

152 CORPORATION ROAD (ZBAS-25-36): David B. Aufderhaar Trustee, 264 28th Street, San Francisco, CA (94131) C/O Galen Farrar of Gaman Builders is seeking a Special Permit for the voluntary demolition and reconstruction of main structure/dwelling on a non-conforming lot. Located on a property in the R-40 Zoning District, part of Old King's Highway Historic at 152 Corporation Road, Dennis MA (Assessor's Map 386, Parcel 28).

Find Properties

Owner:

Parcel ID:

Address: [Clear](#)

Condo/Cottage Colony:

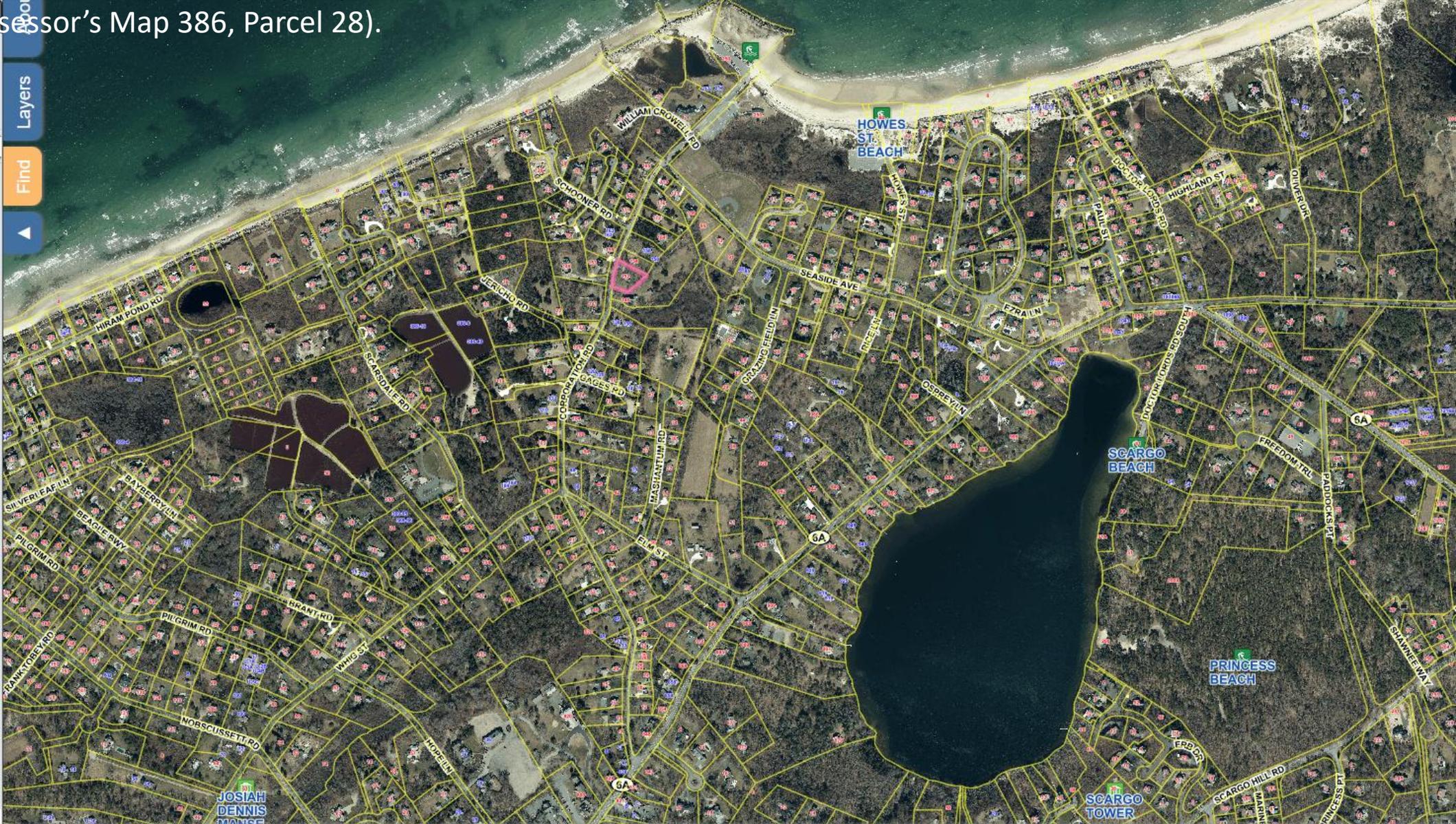
Results Summary

Parcels

| Parcel ID | Address | Village | Owner |
|-----------|-------------|---------|------------|
| 386-28-0 | 152 CORPORA | DE | AUFDERHAAR |

Detail Information [Zoom To](#)

| | |
|-------------------------|------------------------|
| CAMA ID | 386-28-0 |
| MapPar | 386-28 |
| Key | 15992 |
| Fiscal Year | 2026 |
| Extension | 0 |
| Address | 152 CORPORATION ROAD |
| Village | DE |
| Property Type | R |
| Owner | AUFDERHAAR DAVID B TRU |
| Co-Owner | AUFDERHAAR FAMILY TRUS |
| Owner Address | 264 28TH STREET |
| Owner City | SAN FRANCISCO |
| Owner State | CA |
| Owner Zip | 94131 |
| Owner Country | |
| State Class # | 1010 |
| State Class Desc | SINGLE FAMILY |
| Deed Date | 08/01/24 00:00:00 |
| Book | 36497 |
| Page | 80 |
| Certificate | |
| Last Sale Price | 1625000.0000 |
| Total Value | \$1,662,400.00 |
| Land Value | \$1,349,600.00 |
| Building Value | \$278,200.00 |
| Detached Building Value | \$34,600.00 |
| Acres | 0.56 |
| Prev Year Total Value | \$1,621,300.00 |



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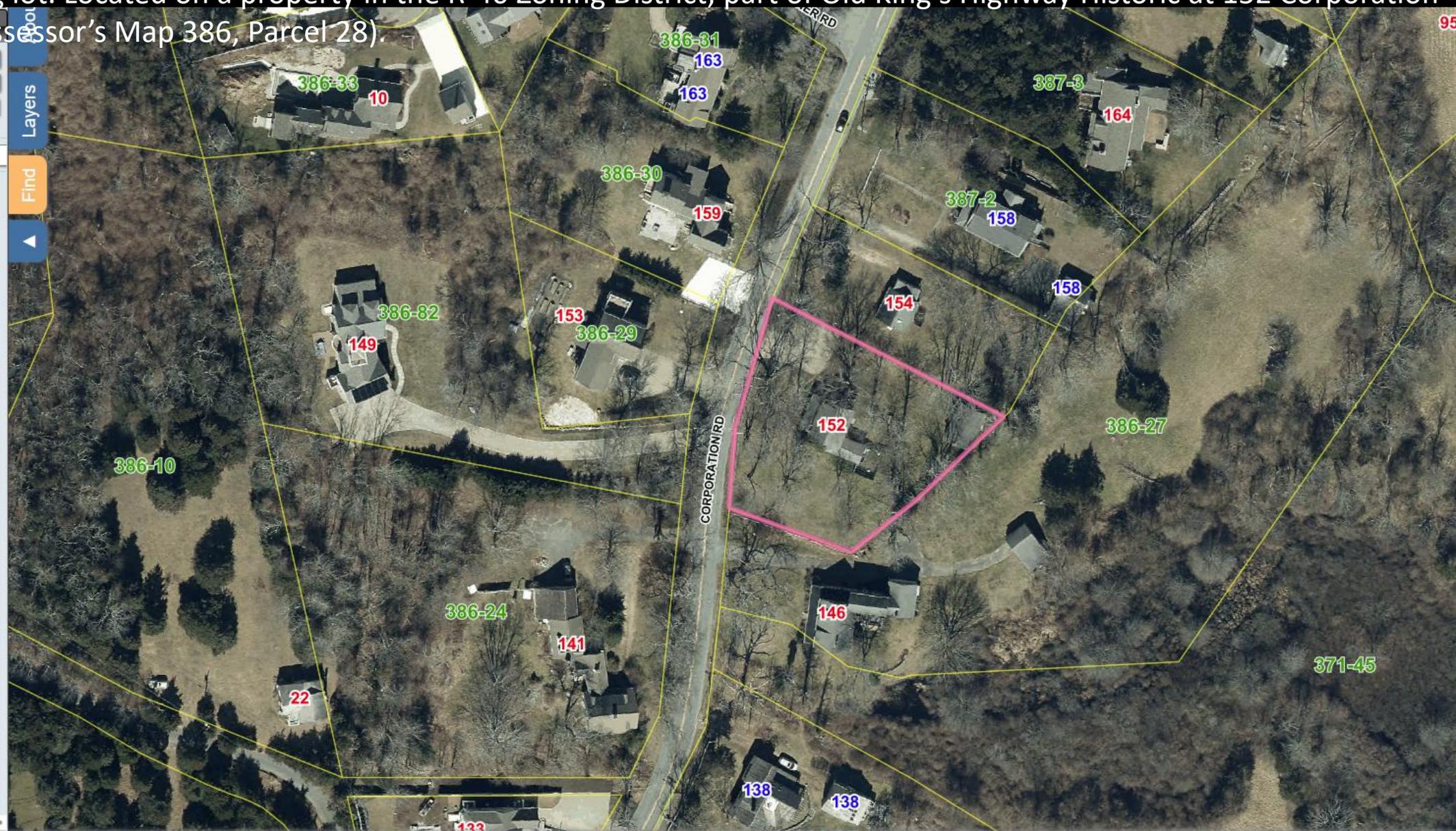
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| Property Card | PK Field Card |



[Find Abutters](#)

