



A Renovation/Addition for:
MONA MILLER & BRIAN ROEMER
1850 ROUTE 6A
DENNIS MA 02660

DRAWING INDEX:

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EX-1 EXTG PLANS & ELEVATIONS

AREA CALCULATIONS:

EXTG CONDITIONED SPACE:

1ST FLR:	1480 SQFT
2ND FLR:	1144 SQFT
TOTAL:	2624 SQFT

EXTG UNCONDITIONED SPACE:

STORAGE SHED:	160 SQFT
FRONT PORCH:	225 SQFT
SIDE PORCH:	30 SQFT
SIDE DECK:	32 SQFT
PATIO:	287 SQFT

PROPOSED CONDITIONED SPACE:

1ST FLR:	1480 SQFT*
+STORAGE SHED:	160 SQFT*
+KITCHEN ADDITION:	60 SQFT*
+HALF BATH ADDITION:	21 SQFT*
2ND FLR:	1144 SQFT
TOTAL:	2865 SQFT

PROPOSED UNCONDITIONED SPACE:

FRONT PORCH:	225 SQFT*
NEW COVERED SIDE PORCH:	36 SQFT*
SIDE DECK:	32 SQFT*
BACK DECK:	296 SQFT

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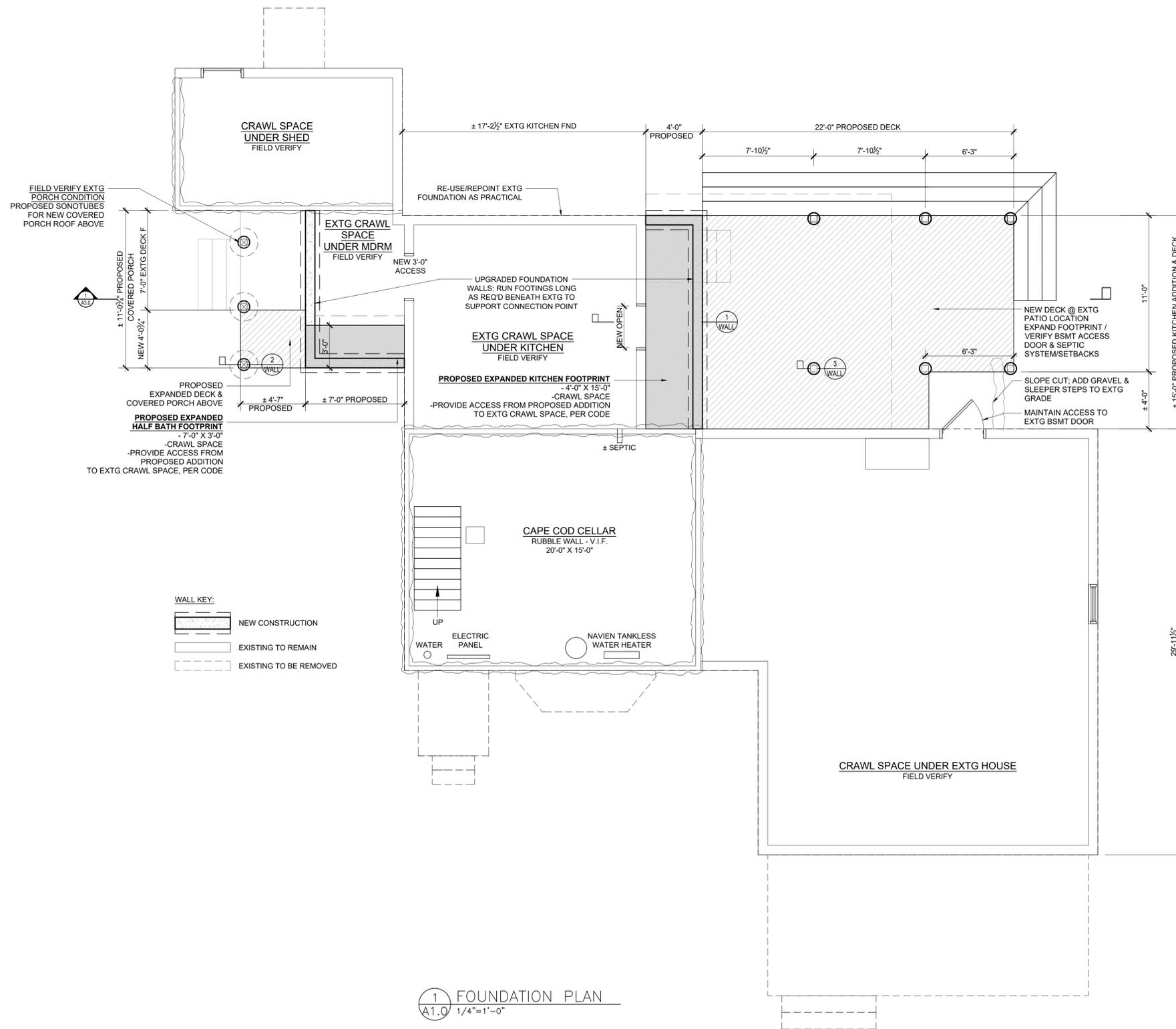
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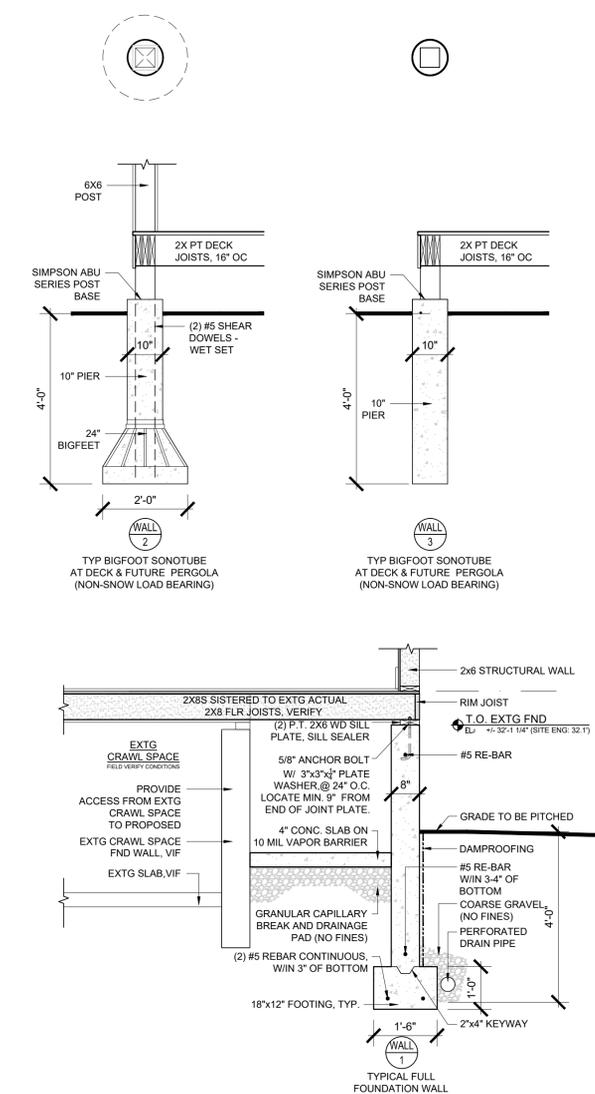
CIVIL ENGINEER
JM O'REILLY & ASSOCIATES, INC.
 1573 Main St,
 Brewster, MA 02631
 (508) 896-6601

