

1. **355 MAIN STREET, DP (ZBAS-25-16):** VB355 RE LLC, 43 Winsome Road, South Yarmouth MA, 02664  
C/O attorney Paul R Tardif is seeking a Special Permit to allow a change of use (cabinet making) in  
the rear building on a property in the GC-2 Zoning District. Located at 355 Main Street, DP, MA  
(Assessor's Map 73, Parcel 11).



Find Properties

Owner:

Parcel ID:

Address:   [Clear](#)

Condo/Cottage Colony:

Results Summary

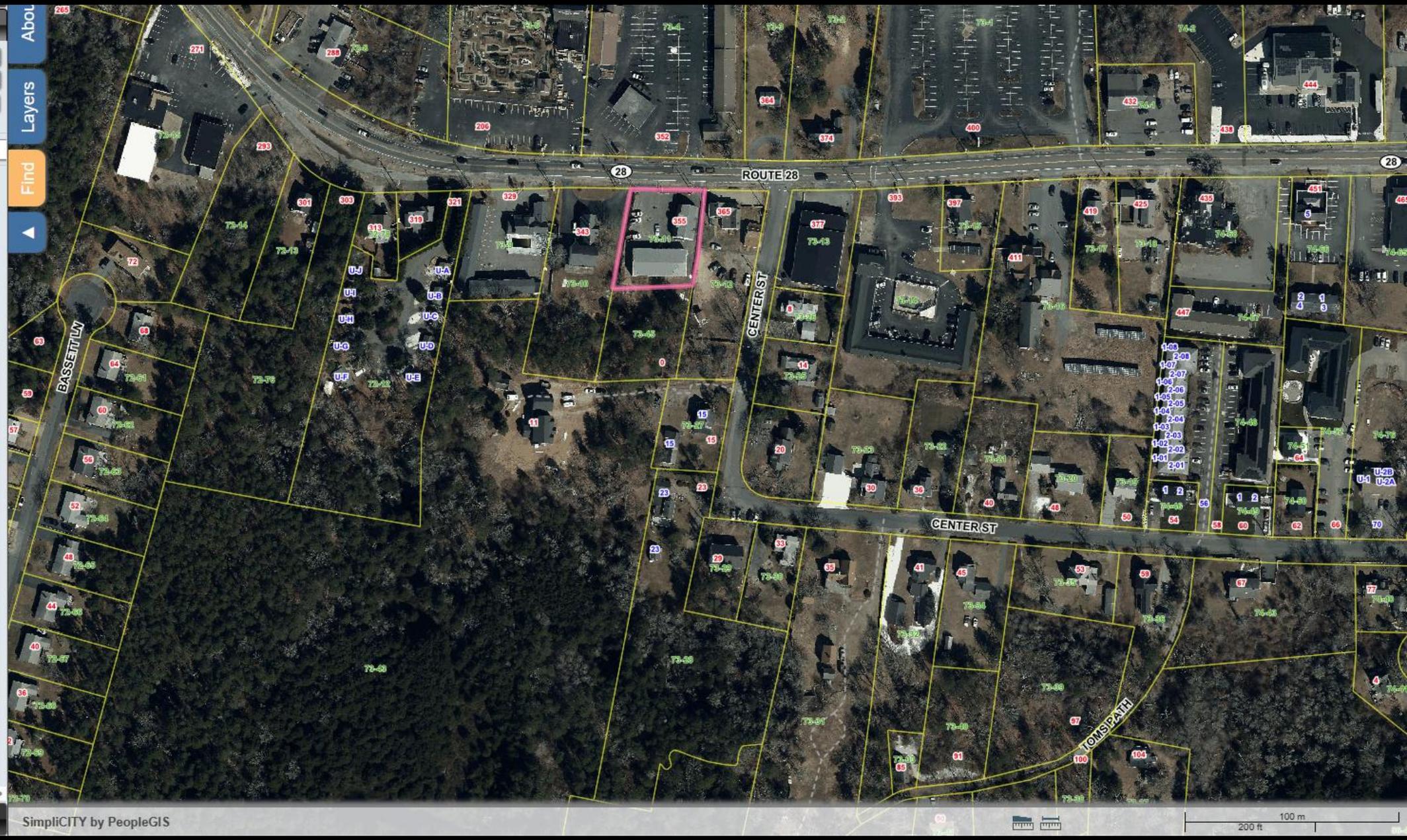
Parcels

Parcel ID	Address	Village	Owner
73-11-0	355 MAIN STR	DP	VB355 RE LLC

Detail Information [Zoom To](#)

Key	5818
Fiscal Year	2026
Extension	0
Address	355 MAIN STREET
Village	DP
Property Type	R
Owner	VB355 RE LLC
Co-Owner	
Owner Address	43 WINSOME ROAD
Owner City	SOUTH YARMOUTH
Owner State	MA
Owner Zip	02664
Owner Country	
State Class #	0310
State Class Desc	MIXED USE/COMM
Deed Date	08/13/21 00:00:00
Book	34382
Page	317
Certificate	
Last Sale Price	735000.0000
Total Value	\$722,500.00
Land Value	\$340,600.00
Building Value	\$375,300.00
Detached Building Value	\$6,600.00
Acres	0.51
Prev Year Total Value	\$695,800.00
Property Card	<a href="#">PK Field Card</a>