152 Corporation Rd
Dennis, Massachusetts
[View on Google Maps](#)







AUFDERHAAR RESIDENCE

152 CORPORATION ROAD, DENNIS, MA 02638

NEW CONSTRUCTION

DRAWING LIST

T100 COVER SHEET
T101 PROJECT NOTES

SP-1 EXISTING CONDITIONS SITE PLAN
SP-2 PROPOSED SITE PLAN

A100 BASEMENT + FOUNDATION PLAN
A101 FIRST FLOOR PLAN
A102 SECOND FLOOR PLAN

A200 EXTERIOR ELEVATIONS
A201 EXTERIOR ELEVATIONS

A300 BUILDING SECTIONS
A301 BUILDING SECTIONS
A302 BUILDING SECTIONS
A303 BUILDING SECTIONS

A500 DOOR + WINDOW SCHEDULE

A600 FLOORING - BASEMENT PLAN
A601 FLOORING - FIRST FLOOR PLAN
A602 FLOORING - SECOND FLOOR PLAN

A700 SCHEMATIC RENDERINGS

E100 ELECTRICAL - BASEMENT PLAN
E101 ELECTRICAL - FIRST FLOOR PLAN
E102 ELECTRICAL - SECOND FLOOR PLAN

S000 STRUCTURAL - GENERAL NOTES
S100 STRUCTURAL - FOUNDATION PLAN
S101 STRUCTURAL - FIRST FLOOR FRAMING PLAN
S102 STRUCTURAL - SECOND FLOOR FRAMING PLAN
S103 STRUCTURAL - CEILING FRAMING PLAN
S104 STRUCTURAL - ROOF FRAMING PLAN
S200 STRUCTURAL - STRUCTURAL DETAILS



SCHEMATIC RENDERINGS - NOT FOR CONSTRUCTION

OWNERS

DAVID & ALLE AUFDERHAAR

ARCHITECT

NICHE ARCHITECTURE + INTERIORS

399 BOYLSTON STREET
FLOOR 6
BOSTON, MA 02116

508 . 256 . 9838
INFO@NICHEARC.COM

CIVIL ENGINEER

FARLAND CORP.

154 HITTLESTONE AVENUE
FAIRHAVEN, MA 01749

508 . 717 . 3479

CFARLAND@FARLANDCORP.COM

STRUCTURAL ENGINEER

WEBB STRUCTURAL SERVICES

670 MAIN STREET
READING, MA 01867

781 . 779 . 1330
DAN@WEBBSS.NET

GENERAL CONTRACTOR



NICHE
architecture + interiors

399 Boylston Street, Floor 6
Boston, MA 02116
info@nichear.com
508 256 9838

CONTRACT DOCUMENTS AND SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.

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NEW CONSTRUCTION

AUFDERHAAR RESIDENCE

152 CORPORATION ROAD, DENNIS, MA 02638

LEGEND

- EXISTING FOUNDATION
- NEW FOUNDATION
- EXISTING WALLS
- NEW CONSTRUCTION
- DOOR MARKER
- WINDOW MARKER
- PLUMBING MARKER
- APPLIANCE MARKER
- CABINET MARKER
- EXISTING WINDOW
- NEW WINDOW

| NO. | DESCRIPTION | DATE |
|-----|---------------------|---------|
| 1 | SCHEMATIC PLANS | 2.0.25 |
| 2 | SCHEMATIC PRICING | 2.28.25 |
| 3 | PRICING SET | 5.0.25 |
| 4 | UPDATED PRICING SET | 5.0.25 |

DRAWING

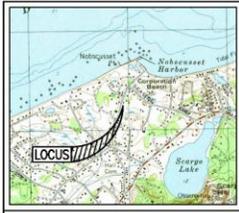
T100

COVER SHEET

SCALE AS NOTED
JOB NO. 24-30
DRAWN BY: MLR
DATE: 5/8/2025

PRICING SET

Existing



LOCUST MAP SCALE: 1"=2,000'±

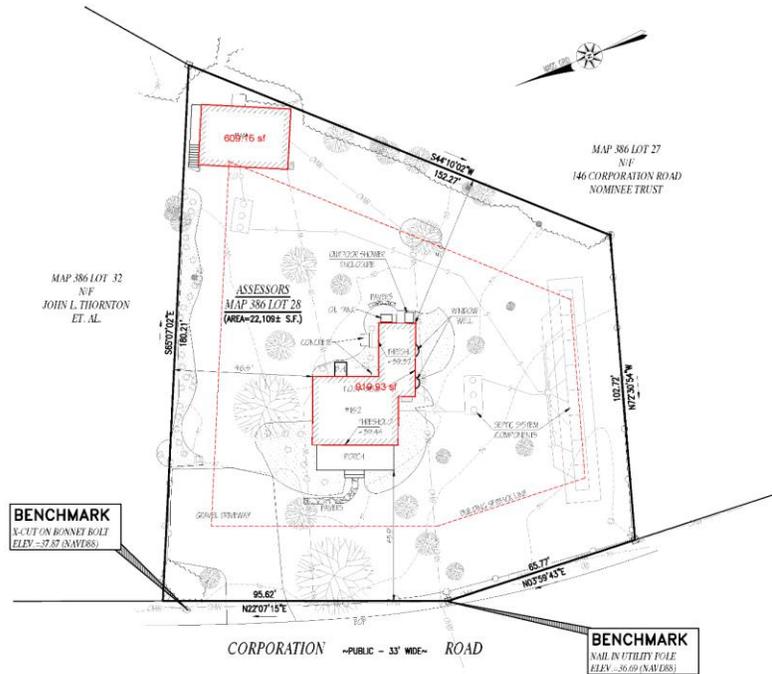
-- ZONING DATA --
DISTRICT: RESIDENTIAL 40

| DESCRIPTION | REQUIRED |
|---------------------------|------------|
| FRONT SETBACK | 25 FT |
| SIDE SETBACK | 15 FT |
| REAR SETBACK | 25 FT |
| BUILDING HEIGHT (MAXIMUM) | 2.5 STORES |
| *LOT COVERAGE (MAXIMUM) | 15 % |

*THE PERCENTAGE OF THE LOT AREA, EXCLUSIVE OF WETLAND AREA, COVERED BY THE AREA OF A BUILDING OR BUILDING(S).

LEGEND

| EXISTING | DESCRIPTION |
|----------|-------------------|
| --- | PROPERTY LINE |
| --- | CONTOUR LINE |
| --- | EDGE OF PAVEMENT |
| --- | WATER LINE |
| --- | SEPTIC LINE |
| --- | OVERHEAD WIRES |
| --- | POST/RAIL FENCE |
| --- | LIMIT OF CLEARING |
| --- | STONE WALL |
| --- | WATER GATE |
| --- | CLEAN OUT |
| --- | HYDRANT |
| --- | UTILITY POLE |
| --- | ELECTRIC METER |
| --- | MANHOLE |
| --- | DECIDUOUS TREE |
| --- | EVERGREEN TREE |
| --- | MANHOLE |
| --- | LANDSCAPE AREA |



6/20/24 FLD, JAL, C, M, N, P, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YY, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ.

RECORD OWNER:
ASSESSORS MAP 386 LOT 28
AUCHEMAY FAMILY TRUST
264 28TH STREET
SAN FRANCISCO, CA 94131
DEED BOOK 36487 PAGE 80

- NOTES:**
- TOPOGRAPHIC SURVEY AND SURVEY LOCATIONS PERFORMED BY FARLAND CORP. IN DECEMBER 2024.
 - VERTICAL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND HORIZONTAL LOCATIONS REFER TO THE NORTH AMERICAN DATUM OF 1983 (NAD 83).
 - EXISTING WATER SERVICE AND SEPTIC SYSTEM LOCATION SHOWN TAKEN FROM TITLE 5 SITE PLAN AND SUBSURFACE SEWAGE DISPOSAL SYSTEM AS-BUILT CARD PROVIDED BY DENNIS BOARD OF HEALTH.



REVISIONS

| | |
|--|--|
| | |
| | |
| | |
| | |

DRAFT

www.FarlandCorp.com

154 HUTTLESTON AVENUE
FAIRHAVEN, MA 02719
P. 508.717.3479

- ENGINEERING
- SITEWORK
- LAND SURVEYING
- DEVELOPMENT

DRAWN BY: SB
DESIGNED BY: ***
CHECKED BY: ***

EXISTING CONDITIONS
152 CORPORATION ROAD
ASSESSORS MAP 386 LOT 28
DENNIS, MASSACHUSETTS

PREPARED BY: MATTHEW RIDER - NICHE ARCHITECTURE + INTERIORS
531 CONCORD STREET
HOLLISTON, MA 01746

DECEMBER 4, 2024
SCALE: 1"=20'
JOB NO. 24-400
LATEST REVISION:

SHEET 1 OF 1



- ZONING DATA -
DISTRICT: RESIDENTIAL 40

| DESCRIPTION | REQUIRED | EXISTING | PROVIDED |
|---|-------------|-------------|-------------|
| LOT FRONTAGE | 50 FT | 161.59 FT | 161.59 FT |
| FRONT SETBACK | 25 FT | 45.0 FT | 31.1 FT |
| RIGHT SIDE SETBACK | 15 FT | 67.5 FT | 48.8 FT |
| LEFT SIDE SETBACK | 15 FT | 46.4 FT | 16.5 FT |
| REAR SETBACK | 25 FT | 91.8 FT | 66.3 FT |
| LOT AREA | 40,000 S.F. | 22,109 S.F. | 22,109 S.F. |
| LOT WIDTH | 100 FT | 189.20 FT | 88.30 FT |
| NONCONFORMING FLOOR SPACE WITHIN SETBACKS *(A.D.B.) | | 4,186 S.F. | 4,186 S.F. |
| INCREASE IN NEW NON-CONFORMING FLOOR SPACE BY MORE THAN 40% WITHIN ANY 10-YEAR PERIOD | | N/A | N/A |
| CUMULATIVE FOOTPRINT SIZE OF ALL STRUCTURES | | 1,767 S.F. | 3,314 S.F. |
| CUMULATIVE LOT COVERAGE (FOOTPRINT) % FOR ALL STRUCTURES | 15 % | 7.99 % | 14.99 % |
| CUMULATIVE FLOOR SPACE OF ALL STRUCTURES (F.A.R.) | | 5.08 S.F. | 4,396 % |
| CUMULATIVE FLOOR SPACE TO LOT AREA % FOR ALL STRUCTURES | 30 % | 5.69 % | 19.88 % |