GENERAL NOTES:

1. CONSTRUCTION START: SEPT 2025
2. HERS NOTES:
 1. WINDOWS TO HAVE U-VALUE OF 0.24 OR BETTER AND SHGC OF 0.30s OR BETTER
 2. ARCHITECT TO REVIEW MECHANICAL QUOTE PRIOR TO INSTALL, INSTALLER TO SUBMIT MANUAL J CALCULATIONS, REFER TO HERS RATER AND HERS RATING CERTIFICATE FOR INSULATION VALUES
 4. HEAT PUMP MANUFACTURERS' CONDENSER AND INTERIOR HEADS MUST MATCH
 5. HEAT PUMP EQUIPMENT TO HAVE HSPF RATING OF 10.5 OR HIGHER



1 FOUNDATION PLAN
A1.0 1/4"=1'-0"



2 FOUNDATION DETAILS
A1.0 1/2"=1'-0"

- NOTES
1. DIMENSIONS ARE TO CENTERLINE OF INTERIOR WALLS AND OUTSIDE FACE OF STUD OF EXTERIOR WALLS, UNLESS OTHERWISE NOTED.
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PLANS

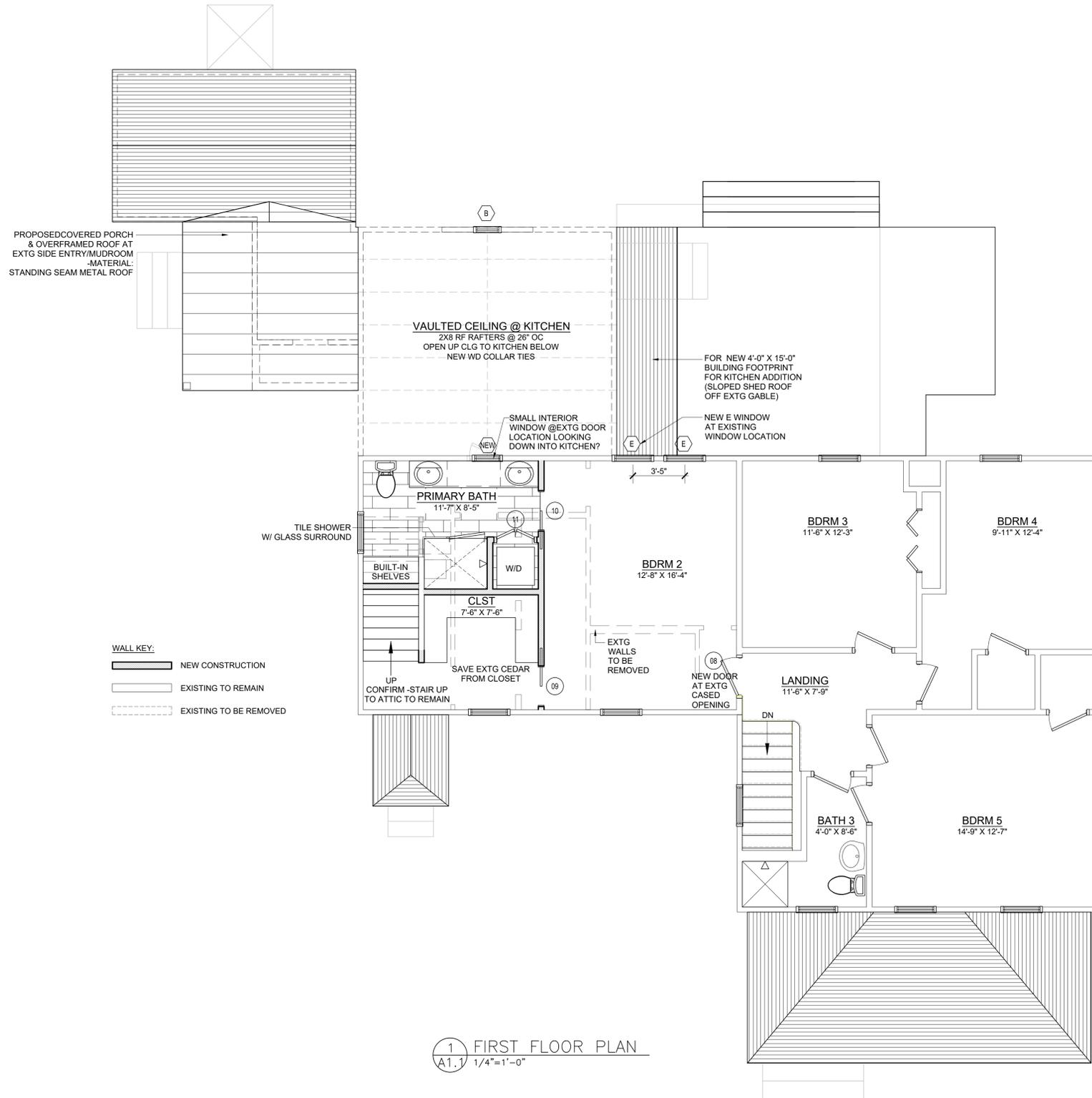
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A1.0



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A1.2

NEW COVERED SIDE ENTRY
 -OVERFRAMED ROOF
 -ROOF PITCH 1:12
 -STANDING SEAM METAL ROOF: CHARCOAL

OUTLINE OF EXTG ROOF LINE

NEW BUILDING FOOTPRINT
 -3'-0" X 7'-0"
 -PROPOSED ADDITION
 -NEW PTD. WHITE CEDAR

4'-7" NEW COVERED PORCH
 ± 7'-0" EXPANDED FOOTPRINT

EXTG HOUSE

1 SOUTH ELEVATION - ROUTE 6A
 A2.0 1/4"=1'-0"

NEW WINDOW IN KITCHEN
 CONFIRM WIN HD HGHT
 TYP. WIN HD HGHT: ± 7'-7 3/4"
 KITCHEN WIN HD HGHT: 8'-0"

NEW COVERED SIDE ENTRY
 -OVERFRAMED ROOF
 -ROOF PITCH 1:12
 -STANDING SEAM METAL ROOF: CHARCOAL
 -COMPOSITE DECKING
 -COMPOSITE PTD RAILING & POST
 -PTD VERTICAL BOARDS AT UNDERSIDE OF DECK

OUTLINE OF EXTG ROOF LINE

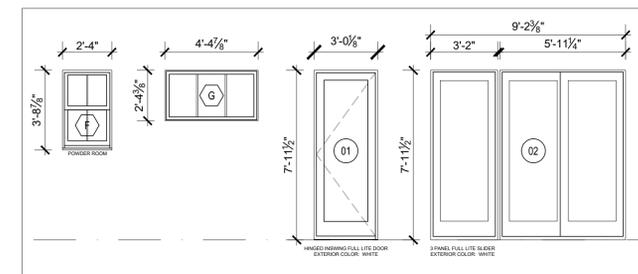
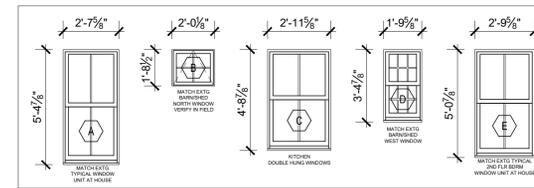
10'-0" EXTG BARN

7'-0" EXTG DECK
 ± 11'-0" LARGER SIDE DECK
 ± 1'-0" NEW FOOTPRINT
 3'-0"