Find Abutters



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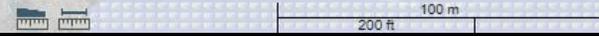
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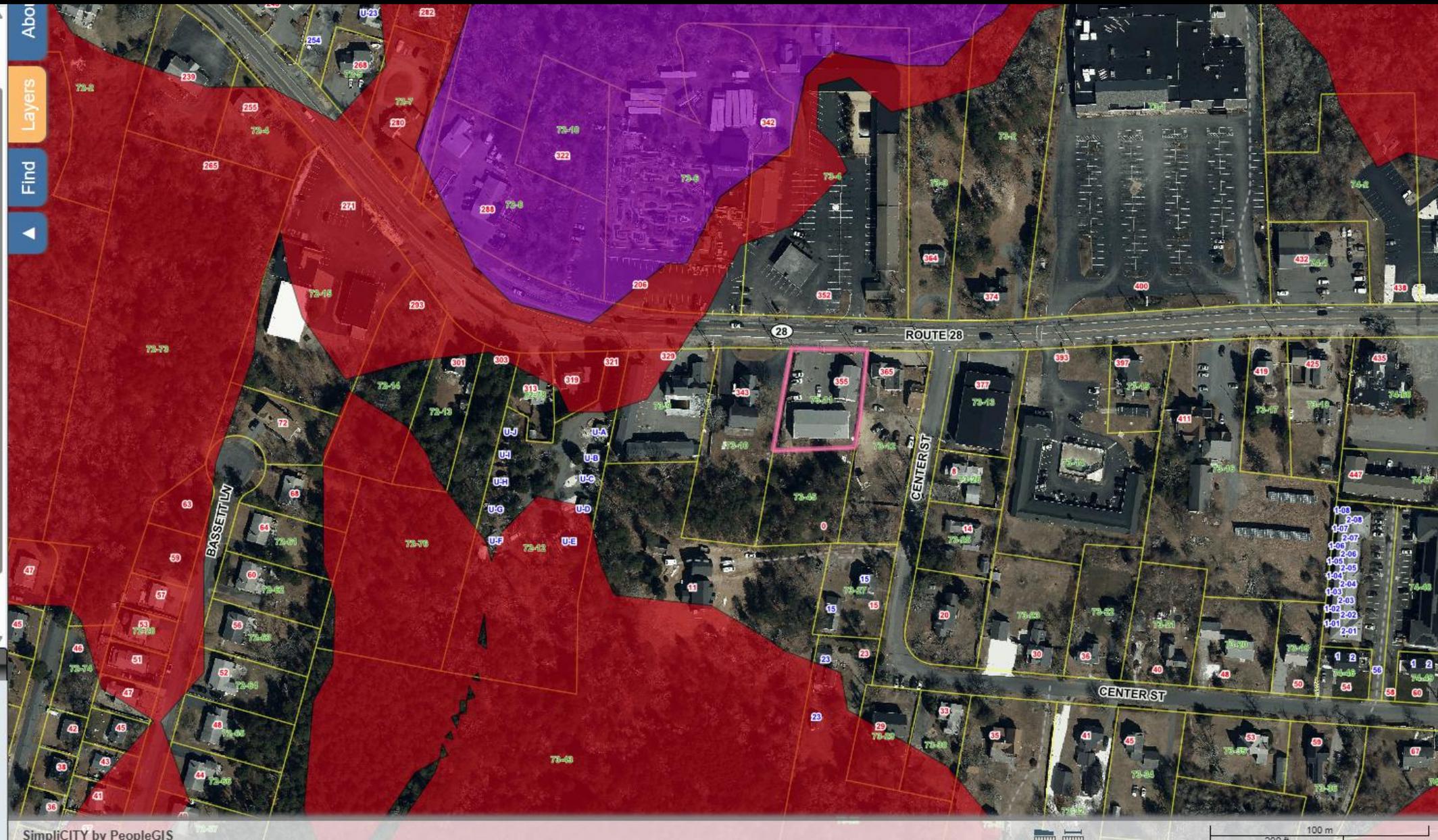
- Voting Precincts
- Elevation
- MassDEP Regulated Areas
  - Activity and Use Limitations Sites (i)
  - Tier Classified Oil and/or Hazardous (i)
  - Material - 21E Sites
  - DWD Zone II - Sept. 29 2005 - June 10 20
  - DEP Zone II - June 10 2022
    - Zone II Area - Old
    - Zone II Area (New)
  - MA DEP Wetlands
    - Marsh/Bog
    - Wooded Swamp
    - Salt Marsh
- MA NHESP Certified Vernal Pools \*
- MA NHESP Potential Vernal Pools ○
- NHESP 8-1-2021 Estimated Habitat Rare Species Dennis
- NHESP 8-1-2021 Priority Habitat Rare Spec Dennis
- Land Use (Last Update 2013)
- Private Access Ways
- Parcels
- Parcels w/Aerials
- Basemap - CCC 2020 Aerial Imagery
- ▼ Base Maps
  - Google Hybrid Map
  - Google Street Map
  - 2023 MassGIS Orthos
  - CCC 2020 Aerial Imagery
  - MassGIS 2014 Orthos
  - MassGIS 2005 Orthos
  - MassGIS 1994 Orthos
  - Town Base Map