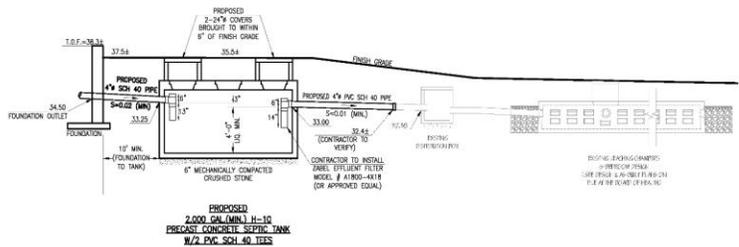
- PARKING REQUIREMENT -
PRINCIPAL USE: SINGLE FAMILY & 2-BEDROOM A.D.U.

| REQUIREMENT | REQUIRED | PROVIDED |
|--|----------|----------|
| 2 SPACES PER PRIMARY UNIT, PLUS 1 SPACE BEDROOM A.D.U. | 4 SPACES | 4 SPACES |

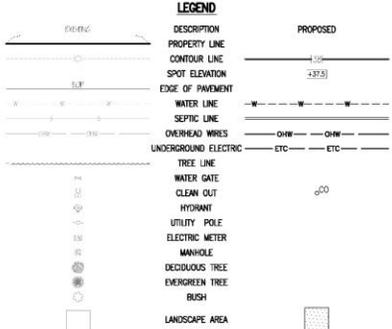
RECORD OWNER:
ASSESSORS MAP 386 LOT 28
AUFDERHAR FAMILY TRUST
264 28TH STREET
SAFERNWOOD, CA 94131
DEED BOOK 38497 PAGE 80

- SEPTIC NOTES:**
- ENGINEER SHALL SET BENCHMARK WITHIN 50' OF SYSTEM PRIOR TO START OF CONSTRUCTION.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL STANDARDS AND REGULATIONS.
 - DESIGN LOADING FOR ALL PROPOSED PRECAST UNITS TO BE ASHIO H-20 UNLESS OTHERWISE NOTED.
 - PIPE FOR SEPTIC SYSTEM TO BE 4" SCH. 40 PVC.
 - ALL SYSTEM COMPONENTS SHALL BE MARKED WITH MAGNETIC MARKING TAPE OR A COMPARABLE MEANS IN ORDER TO LOCATE THEM ONCE BURIED.
 - THERE ARE NO KNOWN PRIVATE WELLS WITHIN 200' OF SITE.
 - THERE ARE NO KNOWN BORDERING VEGETATED WETLANDS, INLAND BANKS, OR SURFACE WATERS WITHIN 100' OF LEACHING AREA.
 - THERE ARE NO KNOWN SURFACE OR SUBSURFACE DRAINS WHICH ARE USED TO LOWER THE GROUND WATER ON THE SITE.
 - THERE ARE NO KNOWN VERNAL POOLS WITHIN 100' OF SITE.
 - SITE IS NOT WITHIN 100 YEAR FLOOD PLAN OR A NITROGEN SENSITIVE AREA.
 - EFFLUENT BEING DISCHARGED TO THE SYSTEM CAN BE ASSOCIATED WITH NORMAL STRENGTH DOMESTIC USE ONLY.
 - FOR PROPER PERFORMANCE, THE SEPTIC TANK SHOULD BE PUMPED ANNUALLY.
 - ANY ALTERATIONS MUST BE APPROVED IN WRITING BY THE DESIGN ENGINEER. ANY CONDITIONS ENCOUNTERED DURING CONSTRUCTION DIFFERING FROM THOSE SHOWN HEREON OR REPORTED HEREIN SHALL BE REPORTED TO THE DESIGN ENGINEER BEFORE CONSTRUCTION CONTINUES.
 - TEST HOLE INFORMATION SHOWN HEREON IS LIMITED TO SOIL CONDITIONS FOUND AT THAT PARTICULAR TEST HOLE LOCATION AND IS NOT TO BE CONSIDERED AN IMPLIED OR EXPRESSED WARRANTY OF SOIL CONDITIONS BEYOND THE LIMITS OF SUCH TEST HOLES.
 - SYSTEM CAN NOT BE BACKFILLED OR CONCEALED UNTIL DESIGN FIRM AND BOARD OF HEALTH HAVE INSPECTED THE SYSTEM AND PERMISSION TO BACKFILL HAS BEEN GIVEN.
 - DESIGN FIRM MUST PREPARE AND SUBMIT "AS BUILT" PLAN TO BOARD OF HEALTH. THIS PLAN MUST CERTIFY THAT THE SYSTEM WAS INSTALLED IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS AND THAT IT COMPLIES WITH PROPOSED PLAN.

- GENERAL NOTES:**
- TOPOGRAPHIC SURVEY AND SURVEY LOCATIONS PERFORMED BY FARLAND CORP. IN DECEMBER 2024.
 - VERTICAL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND HORIZONTAL LOCATIONS REFER TO THE NORTH AMERICAN DATUM OF 1983 (NAD 83).
 - EXISTING WATER SERVICE AND SEPTIC SYSTEM LOCATION SHOWN TAKEN FROM TITLE 5 SITE PLAN AND SUBSURFACE SEWAGE DISPOSAL SYSTEM AS-BUILT CARD PROVIDED BY DENNIS BOARD OF HEALTH.
 - THE LOCATION OF UNDERGROUND UTILITIES WAS TAKEN FROM THE BEST AVAILABLE INFORMATION AND IS NOT WARRANTED TO BE CORRECT, NOR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES AND AGENCIES PRIOR TO CONSTRUCTION FOR THE LOCATION OF UNDERGROUND UTILITIES.
 - ALL BENCHMARKS SHOWN ON THIS PLAN ARE TO BE CHECKED FOR CONSISTENCY BY THE CONTRACTOR. ANY DISCREPANCIES MUST BE RESOLVED BY THIS OFFICE PRIOR TO CONSTRUCTION.
 - BY GRAPHIC PLOTTING ONLY, THE PROPERTY DEPICTED ON THIS PLAN FALLS IN ZONE "X", AS SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 25001C0257A, EFFECTIVE DATE: JULY 16, 2014.



SUBSURFACE SEWAGE DISPOSAL SYSTEM
(NOT TO SCALE)

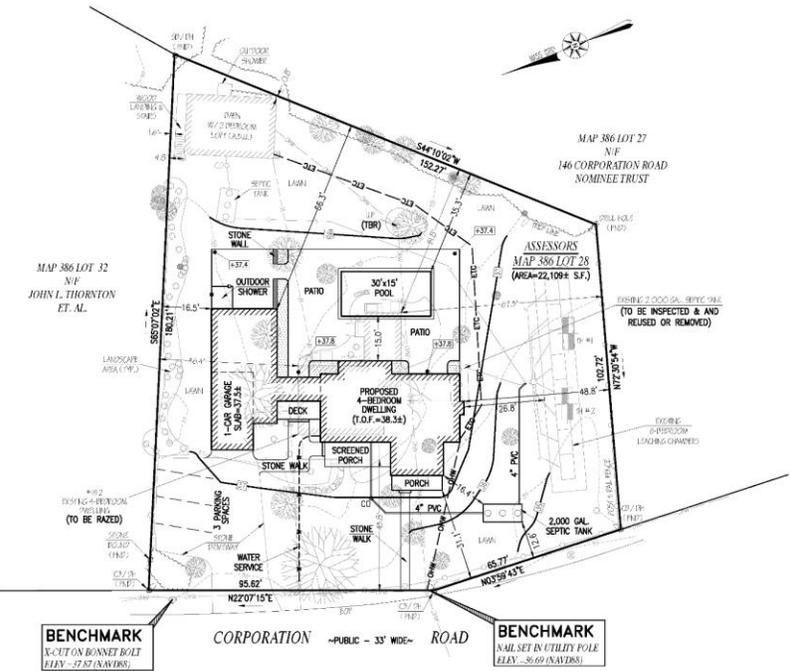


SOIL LOGS

| T.H. #1 | T.H. #2 |
|--------------------------------|--------------------------------|
| ELEV.=35.5± | ELEV.=35.0± |
| 2/27/2024 | 2/27/2024 |
| 0'-14" A HORIZON IS 10R 5/2 | 0'-12" A HORIZON IS 10R 3/2 |
| 34.33 | 34.00 |
| 14'-26" B HORIZON IS 10R 5/8 | 14'-26" B HORIZON IS 10R 5/8 |
| 32.50 | 32.83 |
| 28'-24" C1 HORIZON IS 2.5F 5/2 | 28'-22" C1 HORIZON IS 2.5F 5/2 |
| 28.50 | 29.00 |
| 84'-13" C2 HORIZON IS 10R 6/6 | 72'-13" C2 HORIZON IS 10R 6/6 |
| 24.50 | 24.00 |
| NO GROUNDWATER ENCOUNTERED | NO GROUNDWATER ENCOUNTERED |

SOIL TESTING PERFORMED BY CRAIG J. FERRAR, S.E. #13871. SOIL LOGS TAKEN FROM SEPTIC DESIGN PLAN WITH REVISION DATE: APRIL 2, 2024.