NEW BUILDING FOOTPRINT
 -3'-0" X 7'-0" PROPOSED ADDITION
 -NEW PTD. WHITE CEDAR SHINGLES

EXTG PORCH

2 WEST ELEVATION (LEFT SIDE)
 A2.0 1/4"=1'-0"



3 WINDOW/DOOR MATRIX
 A2.0 1/4"=1'-0"

A RENOVATION/ADDITION FOR:

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TITLE:

ELEVATIONS

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A2.0



1 NORTH ELEVATION (BACK)
 A2.1 1/4"=1'-0"



2 EAST ELEVATION (RIGHT SIDE)
 A2.1 1/4"=1'-0"

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TITLE:
 ELEVATIONS

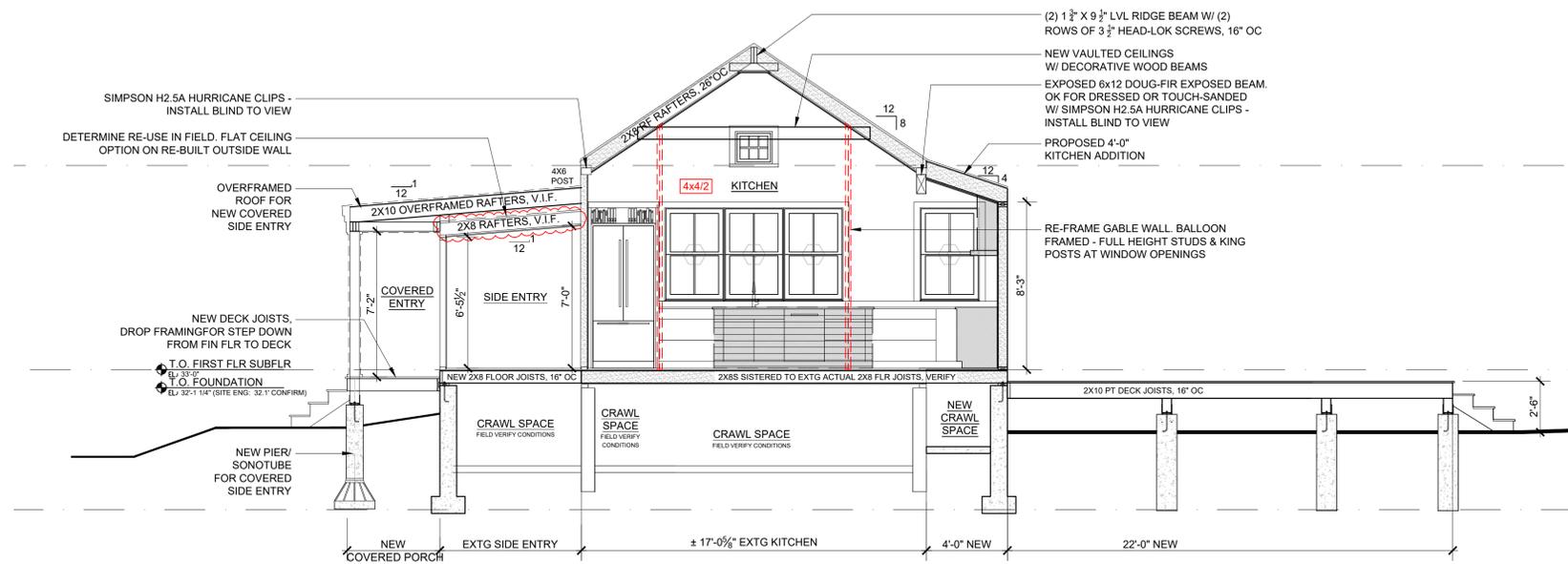
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A2.1



