wu SHIELDED
12" AND SMALLER	3'-0"	4'-2"
15"	3'-2"	4'-4"
18"	3'-4"	4'-6"
21"	3'-10"	5'-0"
24"	4'-2"	5'-4"
27"	4'-6"	5'-8"
30"	4'-10"	6'-0"
36"	5'-6"	6'-8"
42"	6'-2"	7'-4"
48"	6'-10"	8'-0"

TRENCH WIDTH DATA



04/17/25

THE DENNISPORT  
CROSSINGS  
187 DEPOT STREET  
IN  
DENNIS  
MASSACHUSETTS  
(BARNSTABLE COUNTY)

DETAILS

APRIL 30, 2025

REVISIONS:

NO.	DATE	DESC.

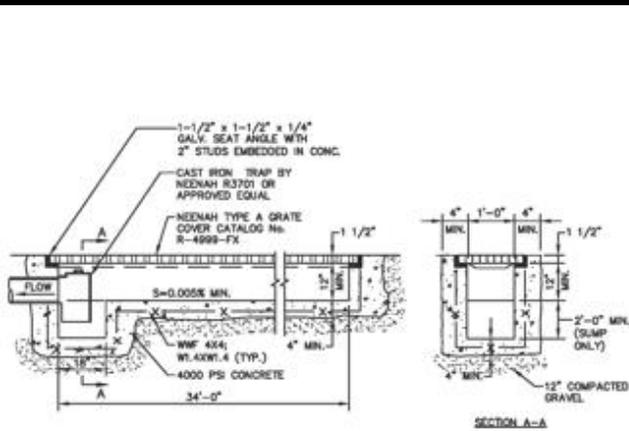
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GLF DEVELOPMENT LLC  
P.O. BOX 4847  
FRAMINGHAM, MA 01704

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Boston, Massachusetts  
02127  
617 896 4300

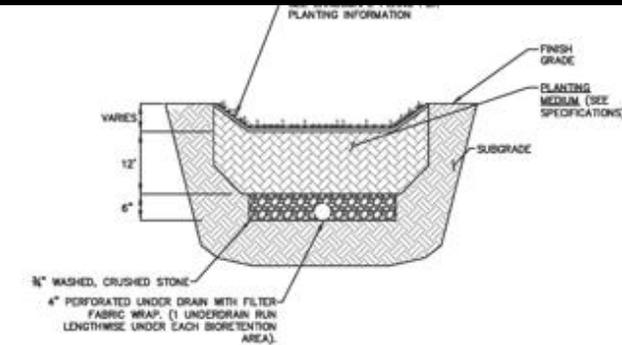
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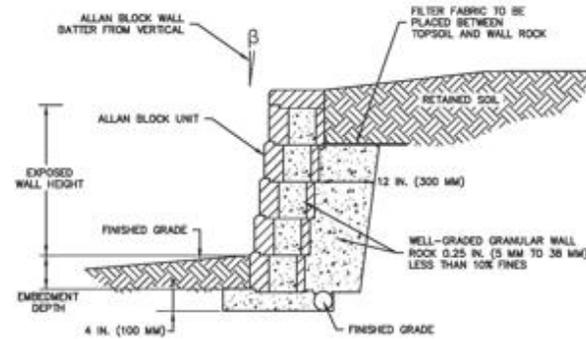


SECTION A-A



- PLANTING MIXTURE NOTES:**
- PARTICLE SIZE DISTRIBUTION SHALL BE TESTED IN ACCORDANCE WITH ASTM D422.
  - PARTICLE SIZE DISTRIBUTION BY SEPARATES:
    - EXCLUDE ALL MATERIAL THAT DOES NOT PASS A STANDARD #4 SIEVE (LARGER THAN 4.75mm)
    - VERY COARSE SAND/GRAVEL (2.0-4.75mm): 5% MAX. (% BY DRY WEIGHT)
    - SAND (0.42mm-2.0mm): 60-80% (% BY DRY WEIGHT)
    - SILT (0.075mm-0.42mm): 20% MAX. (% BY DRY WEIGHT)
    - CLAY (LESS THAN 0.075mm): 5% MAX. (% BY DRY WEIGHT)
  - ORGANIC MATTER SHALL BE 5-10% BY VOLUME WITH MAXIMUM 500 ppm SOLUBLE SALTS
  - SOIL SHALL HAVE A pH BETWEEN 5.5 AND 7.0
  - CEC OF TOTAL SOIL: MIN. 10 meq/100 ml at pH of 7.0
  - NO COMPOST SHALL BE INCLUDED IN THE PLANTING MEDIUM