Proposed



REVISIONS

| | | |
|---|----------|------------------------|
| 1 | 18/13/25 | ZONING & PARKING TABLE |
|---|----------|------------------------|

www.FarlandCorp.com

154 HUTTLESTON AVENUE
FAIRHAVEN, MA 02719
P. 508.717.3479

- ENGINEERING
- SITework
- LAND SURVEYING
- DEVELOPMENT

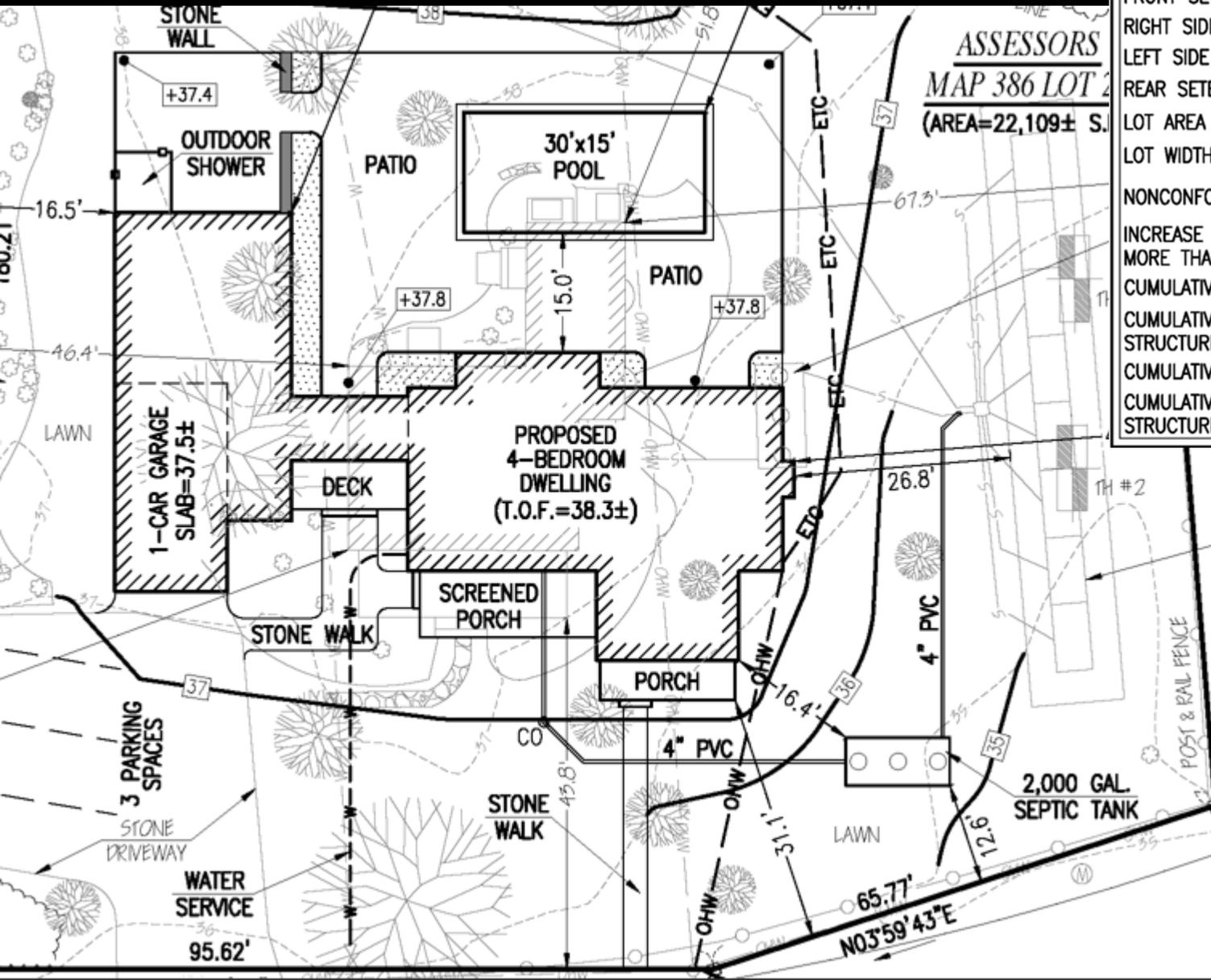
DRAWN BY: SB
DESIGNED BY: CKG
CHECKED BY: CAF

SITE PLAN
 152 CORPORATION ROAD
 ASSESSORS MAP 386 LOT 28
 DENNIS, MASSACHUSETTS
 PREPARED BY: ARCHITECTURE + INTERIORS
 FOR: 651 CORPORATION STREET, FAIRHAVEN, MA 02746

MAY 2, 2025
SCALE: 1"=20'
JOB NO. 24-400
LATEST REVISION:
AUGUST 13, 2025

SHEET 1 OF 1

Proposed



**ASSESSORS
MAP 386 LOT 2
(AREA=22,109± S.F.)**

— ZONING DATA —

DISTRICT: RESIDENTIAL 40

| DESCRIPTION | REQUIRED | EXISTING | PROVIDED |
|---|-------------|-------------|-------------|
| LOT FRONTAGE | 50 FT | 161.39 FT | 161.39 FT |
| FRONT SETBACK | 25 FT | 43.8 FT | 31.1 FT |
| RIGHT SIDE SETBACK | 15 FT | 67.3 FT | 48.8 FT |
| LEFT SIDE SETBACK | 15 FT | 46.4 FT | 16.5 FT |
| REAR SETBACK | 25 FT | 51.8 FT | 66.3 FT |
| LOT AREA | 40,000 S.F. | 22,109 S.F. | 22,109 S.F. |
| LOT WIDTH | 100 FT | 158.20 FT | 158.20 FT |
| NONCONFORMING FLOOR SPACE WITHIN SETBACKS *(A.D.U.) | | *1,186 S.F. | *1,186 S.F. |
| INCREASE IN NEW NON-CONFORMING FLOOR SPACE BY MORE THAN 40% WITHIN ANY 10-YEAR PERIOD | | N/A | N/A |
| CUMULATIVE FOOTPRINT SIZE OF ALL STRUCTURES | | 1,767 S.F. | 3,314 S.F. |
| CUMULATIVE LOT COVERAGE (FOOTPRINT) % FOR ALL STRUCTURES | 15 % | 7.99 % | 14.99 % |
| CUMULATIVE FLOOR SPACE OF ALL STRUCTURES (F.A.R.) | | 3,018 S.F. | 4,396 % |
| CUMULATIVE FLOOR SPACE TO LOT AREA % FOR ALL STRUCTURES | 30 % | 13.65 % | 19.88 % |

— PARKING REQUIREMENT —

PRINCIPAL USE: SINGLE FAMILY & 2-BEDROOM A.D.U.

| REQUIREMENT | REQUIRED | PROVIDED |
|---|----------|----------|
| 2 SPACES PER PRIMARY UNIT; PLUS 1 SPACE BEDROOM IN A.D.U. | 4 SPACES | 4 SPACES |

— ZONING DATA —

DISTRICT: RESIDENTIAL 40

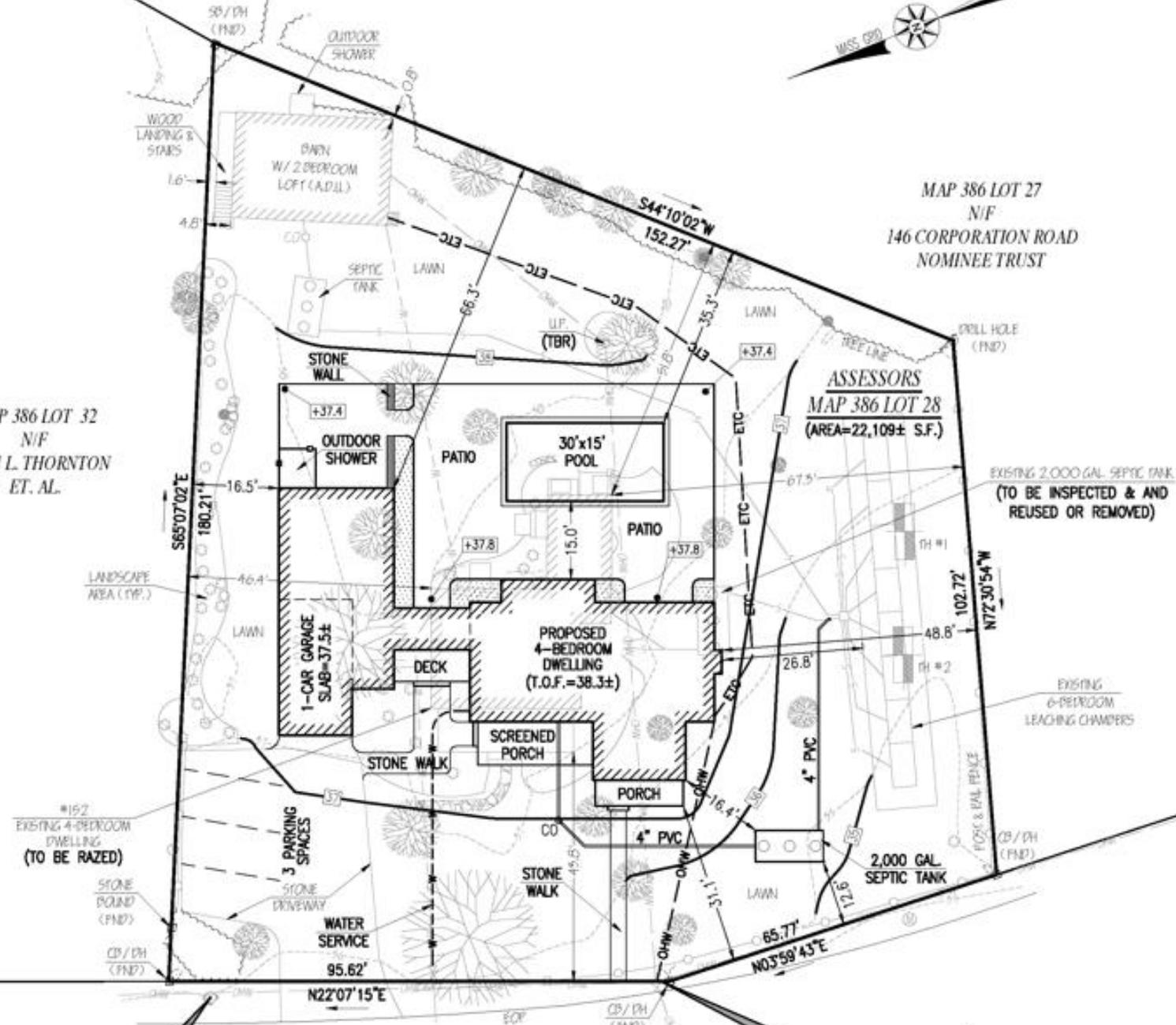
| <u>DESCRIPTION</u> | <u>REQUIRED</u> | <u>EXISTING</u> | <u>PROVIDED</u> |
|---|-----------------|-----------------|-----------------|
| LOT FRONTAGE | 50 FT | 161.39 FT | 161.39 FT |
| FRONT SETBACK | 25 FT | 43.8 FT | 31.1 FT |
| RIGHT SIDE SETBACK | 15 FT | 67.3 FT | 48.8 FT |
| LEFT SIDE SETBACK | 15 FT | 46.4 FT | 16.5 FT |
| REAR SETBACK | 25 FT | 51.8 FT | 66.3 FT |
| LOT AREA | 40,000 S.F. | 22,109 S.F. | 22,109 S.F. |
| LOT WIDTH | 100 FT | 158.20 FT | 158.20 FT |
| NONCONFORMING FLOOR SPACE WITHIN SETBACKS *(A.D.U.) | | *1,186 S.F. | *1,186 S.F. |
| INCREASE IN NEW NON-CONFORMING FLOOR SPACE BY MORE THAN 40% WITHIN ANY 10-YEAR PERIOD | | N/A | N/A |
| CUMULATIVE FOOTPRINT SIZE OF ALL STRUCTURES | | 1,767 S.F. | 3,314 S.F. |
| CUMULATIVE LOT COVERAGE (FOOTPRINT) % FOR ALL STRUCTURES | 15 % | 7.99 % | 14.99 % |
| CUMULATIVE FLOOR SPACE OF ALL STRUCTURES (F.A.R.) | | 3,018 S.F. | 4,396 % |
| CUMULATIVE FLOOR SPACE TO LOT AREA % FOR ALL STRUCTURES | 30 % | 13.65 % | 19.88 % |