1 SECTION
 A3.0 1/4"=1'-0"

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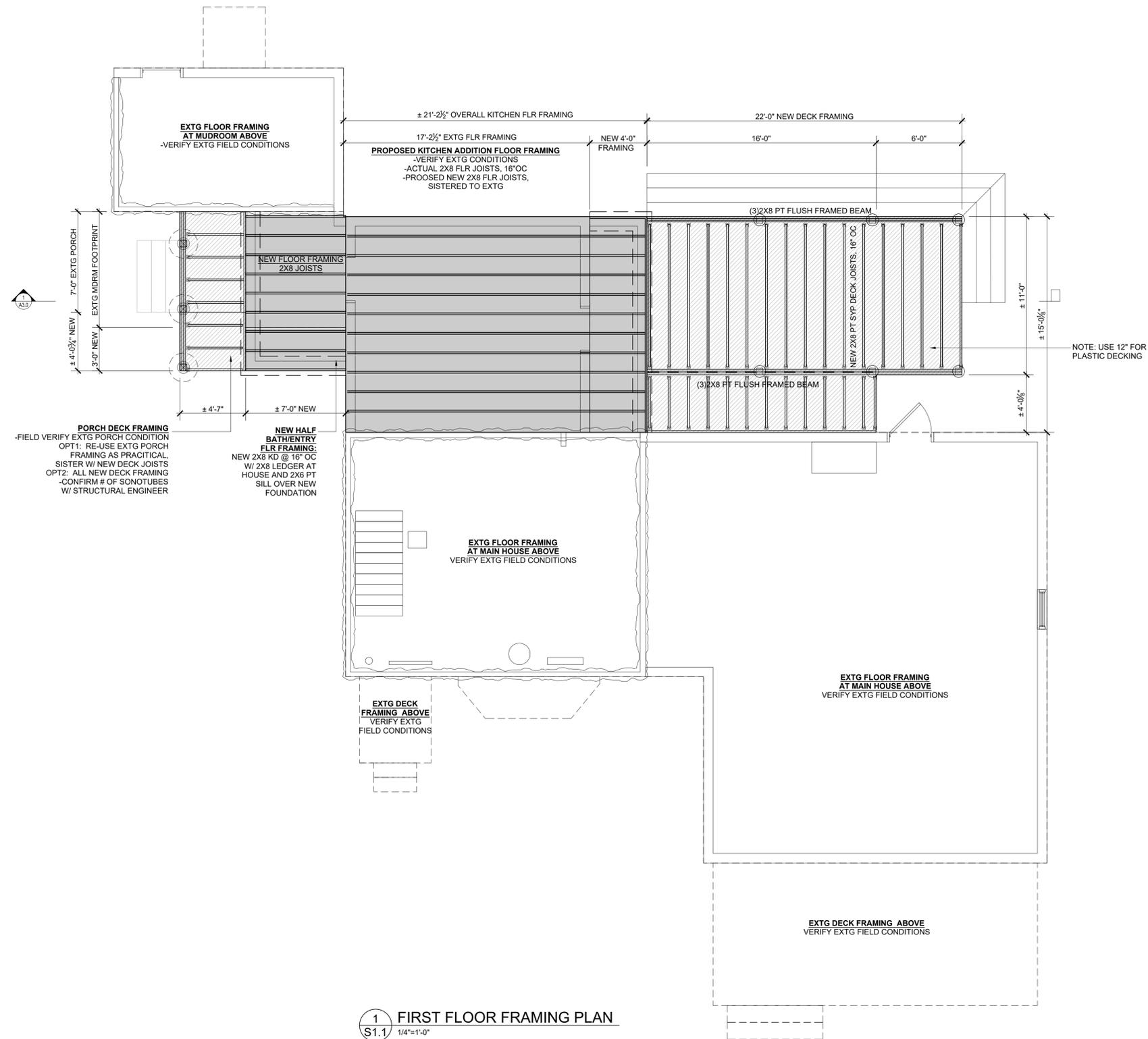
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A3.0



NOTE: USE 12" FOR PLASTIC DECKING

1 FIRST FLOOR FRAMING PLAN
S1.1 1/4"=1'-0"

- NOTES
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 2. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES IN THE DRAWINGS.
 3. ALL NAILING AND CONNECTIONS SHALL BE IN ACCORDANCE WITH WFCM GUIDE TO WOOD FRAME CONSTRUCTION IN 110 MPH ZONE. SEE STRUCTURAL GENERAL NOTES.
 4. ALL HEADERS TO BE: FIRST FLOOR: (3) 2X8s; SECOND FLOOR: (3) 2X6s, UNLESS NOTED OTHERWISE
 5. XK, XJ = # OF KING AND JACK STUDS @ OPENING. USE 2K, 1J UNLESS NOTED OTHERWISE.