SEIVE #	PERCENT PASSING
4	100
10	95-100
40	15-45
200	10-20
<200 (PAM)	0-5



ALLAN BLOCK-01 TYPICAL GRAVITY WALL

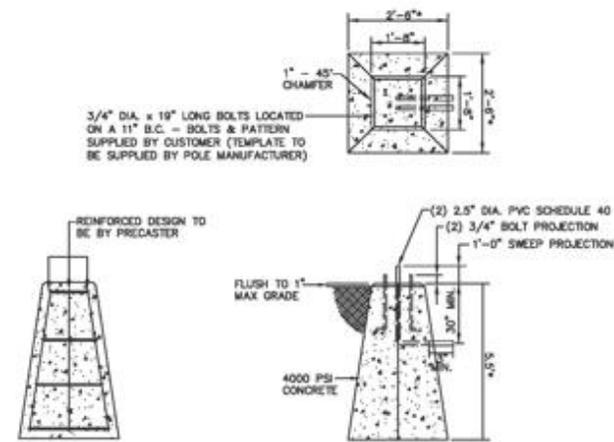
CAST IN PLACE CONCRETE TRENCH DRAIN

RAIN GARDEN/BIORETENTION AREAS

SCALE: NONE

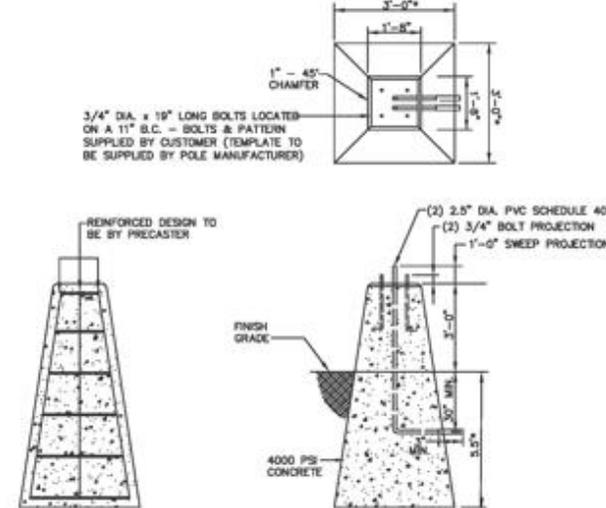
SCALE: NONE

SCALE: NONE



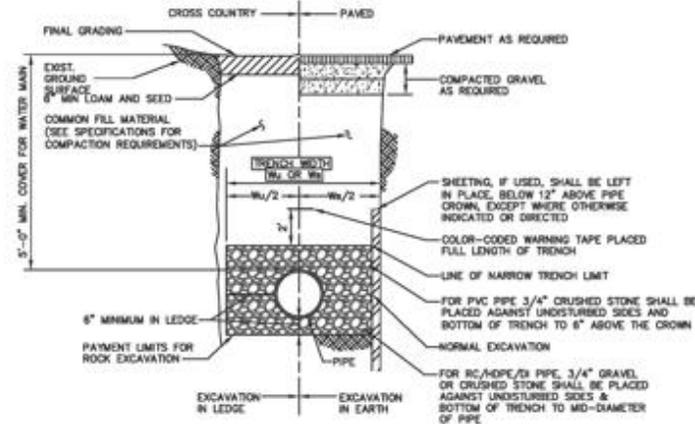
\*PROJECT MANAGER TO CONFIRM DIMENSIONS WITH STRUCTURAL ENGINEER FOR SOIL CONDITIONS, POLE HEIGHT AND FIXTURE STYLE PRIOR TO PLACING. DETAIL ON PLANS.

FOR USE IN LAWN AREAS



\*PROJECT MANAGER TO CONFIRM DIMENSIONS WITH STRUCTURAL ENGINEER FOR SOIL CONDITIONS, POLE HEIGHT AND FIXTURE STYLE PRIOR TO PLACING. DETAIL ON PLANS.

FOR USE IN PAVED AREAS



D DIAMETER OF PIPE	TRENCH WIDTH, Ws OR Wu	
	UNSHEETED	SHEETED
12" AND SMALLER	3'-0"	4'-2"
15"	3'-2"	4'-4"
18"	3'-6"	4'-8"
21"	3'-10"	5'-0"
24"	4'-2"	5'-4"
27"	4'-6"	5'-8"
30"	4'-10"	6'-0"
36"	5'-8"	6'-8"
42"	6'-2"	7'-4"
48"	6'-10"	8'-0"

TRENCH WIDTH DATA

PRECAST LIGHT POLE BASE - FLUSH SURFACE

TYPICAL PIPE TRENCH SECTION

553

75-4

75-5

75-7

202

75-45

45

75-3

DEPOT ST

74-13

75-8

187

24

24

75-12

75-15

75-10

75-9

181

22

FIND ZOOM FOLLOW

20 m 100 ft

Map Info

State Plane, NAD 83 Mtr 314378, 824883

About

Layers

Find

▲





FRONT ELEVATION



RIGHT ELEVATION

architect interior design builder  
 299 WHITES PATH  
 SOUTH YARMOUTH  
 MASSACHUSETTS 02884  
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 WWW.BERKARCHITECTS.COM

**THE DENNISPORT CROSSINGS**

**187 DEPOT STREET  
 DENNISPORT, MA  
 PREPARED FOR:  
 GLF DEVELOPMENT, LLC**

PROJECT # 450924

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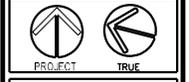
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REGISTRATION

REVISIONS

DATE:	REVISIONS:

ISSUED FOR:  
 DATE:



SCALE: 1/4"=1'-0"  
 0 1 2 4 8  
 UNLESS OTHERWISE NOTED.

SHEET NO.  
**A.3**

TOTAL NUMBER OF SHEETS  
 IN SET:  
**X**

THIS SHEET INVALID UNLESS ACCOMPANIED BY A BOARD OF SEALS



REAR ELEVATION



LEFT ELEVATION

architects interior designers builders  
 299 WHEES PATH  
 SOUTH YARMLOUTH  
 MASSACHUSETTS 02864  
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**THE DENNISPORT CROSSINGS**

**187 DEPOT STREET  
 DENNISPORT, MA  
 PREPARED FOR:  
 GLF DEVELOPMENT, LLC**

PROJECT # 450924

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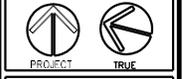
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REGISTRATION

REVISIONS

DATE	REVISIONS

ISSUED FOR:  
 DATE:



SCALE: 1/8"=1'-0"  
 0 1 2 4 8  
 UNLESS OTHERWISE NOTED.

SHEET NO.  
**A. 4**

TOTAL NUMBER OF SHEETS IN SET:  
**X**

THIS SHEET INVALID UNLESS ACCOMPANIED BY A COMPLETE SET OF DRAWINGS