MAP 386 LOT 27
N/F
146 CORPORATION ROAD
NOMINEE TRUST

MAP 386 LOT 32
N/F
JOHN L. THORNTON
ET. AL.

ASSESSORS
MAP 386 LOT 28
(AREA=22,109± S.F.)



BENCHMARK
X-CUT ON BONNET BOLT
ELEV. = 37.87 (NAVD88)

CORPORATION ~PUBLIC - 33' WIDE~ ROAD

BENCHMARK
NAIL SET IN UTILITY POLE
ELEV. = 36.69 (NAVD88)



Mulcahy
Design Group

Landscape Architecture
774.275.2074
mulcahydesigngroup@gmail.com
mulcahydesigngroup.com

Master Plan 08/04/2011
Site Plan 08/04/2011
Landscape Architecture 08/04/2011

Date: 09/02/25

Revisions:
Rev. Date Description

Aufderhaar Residence
152 Corporation Road, Dennis MA

Drawn By: TM

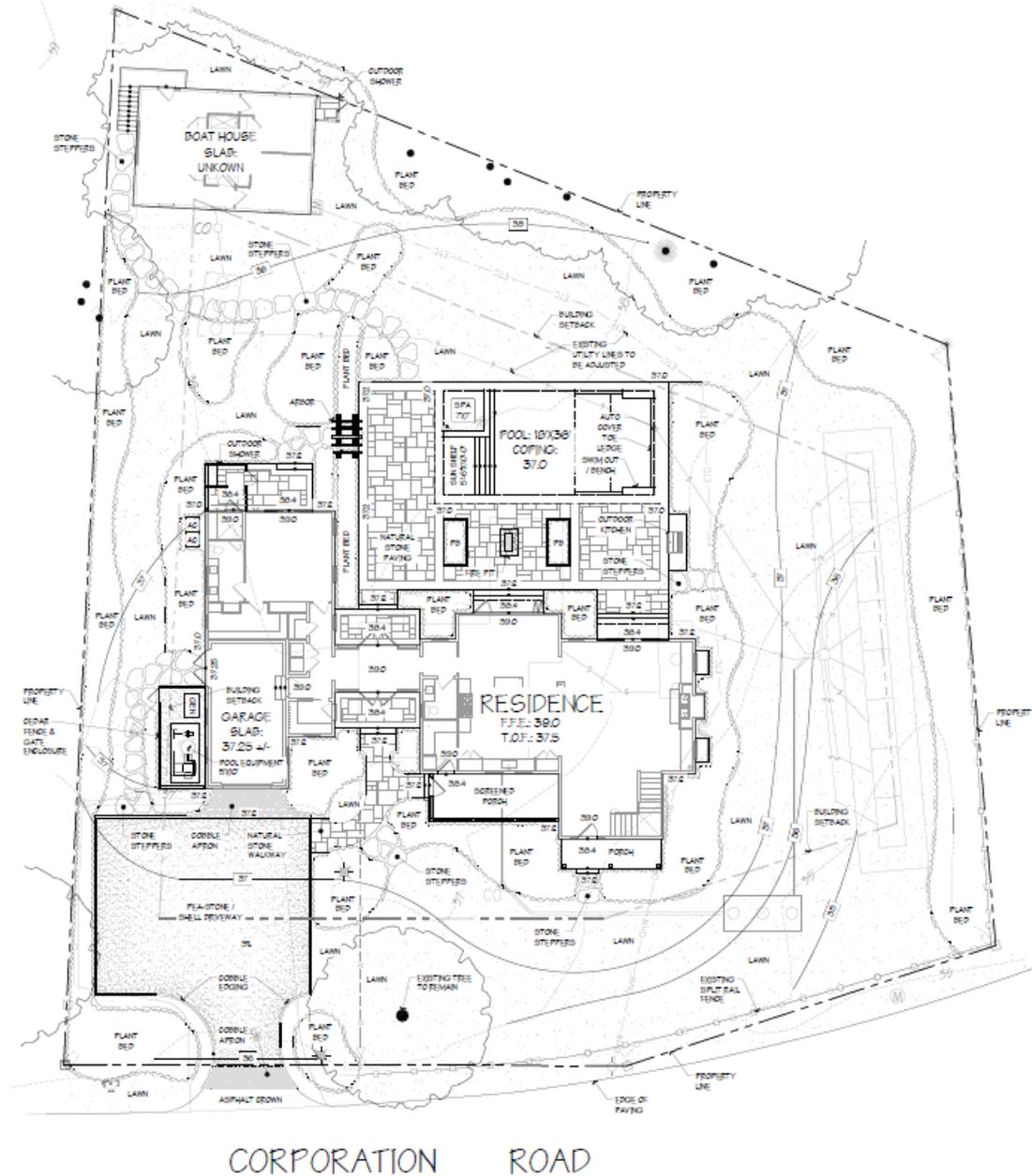
Conceptual
Landscape
Plan



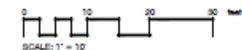
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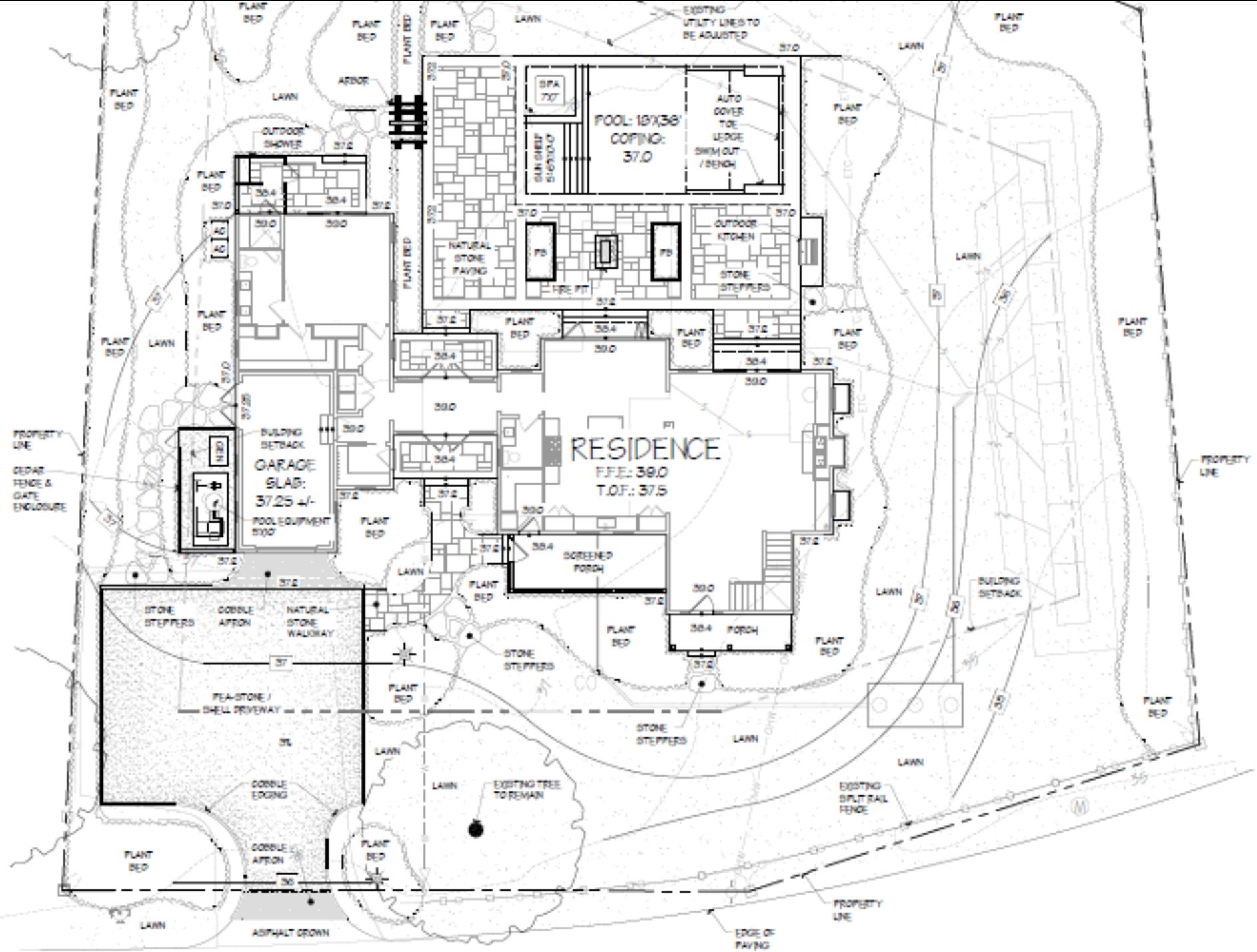
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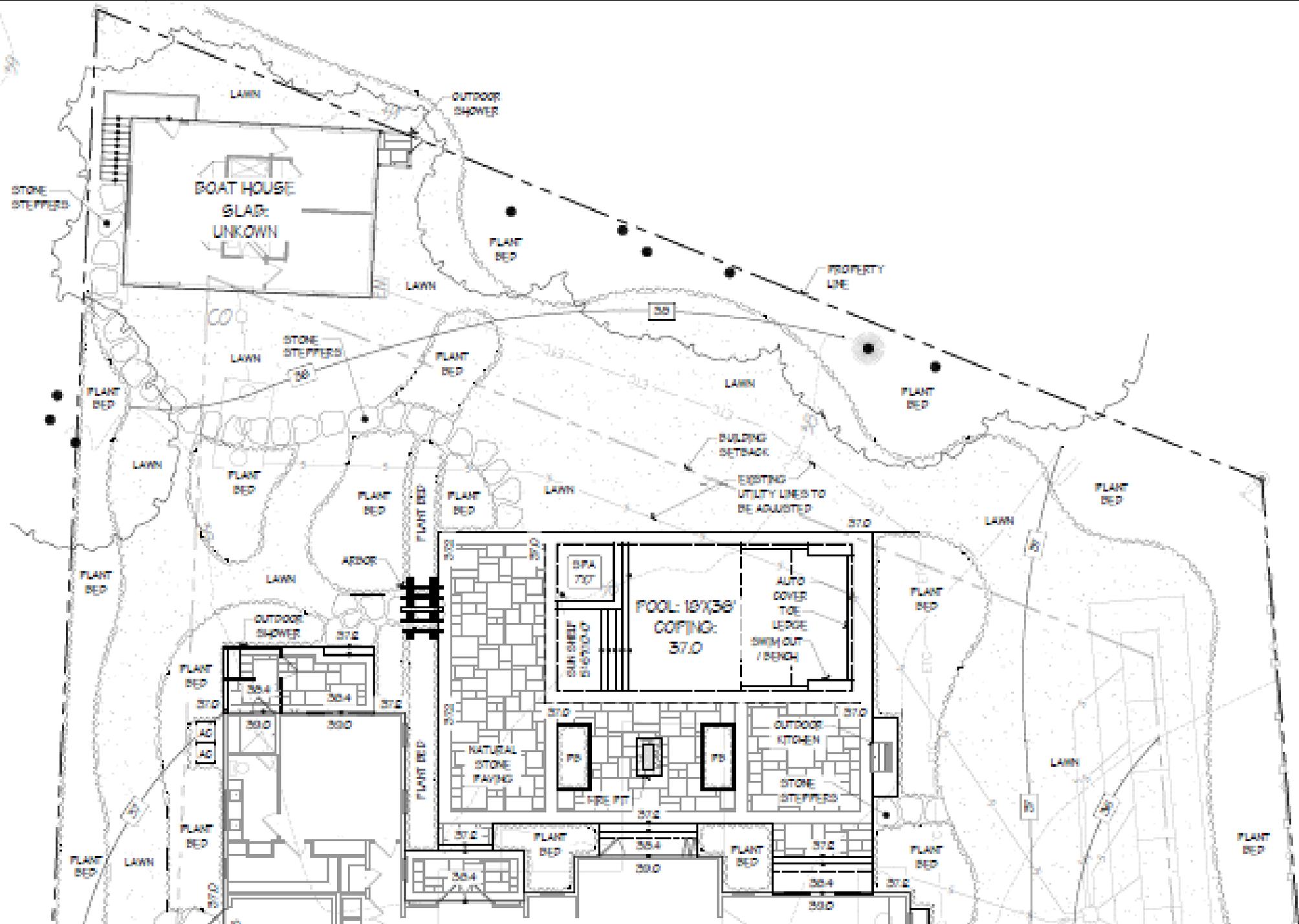
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CORPORATION ROAD



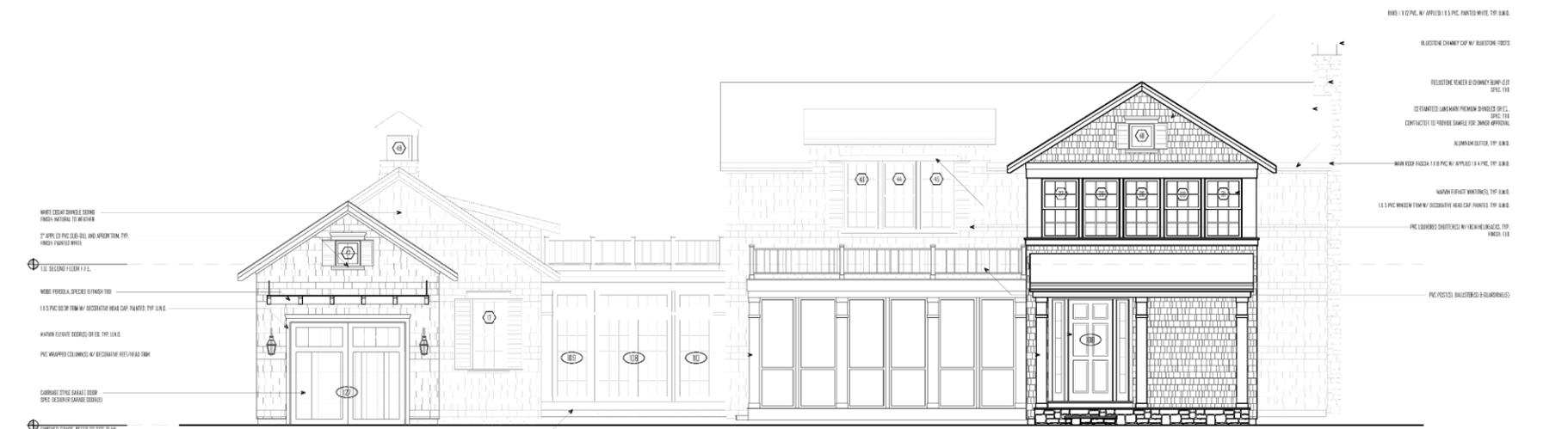




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1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

NEW CONSTRUCTION
AUFDERHAAR RESIDENCE