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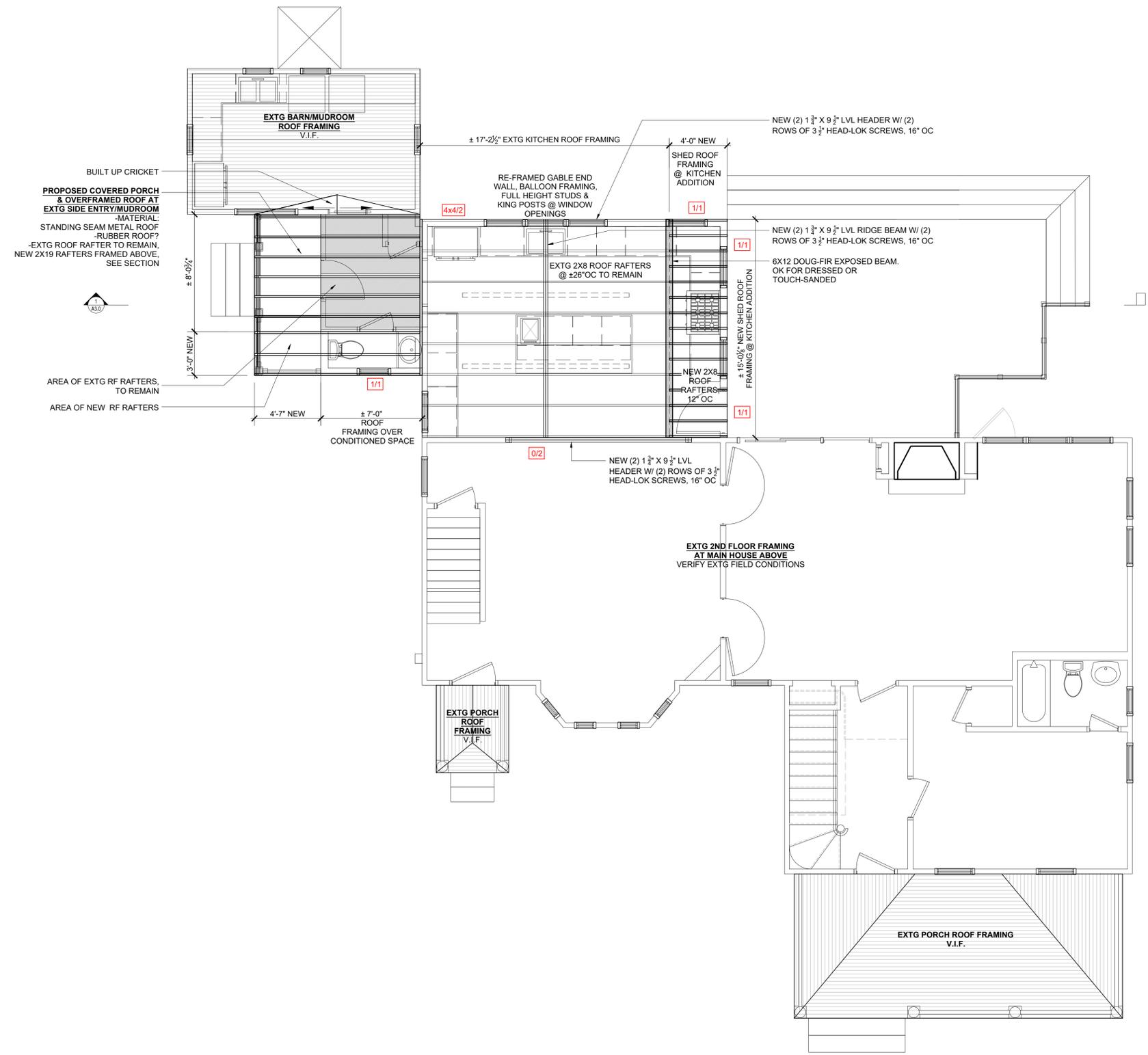
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S1.1