SimpliCITY by PeopleGIS



- Village Boundaries (updated 2025)
- Hiking/Walking Trailways
- Environmental Justice 2020 (updated 2021)
- Zoning
- Historic Districts
- Condo and Cottage Colonies
- Infrastructure Points
- 2020 Aerial Planimetrics
- Hurricane SLOSH
  - Category 1
  - Category 2
  - Category 3
- FEMA Flood Zones
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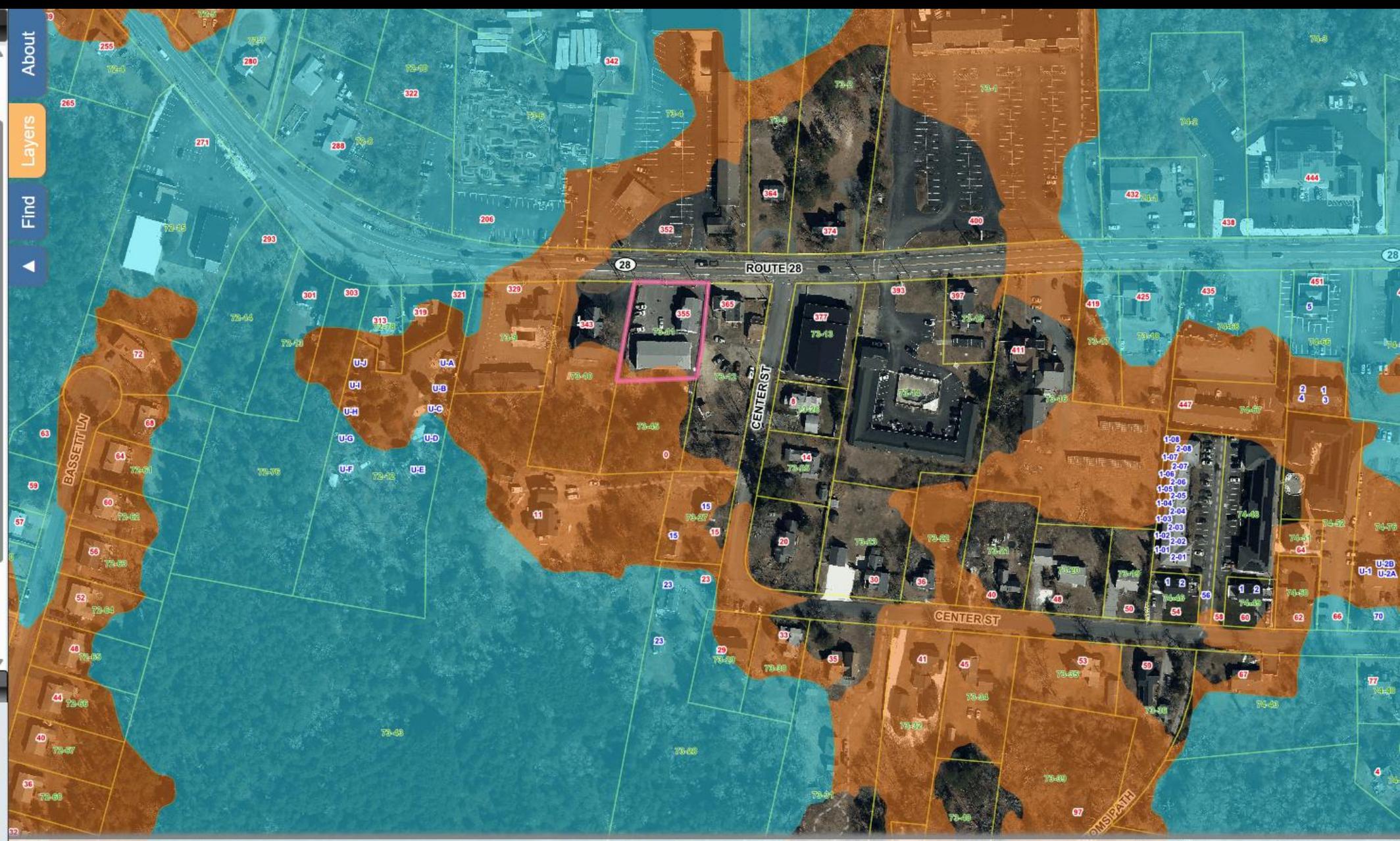
Layers

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- Hurricane SLOSH
- FEMA Flood Zones
  - FEMA Flood Zone 2014 - 0.2%
    - 0.2% Chance
  - FEMA Flood Zone 2014 - AE
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- About
- Layers
- Find