612 CORPORATION ROAD, BARNES, MA 02825

LEGEND

- EXISTING FOUNDATION
- NEW FOUNDATION
- EXISTING WALLS
- NEW CONSTRUCTION
- DOOR MARKER
- WINDOW MARKER
- PLUMBING MARKER
- APPLY LAYER MARKER
- CEMETERY MARKER
- EXISTING WINDOW
- NEW WINDOW

| NO. | DESCRIPTION | DATE |
|-----|---------------------|---------|
| 1 | SCHEMATIC PLANS | 2.8.23 |
| 2 | SCHEMATIC PRICING | 2.28.23 |
| 3 | PRICING SET | 5.8.23 |
| 4 | UPDATED PRICING SET | 5.18.23 |



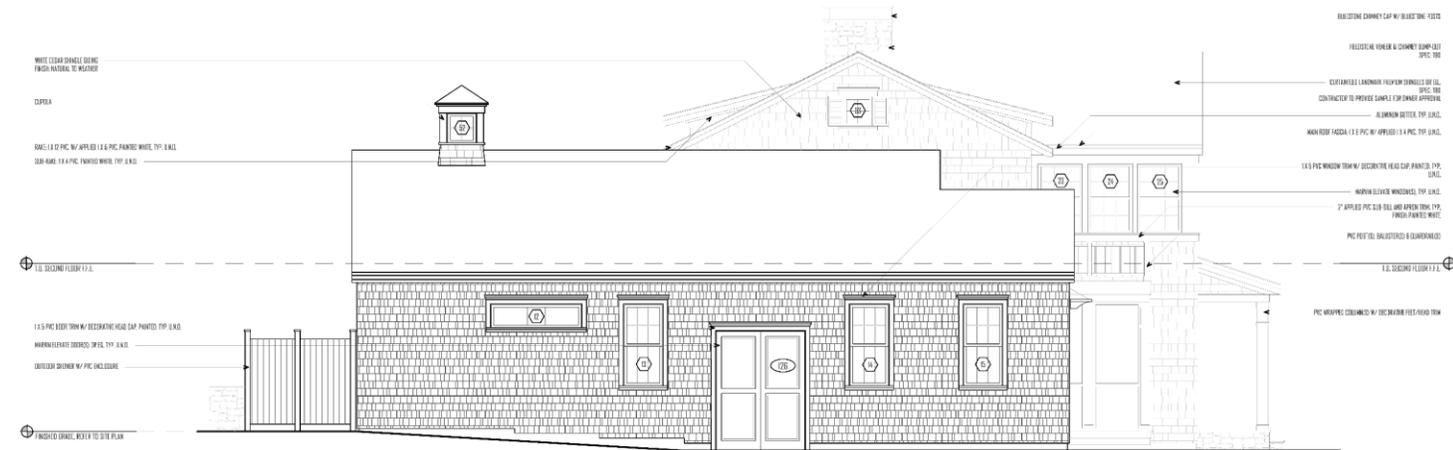
NICHE
architecture + interiors

303 E. Union Street, Floor 6
Boston, MA 02111
info@nichearch.com
508.750.0630

CONTRACTOR AND ARCHITECT AGREEMENT: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BOSTON AND THE STATE OF MASSACHUSETTS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BOSTON AND THE STATE OF MASSACHUSETTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BOSTON AND THE STATE OF MASSACHUSETTS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BOSTON AND THE STATE OF MASSACHUSETTS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BOSTON AND THE STATE OF MASSACHUSETTS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BOSTON AND THE STATE OF MASSACHUSETTS.