1 SECOND FLOOR FRAMING PLAN
S1.2 1/4"=1'-0"

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S1.2

LIGHTING SCHEDULE

RECESSED CANS

*VERIFY RECESSED CAN SIZE WITH CLIENT: 3-4" TBD

- R1 TYPICAL xx" RECESSED CAN
- R2 xx" WET LISTED RECESSED CAN
- R3 TYP. xx" RECESSED CAN ON SLOPED CLG

EXTERIOR LIGHTS

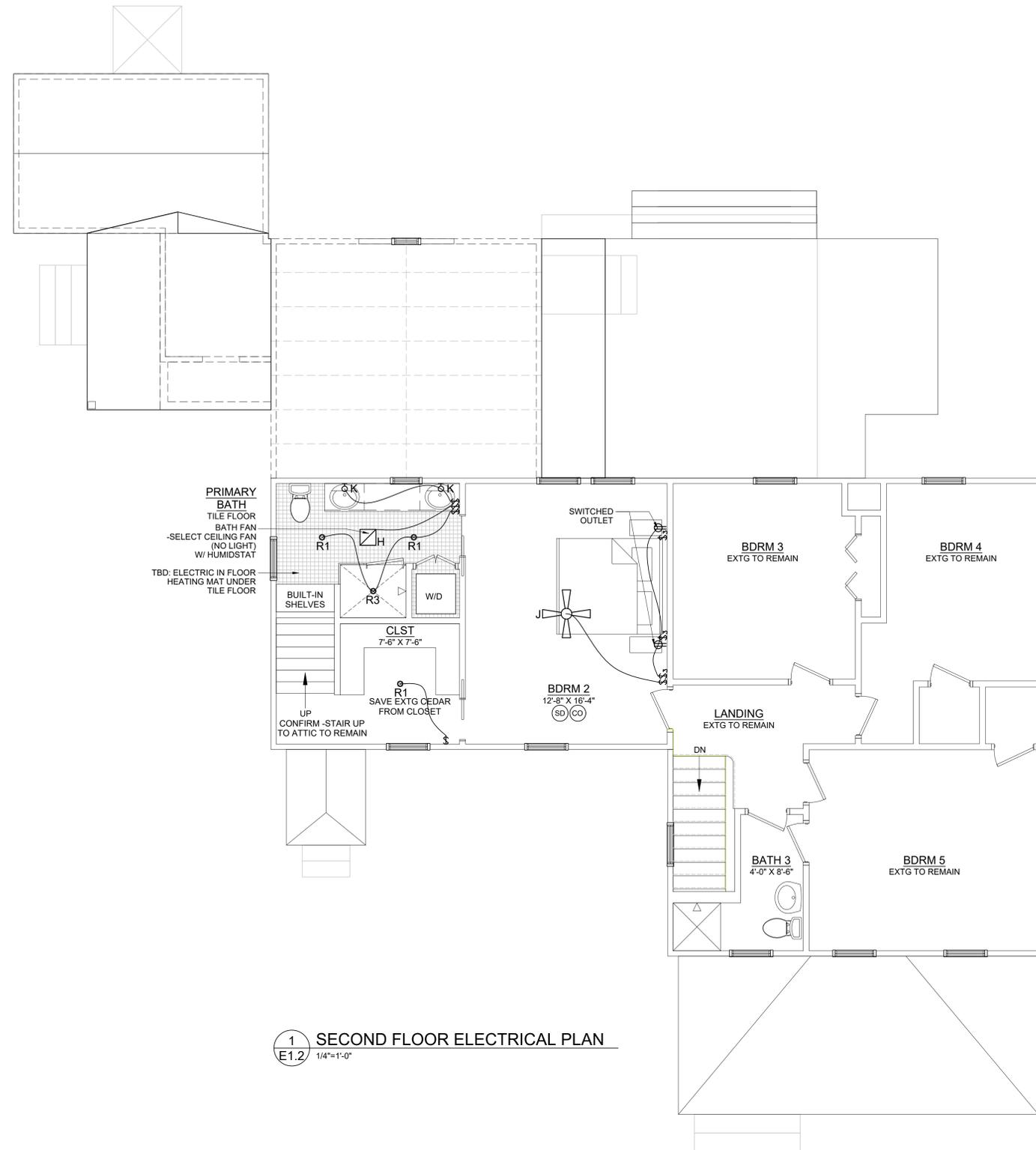
- EX1 EXTERIOR WALL SCNCE

INTERIOR LIGHTS

- A LAUNDRY ROOM WALL SCNCE
- B PENDANT @ LAUNDRY ROOM
- C HALF BATH WALL SCNCE
- D KITCHEN WALL SCNCE
- E PENDANT @ KITCHEN ISLAND
- F LED TAPE LIGHT AT TOP OF BEAMS
- G PENDANT AT DINING ROOM
- H BATH FAN
- I NOT USED
- J CEILING FAN
- K PRIMARY BATH 1 WALL SCNCE

SWITCH & OUTLET KEY

- ⊕ EXTERIOR WATERPROOF OUTLETS
- \$ TYPICAL SWITCH
- \$₃ MULTIWAY SWITCH
- \$DIM DIMMER SWITCH



1 SECOND FLOOR ELECTRICAL PLAN
1/4"=1'-0"

ELECTRICAL NOTES:

1. DIMENSIONS ARE TO CENTERLINE OF FIXTURES, UNLESS OTHERWISE NOTED.
2. HEIGHTS ARE GIVEN ABOVE FINISH FLOOR (AFF)
3. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES IN THE DRAWINGS.
4. ALL SWITCHES TO BE DIMMABLE, EXCEPT @ CLOSETS, LAUNDRY, GARAGE, AND BATHROOMS
5. PROVIDE SMOKE DETECORS AND CARBON MONOXIDE DETECTORS AS REQUIRED BY CODE
6. ELECTRICIAN TO CONFIRM ALL QUANTITIES PRIOR TO ORDERING
7. VERIFY A/V SYSTEM W/ OWNERS PRIOR TO INSTALL
8. VERIFY BATHROOM FAN/VENTING DETAILS W/ BUILDER AND ARCHITECT PRIOR TO INSTALL
9. PROVIDE ELECTRICAL OUTLETS AS REQUIRED BY CODE, UNLESS OTHERWISE NOTED
10. COORDINATE SOLAR PANEL REQUIREMENTS WITH SOLAR INSTALLER DURING ROUGH ELEC.