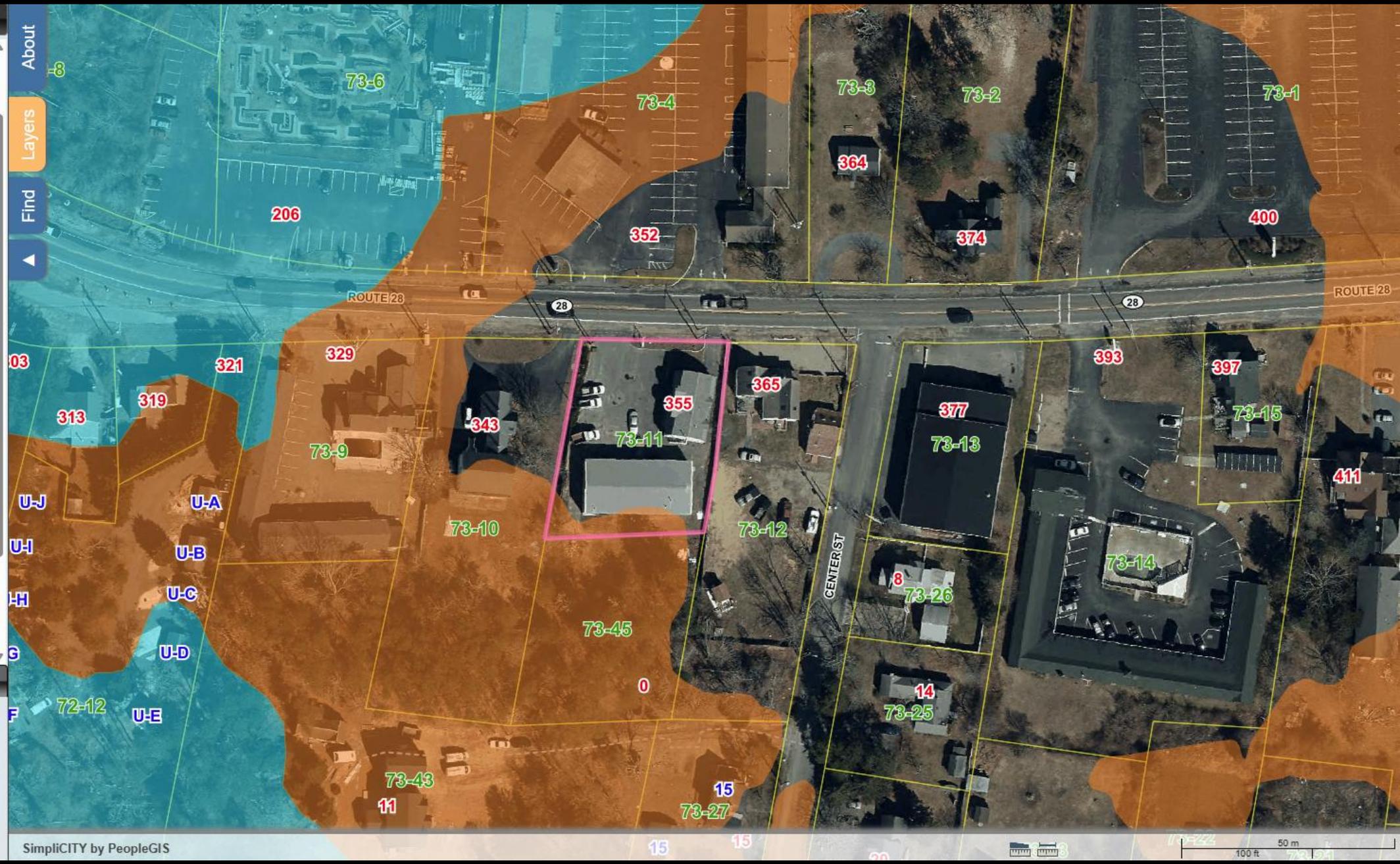


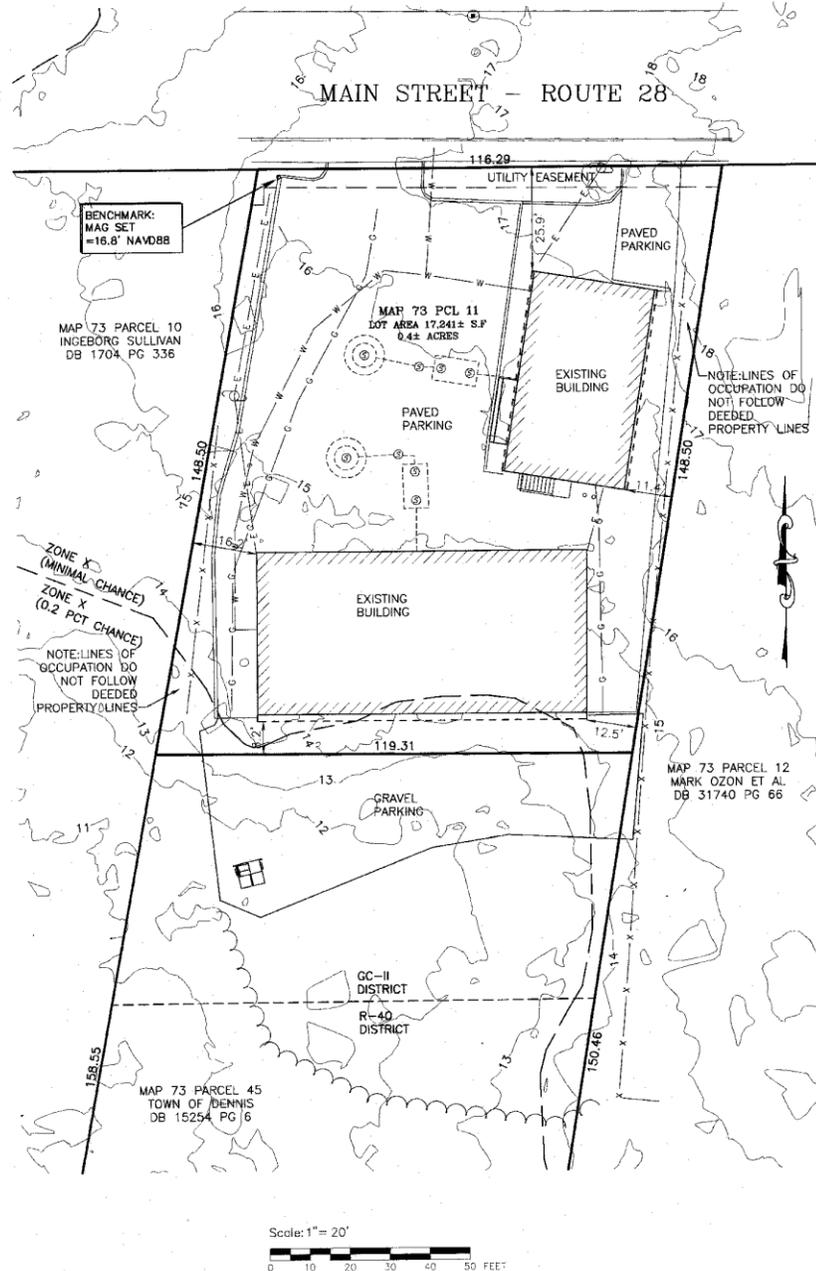
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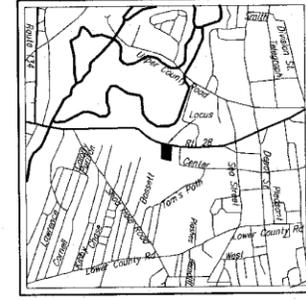
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**LOCUS MAP**