IT IS UNDERSTOOD TO BE THE DUTY OF THE CONTRACTOR AND ARCHITECT TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BOSTON AND THE STATE OF MASSACHUSETTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BOSTON AND THE STATE OF MASSACHUSETTS.



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

NEW CONSTRUCTION
AUDERHAAR RESIDENCE
163 CORPORATION ROAD, BOSTON, MA 02128

LEGEND

| | |
|-----------|-------------------|
| [Pattern] | EXISTING EXTERIOR |
| [Pattern] | NEW FOUNDATION |
| [Pattern] | EXISTING WALLS |
| [Pattern] | DEMOLITION |
| [Pattern] | NEW CONSTRUCTION |
| [Symbol] | WOOD MARKER |
| [Symbol] | WINDOW MARKER |
| [Symbol] | PLUMBING MARKER |
| [Symbol] | APPLIANCE MARKER |
| [Symbol] | CABINETS MARKER |
| [Symbol] | EXISTING WINDOW |
| [Symbol] | NEW WINDOW |

| NL | DESCRIPTION | DATE |
|----|---------------------|---------|
| 1 | SCHEMATIC PLANS | 2.8.20 |
| 2 | SCHEMATIC PRICING | 2.28.20 |
| 3 | PRICING SET | 3.5.20 |
| 4 | UPDATED PRICING SET | 5.16.20 |

DRAWING
A201
BUILDING ELEVATIONS
SCALE: AS NOTED JOB NO. 24-20
DRAWN BY: M.R. DATE: 6/19/2025
PRICING SET

GENERAL NOTES

- FRAME ALL INTERIOR WALLS WITH 2X4 WOOD STUDS, S.A.D.
- FRAME ALL EXTERIOR WALLS WITH 2X6 WOOD STUDS
- EXTERIOR DRAGSTRAP TO BE 5/8" CSD EXTERIOR DRAGSTRAP SYSTEM
- PROVIDE 6" METAL CORNER BRACE FOR ALL EXTERIOR CORNERS
- PROVIDE CO. RUBBER BULB LOCATED 6" FROM W/ CORNER
- PROVIDE 6" WIDE GRAVEL UNDER EXTERIOR WALKWAYS AND DRIVEWAYS
- REVIEW OPTIONS FOR 4" T.C. ACCESS
- PROVIDE 4" X 6" GATED WALL ACCESSORY BETWEEN GARAGE AND HOUSE LIVING SPACE:
 - WALKS 5'0" TYP. IS SYSTEM PROVIDED AT GARAGE DOOR
 - GATED ACCESSORY WALL TO BE LOCATED 24" IN. TO INSIDE FACE OF DOOR. ALL DOOR PANELS SHOULD BE 1/2" THICK WITH A MINIMUM 20 POUNDS PER SQUARE FOOT WEIGHT RATED BATHING
 - COULD 5/8" TYP. CSD SYSTEM BE USED AT GARAGE DOOR

FINISH NOTES

- L. EXPOSED 3/4" COBBLE PLANK
- WALKS 5'0" TYP. TO BE PROVIDED BY CONTRACTOR PLASTER OVER INTERIOR FORMWORK
- 7/8" COBBLE, 5/8" COBBLE OR 3/4" COBBLE BY CONTRACTOR PLASTER UNDER NOTES OTHERWISE
- BRICKWORK: ONE STOCK BRICK PER ARCHITECT'S SPECIFICATION
- WINDOW SIZES FROM AIA WINDOW SCHEDULE, ARCHITECT TO SPECIFY
- ALL WINDOW SIZES ARE TO BE FINISH SIZES: S.A.D.

WINDOW

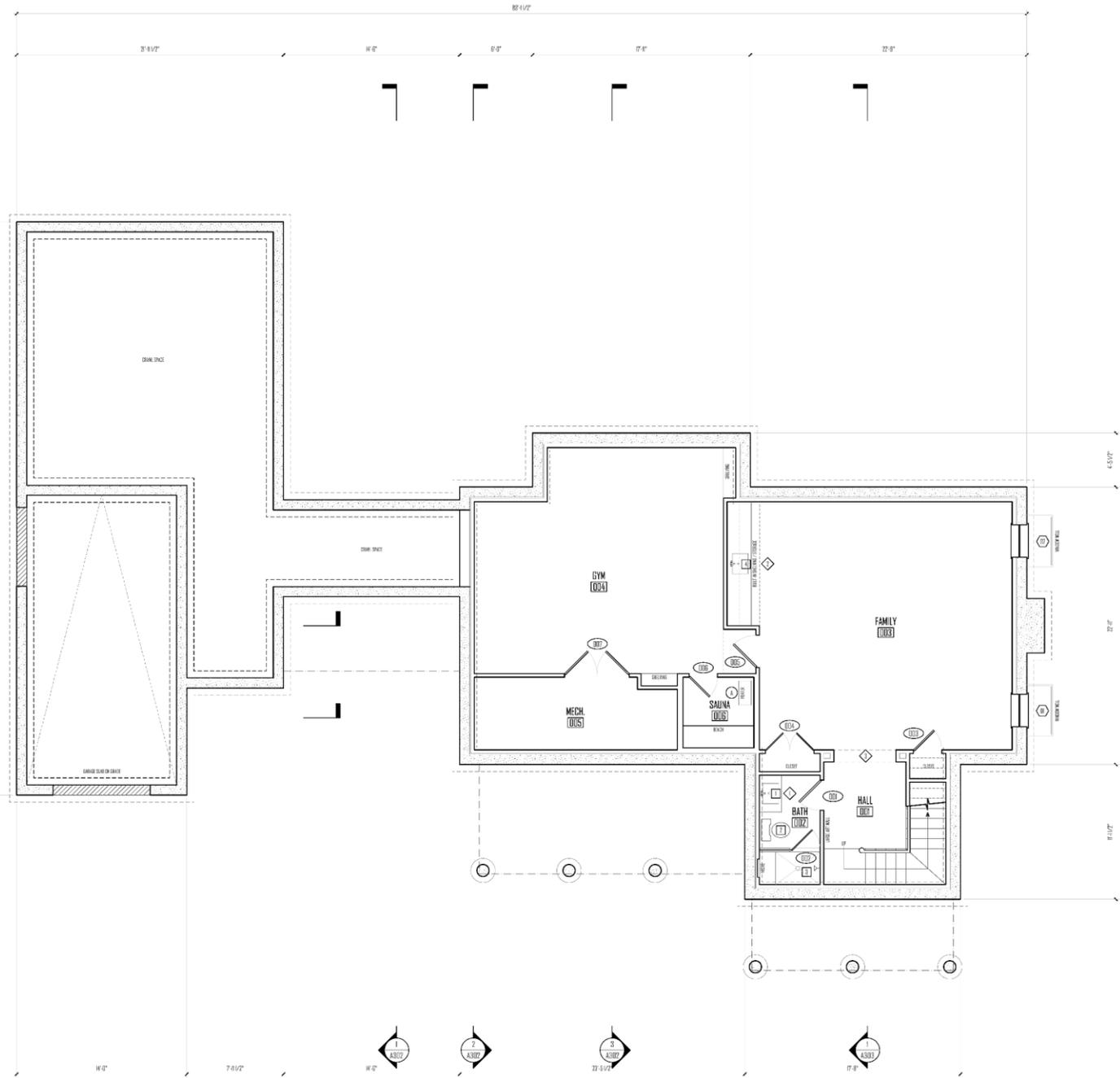
- ALL WINDOWS SPECIFIED MARRIOTT LEANS SERIES: S.A.D.
- EXTERIOR COLOR: WHITE
- INTERIOR WINDOW TRIM: WHITE
- WOOD INSET SCREEN PANEL: SIZES 7' ALL SPECIES OF WOODS
- DRINKWARE: BRASS (SEE W/ ARCHITECT'S SPEC)
- WINDOW SIZES AND WEIGHTS TO SPECIFY
- WINDOW FRAME: ARCHITECT TO SPECIFY
- CORNER TO CORNER MEASUREMENTS: SEE ARCHITECT'S SPECIFICATION
- PROVIDER TEMPORARY GLAZING AT ALL APPLICABLE LOCATIONS FOR LOCAL / STATE BUILDING CODES
- INITIAL WINDOWING FOR BUILDING CODES: MEETS PERFORMANCE REQUIREMENTS W/ LOCAL BUILDING CODES
- SUBMIT FINAL WINDOW PACKAGES TO ARCHITECT FOR REVIEW PRIOR TO PLACING ORDER

DOOR

- ALL EXTERIOR DOORS ARE TO BE MARRIOTT LEANS SERIES
- ALL EXTERIOR DOORS ARE TO BE COBBLE: S.A.D.
- EXTERIOR COLOR: ARCHITECT TO SPECIFY
- INTERIOR COLOR: ARCHITECT TO SPECIFY
- PROVIDER TEMPORARY GLAZING AT ALL EXTERIOR DOORS: WHEN APPLICABLE
- ALL EXTERIOR DOORS TO HAVE DRINKWARE ON DOOR UNDER W/ SPECIFIED WHEN APPLICABLE
- SET SCHEDULE ON ASSES FOR ALL DOOR SIZES

KITCHEN NOTES

- CONTRACTOR SHALL SUPPLY COUNTER TOPS AND BACKSPLASH FOR KITCHEN
- CONTRACTOR TO PROVIDE AND SUPPLY CABINETS: CONTRACTOR TO PROVIDE INSTALLATION OF DISHWASHER
- CONTRACTOR TO PROVIDE ALL MATERIAL FOR COMPLETE INSTALLATION OF KITCHEN EXCEPT FLOOR AND VEIL
- OWNER TO PROVIDE ALL KITCHEN APPLIANCES: CONTRACTOR TO INSTALL ALL KITCHEN APPLIANCES



BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"
 BASEMENT FINISH AREA = 1,208 SQ. FT.