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ELECTRICAL PLANS

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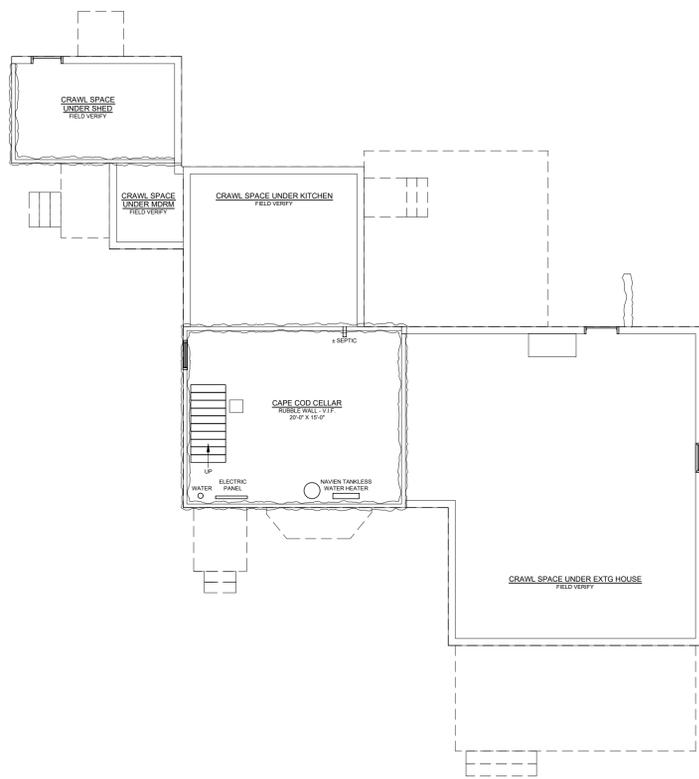
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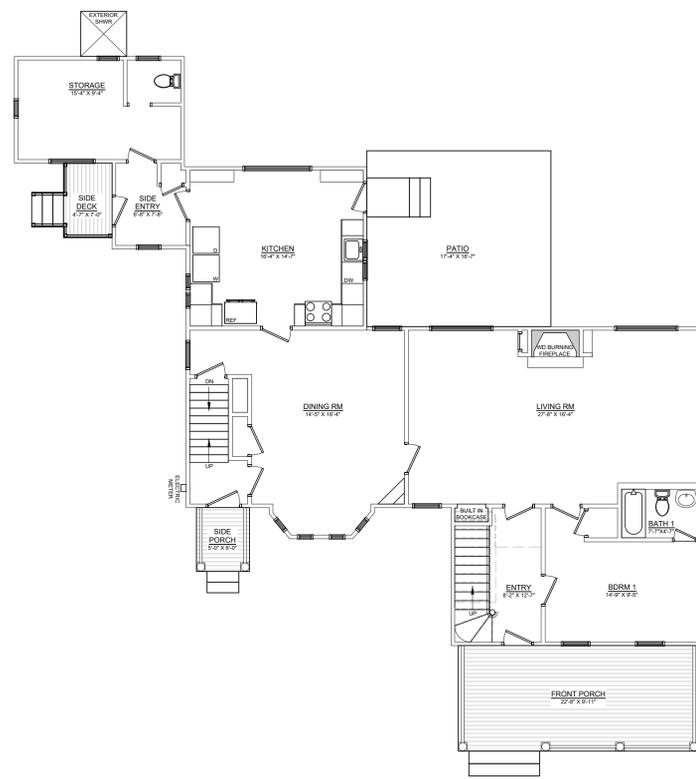
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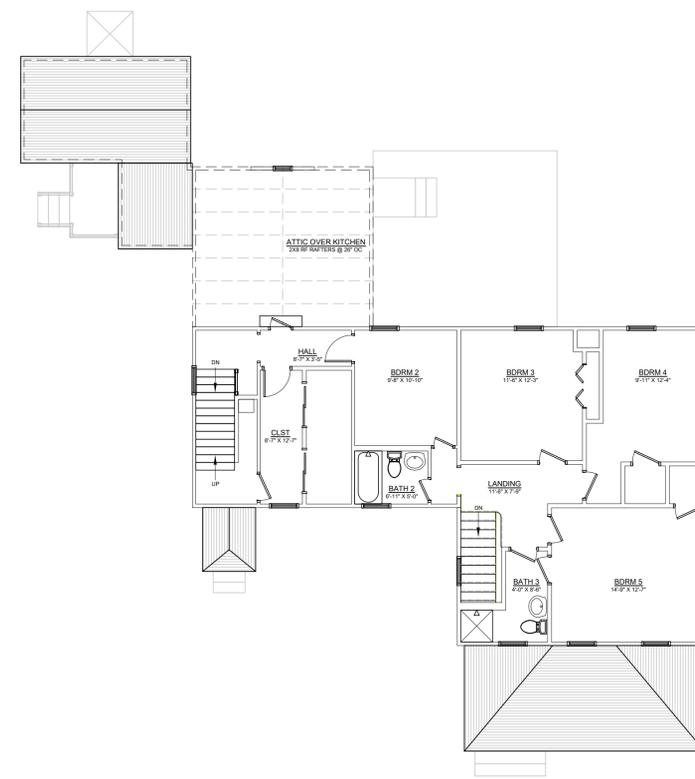
E1.2



1 FOUNDATION PLAN
EX1 1/4"=1'-0"



2 FIRST FLOOR PLAN
EX1 1/4"=1'-0"



3 SECOND FLOOR PLAN
EX1 1/4"=1'-0"



4 SOUTH ELEVATION - ROUTE 6A
EX1 1/4"=1'-0"



5 WEST ELEVATION (LEFT SIDE)
EX1 1/4"=1'-0"



6 NORTH ELEVATION (BACK)
EX1 1/4"=1'-0"



7 EAST ELEVATION (RIGHT SIDE)
EX1 1/4"=1'-0"

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TITLE:
**EXTG
PLANS &
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EX-1