SCALE 1"=2000'±

ASSESSORS MAP 73 PARCEL 11

LOCUS IS WITHIN FEMA FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) & ZONE X (0.2 PCT ANNUAL FLOOD HAZARD) AS SHOWN ON COMMUNITY PANEL #25001C0592J DATED 7/16/2014

**ZONING SUMMARY**

ZONING DISTRICT: GC-2 GENERAL COMMERCIAL DISTRICT

MIN. LOT SIZE	40,000 S.F.
MIN. LOT FRONTAGE	150'
MIN. LOT WIDTH	150'
MIN. FRONT SETBACK	50'
MIN. SIDE SETBACK	25'
MIN. REAR SETBACK	25'
MAX. BUILDING COVERAGE	70%
MAX BUILDING HEIGHT	2 STORIES (EXCLUSIVE OF ROOF)

**REFERENCES**

- DEED BOOK 14375 PAGE 255
- DEED BOOK 125 PAGE 150
- PLAN BOOK 335 PAGE 63
- PLAN BOOK 189 PAGE 151

**EXISTING CONDITIONS  
SITE PLAN  
OF  
#355 MAIN ST. (ROUTE 28)  
DENNISPORT, MA**

PREPARED FOR  
**DIEGO BAVELONI**

DATE: APRIL 22, 2022

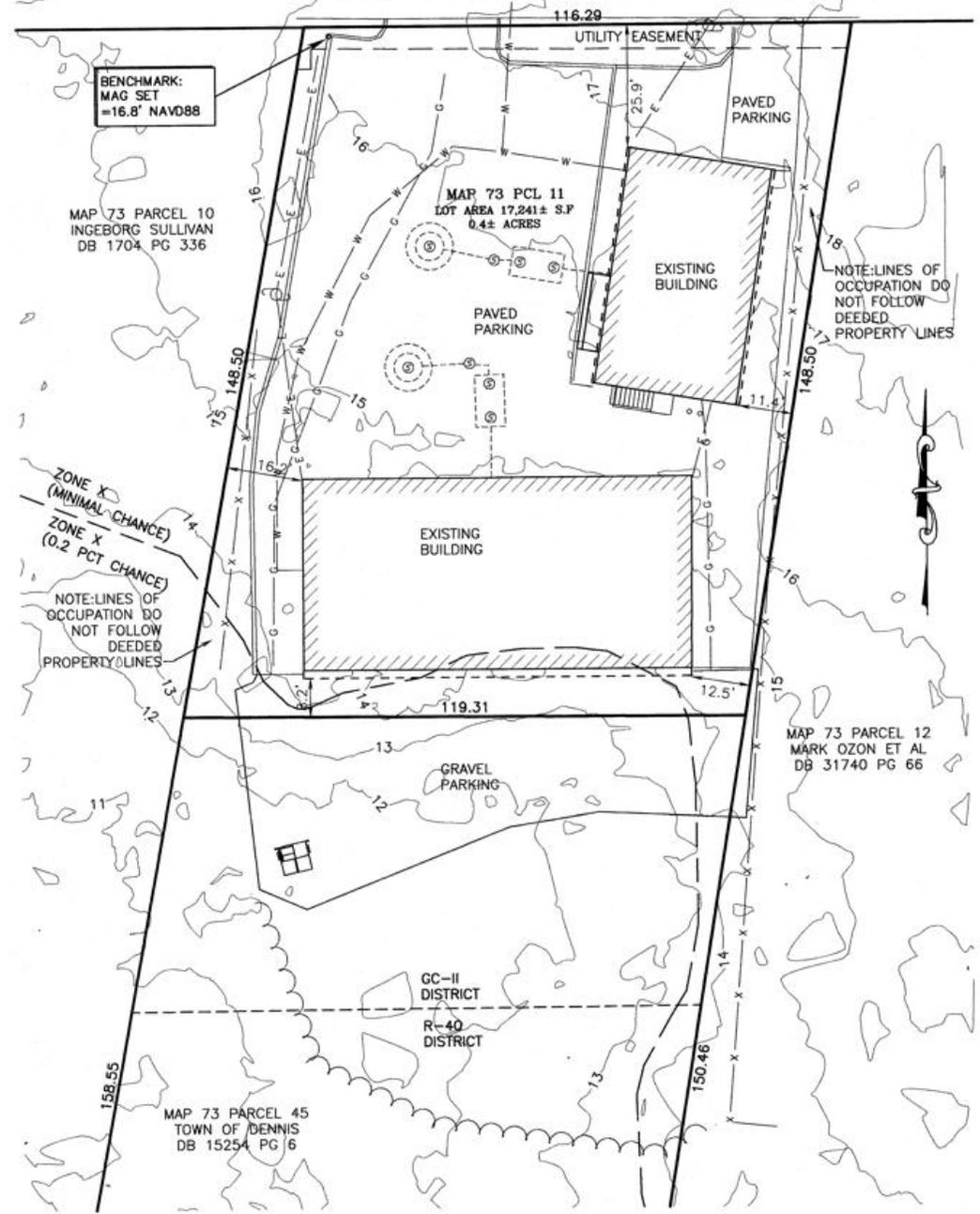


D. Quila 4-22-22

off 508-362-4541  
fax 508-362-9880  
downcape.com

**down cape engineering, inc.**  
civil engineers  
land surveyors

939 Main Street (Rte 6A)  
YARMOUTHPORT MA 02675  
21-465 BAVELONI.DWG



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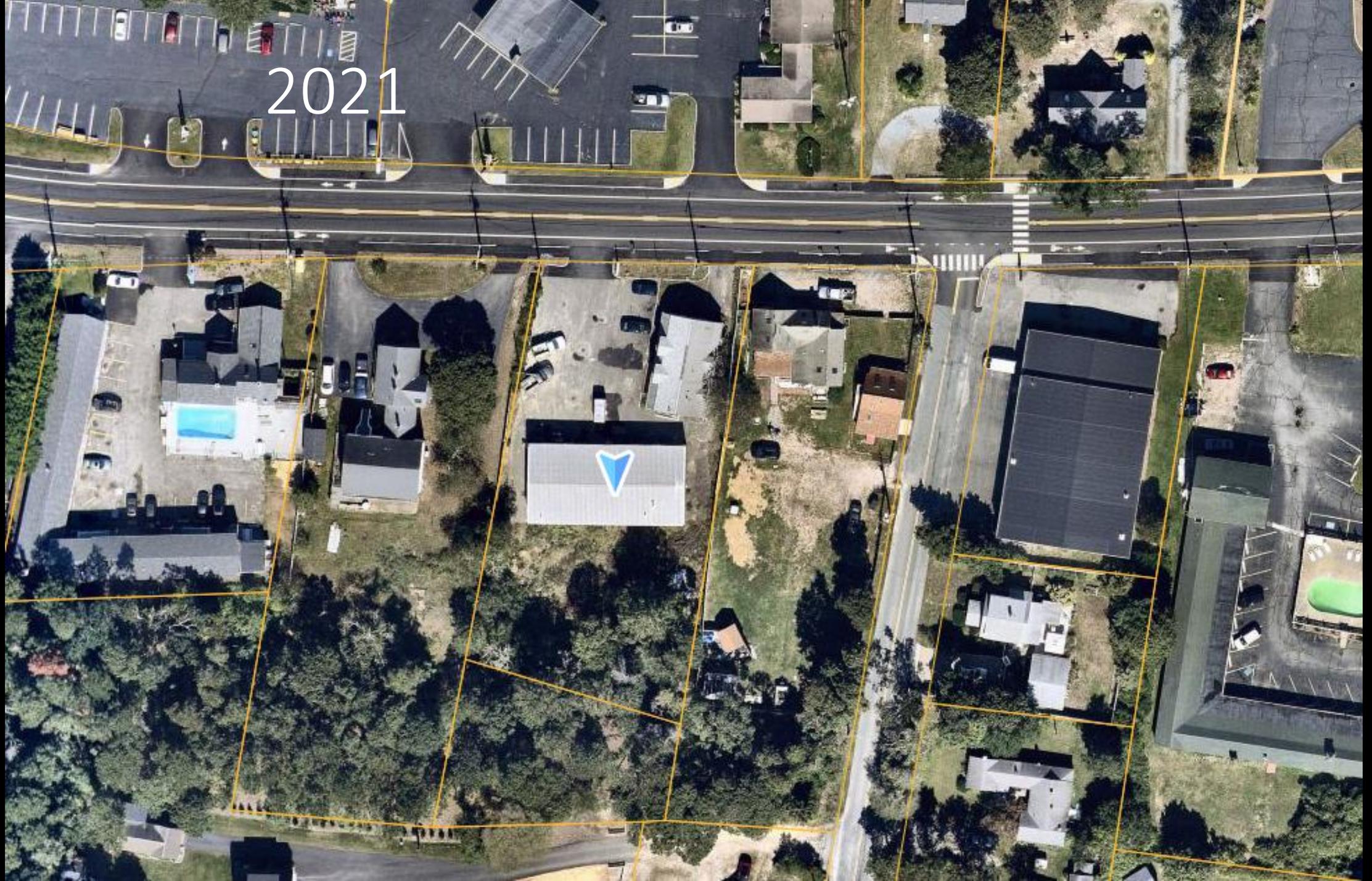




355



2021



2025





Key: 5818

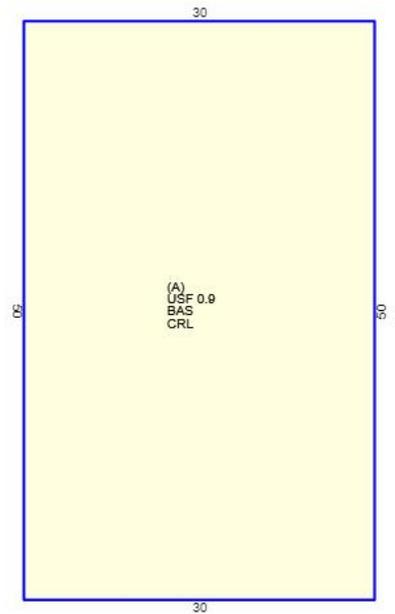
Town of DENNIS - Fiscal Year 2025

11/12/2024

5:56:51PM

SEQ #: 6,115

Assessed Owner Of Record		Parcel ID		Location		Class	Mix%	Description		BLD #	Bldg ID	Card										
VB355 RE LLC		73-11-0		355 MAIN STREET DP		0310	50	MIXED USE/COMM		1		1 of 2										
CURRENT OWNER		TRANSFER HISTORY		DOS	T	SALE PRICE	BK-PG (Cert)	PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st	%						
VB355 RE LLC 43 WINSOME ROAD SOUTH YARMOUTH, MA 02664		VB355 RE LLC TIMPERLEY CORAM ET AL TIMPERLEY CORAM		08/13/2021 10/29/2001 05/30/1997	QS A S	735,000 14375-255 70,000	34382-317 10776-195	2017-1452 2017-1452	07/08/2021 06/03/2019 09/26/2017 09/26/2017 06/08/2017	25 25 3 3 25	RENTAL PERMI RENTAL PERMI ALTERATIONS ALTERATIONS RENTAL PERMI	9,000 9,000	07/08/2021 06/03/2019 10/25/2018 09/26/2017 06/08/2017	CDM	100 100 100 100 0	0 0 0 0 0						
CD	T	ACRES/SF	Nbhd	FEMA	Int1	ADJ BASE	SAF	Int2	Lpi	Chgt	CREDIT AMT	ADJ VALUE										
103	A	0.510	30	1.00	C	1.00	1	1.00	445,320	1.50	1	1.00	30B	1.20			340,580					
TOTAL		22,216 SF				Photo Date		11/26/2018		BLDG #		1										
Nbhd		RT 28 & SOUTH				Photo																
FEMA		AVERAGE				YrBlt		1960		NET AREA		2,850										
Int1						COST MODEL		CURRENT TAXABLE		PREVIOUS TAXABLE												
TY	QUAL	COND	DIM.NOTE	YB	UNITS	ADJ PRICE	RCNLD															
APV	A	1.00	A 0.75		4,000	1.30	3,900															
APV	A	1.00	A 0.75		2,500	1.30	2,400															
SW2	A	1.00	A- 0.70	3X5	15	25.60	300															
BLDG		ADJ	DESC	LAND	340,600	328,200																
STYLE		1.00	OFF BLDG [53%]	BUILD.	208,300	200,600																
QUALITY		0.85	AVE-LOW+ [100%]	DETACH	6,600	6,200																
FRAME		0.99	WOOD FRAME [100%]	OTHER	167,000	160,800																
				TOTAL	722,500	695,800																
BldgID	MODEL	YR_BLT	EFF_YR	DLCU	OVCLU	MEASURE	BY	LIST	BY	REVIEW	vwWallHt	NET AREA	SIZE ADJ	ADJ PRICE/SF	RCN	% GD	RCNLD					
5		1960	1990 / 33		1.054	1,000	10/25/2018	CDM	8.0	1.00		2,850	1.000	\$109.10	310,936	67	208,300					
CAPACITY		UNITS	ADJ	ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	310,936					
STORIES		1	1.00	FOUNDATION	3	CONTIN WALL	1.00	A	CRL	N	CRAWL	1,500		12.40	18,600	CONDITION ELEM	CD					
% HEATED		100	1.00	EXTERIOR WALL	19	PRE-FAB METAL	1.01	A	BAS	L	BASE AREA	1,500	1960	102.57	153,861	EXTERIOR	G					
% AC		100	1.03	ROOF STRUCTURE	3	GAMBRELL	1.01	A	USF	L	UP-STRY FIN	1,350	1960	102.57	138,475	INTERIOR	F					
% SPRINKLERS		0	1.00	ROOF COVER	1	ASPH/COMP SHIN	1.00									SERVICES	A					
RES UNIT CNT		0	1.00	FLOORING	3	MW/ CARPET	1.00									FNCTNL USE	F					
				INT FINISH	2	DRYWALL	1.02															
				H.V.A.C.	9	MW/CL AIR PKGE	1.00															
				FUEL SOURCE	2	GAS	1.00															
				PRIVATE ROAD	1	NO	1.00															
				HISTORIC DST	1	NO	1.00															
				GENERATOR	1	NO	1.00															
EFF_YR/AGE		1990 / 33																				
COND		44 44 %																				
FUNC		0																				
ECON		0																				
DEPR		33		% GD		67																
RCNLD		\$208,300																				





Commonwealth of Massachusetts



**TOWN OF DENNIS  
BUILDING DEPARTMENT  
ZONING REFERRAL LETTER**  
685 Route 134, South Dennis, MA 02660  
(508) 760-6157

**PERMIT NUMBER:**  
ZDET-25-23

**DATE OF REFERRAL:**  
April 30, 2025

**FEES PAID:**  
\$50.00

**OWNERS NAME:** VB355 RE LLC

**PROPERTY ADDRESS OF WORK:** 355 MAIN STREET, DENNIS PORT, MA, 02639

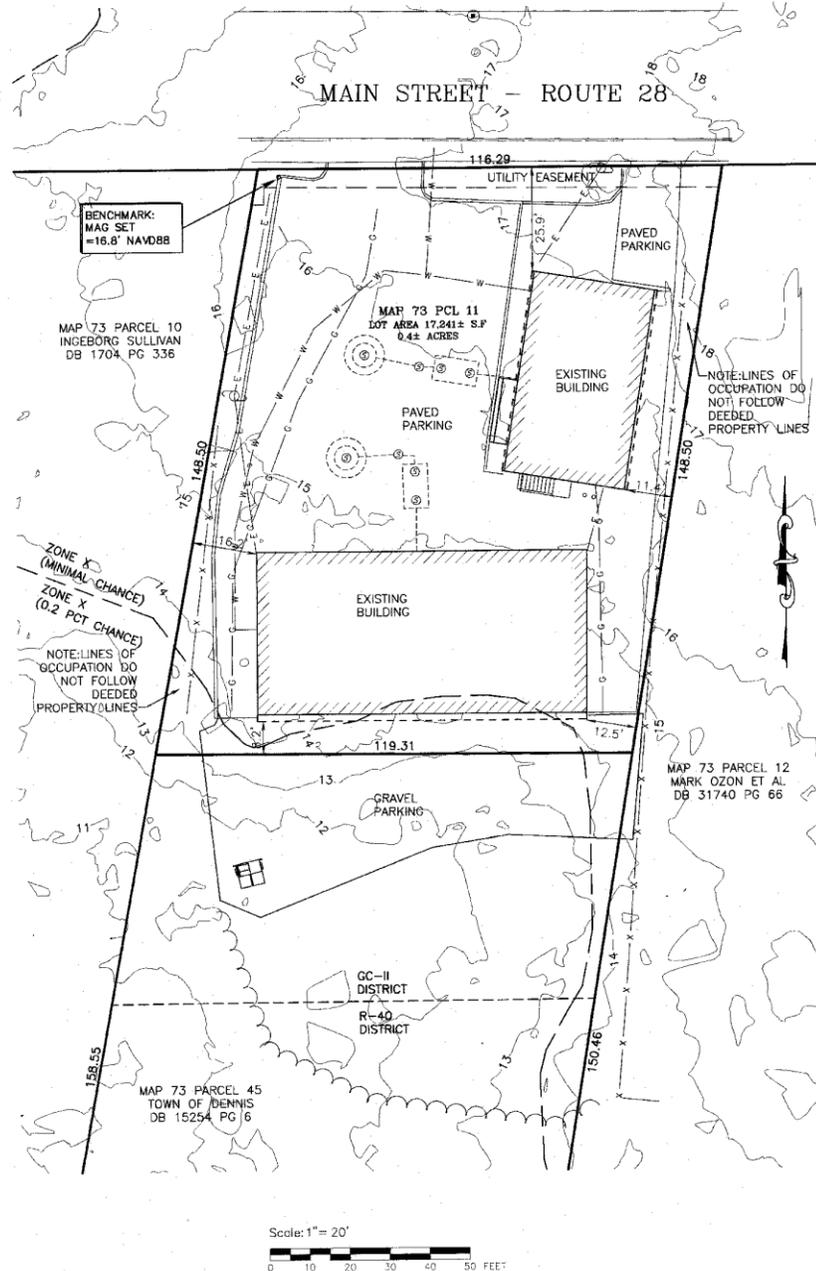
**MAP & PARCEL:** 73-11-0

**DETERMINATION OF REFERRAL:** ZBA Special permit required per 2.2.2.(7.a) Light industry

**ISSUED BY:**

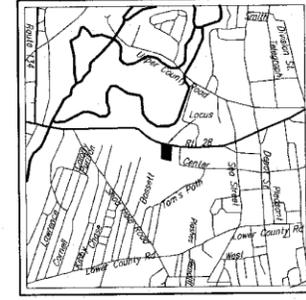
**DESCRIPTION OF WORK BY APPLICANT:**  
Change of use for property in the GC-2 Zoning District to allow for a light manufacturing cabinet workshop in the rear building

A handwritten signature in black ink, appearing to read "Paul [unclear]", is written over the "ISSUED BY:" label.



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