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NEW CONSTRUCTION
AUFDERHAAR RESIDENCE

615 CORPORATION ROAD, TRENCH, ONTARIO

LEGEND

- EXISTING FOUNDATION
- NEW FOUNDATION
- EXISTING WALLS
- DEMOLITION
- NEW CONSTRUCTION
- DOOR MARKER
- WINDOW MARKER
- PLUMBING MARKER
- APPLIANCE MARKER
- CAPACITY MARKER
- EXISTING WINDOW
- NEW WINDOW

| NO. | DESCRIPTION | DATE |
|-----|---------------------|---------|
| 1 | SCHEMATIC PLANS | 2.8.25 |
| 2 | SCHEMATIC PRICING | 2.28.25 |
| 3 | PRICING SET | 5.13.25 |
| 4 | UPDATED PRICING SET | 5.13.25 |

DRAWING

A100

BASEMENT PLAN

SCALE: AS NOTED
 DRAWN BY: MLR
 JOB NO.: 24-30
 DATE: 5/16/2025

PRICING SET

GENERAL NOTES

- FRAME ALL INTERIOR WALLS WITH 2X4 WOOD STUDS @ 16" O.C.
- FRAME ALL EXTERIOR WALLS WITH 2X4 WOOD STUDS
- EXTERIOR SHEATHING TO BE 5/8" CDX EXTERIOR OVERLAP SYSTEM
- PREMIER 8 INCHES TYPICAL FOR EXTERIOR EXTERIOR
- PREMIER 3/4" FLOOR DECK LAYOUT ON DECK W/ SINKER
- PREMIER 4" WOOD GRADE APPROX UNDER GRADE WITHOUT EXTERIOR ANY CORNERPOSTS
- REVIEW OPTIONS FOR ATTIC ACCESS
- PREMIER 1/2" BATT INSULATION BETWEEN GARAGE AND HOUSE LIVING SPACE
- WALLS 5/8" TOP FORMATION SHOULD BE GRADED 24"
- DOORS 2 DOORS OPENING INTO RESIDENCE SHALL BE 32" MINIMUM FREE HEIGHT. ALL EXISTING DOORS SHALL BE REMOVED WITH A MINIMUM 4" MINIMUM FREE HEIGHTS INCLUDING CEILING. 5/8" TOP FORMATION SHOULD BE GRADED 24"

FINISH NOTES

- FLOORING SEE FLOORING PLANS
- WALLS 1/2" BUILT UP WITH 1/2" DRYWALL LAYOUT UNLESS NOTED OTHERWISE
- POP CEILING 5/8" BUILT UP WITH 1/2" DRYWALL PLASTER UNLESS NOTED OTHERWISE
- BATHROOMS WITH 1/2" BUILT UP WITH 1/2" DRYWALL TYPICAL
- WINDOOR COLOR FROM NEW STOCK PRODUCT SUBJECT TO SPECIFY
- ALL BUILDING AND FINISH SHALL BE AS SHOWN

WINDOWS

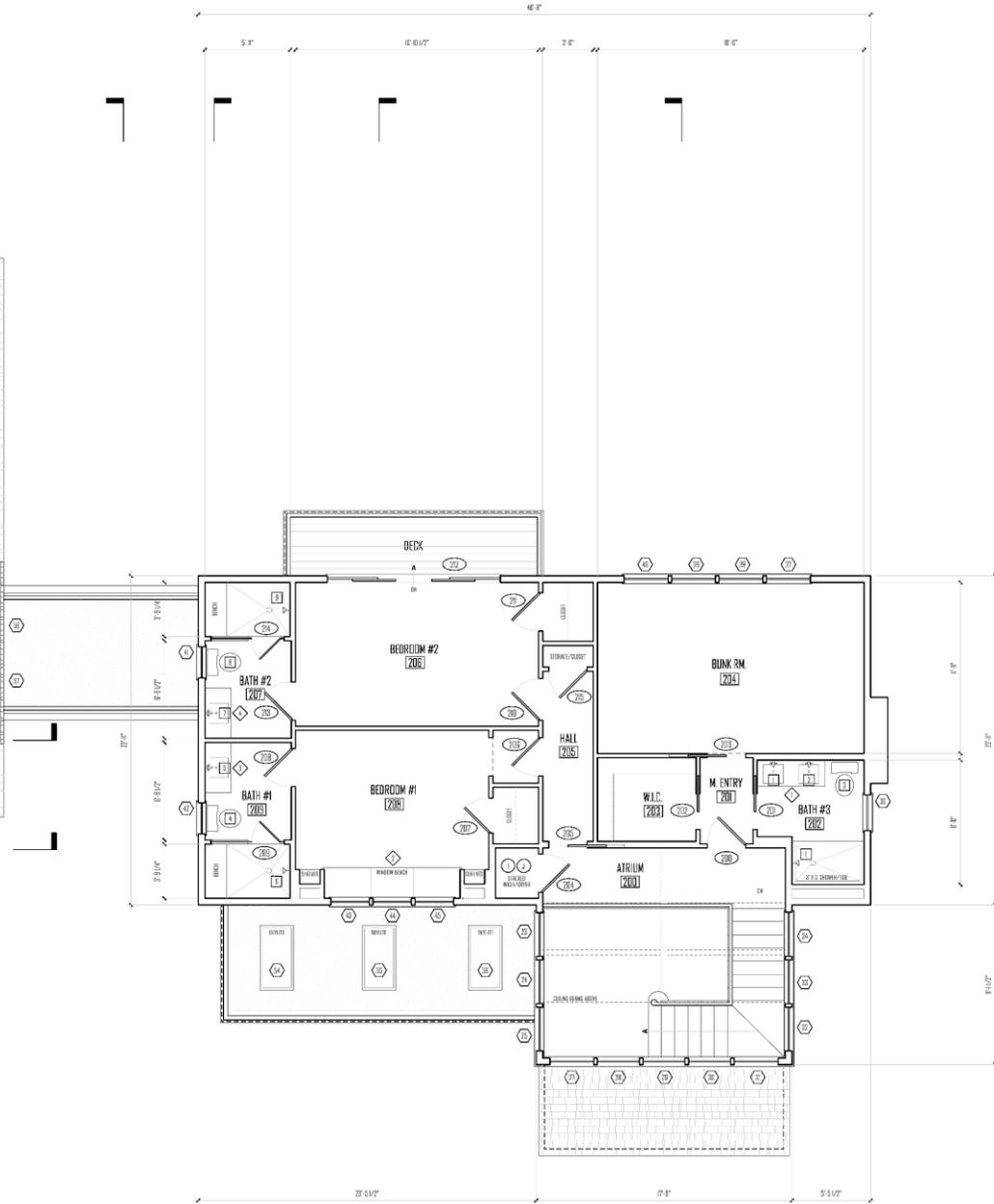
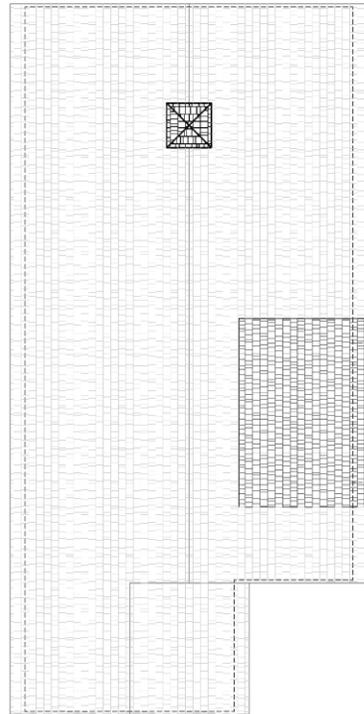
- ALL WINDOWS SPECIFIED UNLESS OTHERWISE NOTED
- EXTERIOR COLOR WHITE
- INTERIOR FINISH PRIMER WHITE
- WOOD KNOB SCREW FINISH 1/2" BY 1" ALL OPERABLE WINDOWS
- UNGLAZED LAMINATED GLASS W/ SPACER BARS
- INTERIOR STYLE, ARCHITECT TO SPECIFY
- INTERIOR FINISH ARCHITECT TO SPECIFY
- CHANGES TO FINISH HARDWARE SHALL BE FINISH PRIOR TO ORDER
- PREMIER THERMOPORE GLASS SHALL APPLY LOCAL REQUIREMENTS PER LOCAL / STATE BUILDING CODES
- METALL WINDOWS PER BUILDING CODE IMPACT REQUIREMENTS CONFORM WITH REQUIREMENTS BY LOCAL BUILDING CODES
- SUBMIT FINAL WINDOW PACKAGES TO ARCHITECT FOR REVIEW PRIOR TO PLACING ORDER

DOORS

- ALL EXTERIOR DOORS ARE TO BE WITHIN 1/2" OF FINISH
- ALL EXTERIOR DOORS ARE TO BE 36" HIGH
- EXTERIOR COLOR ARCHITECT TO SPECIFY
- INTERIOR COLOR ARCHITECT TO SPECIFY
- PREMIER THERMOPORE GLASS AT ALL EXTERIOR DOORS WHERE APPLICABLE
- ALL EXTERIOR DOORS TO HAVE SIMILAR OVERHEAD LIGHTS W/ SPACERS WHERE APPLICABLE
- SEE GENERAL NOTES FOR ALL DOOR SPECIES

KITCHEN NOTES

- CONTACT US TO OBTAIN SUPPLY CATALOGS AND UNITS/PLANS FOR KITCHEN
- CONTRACTOR TO ORDER AND SUPPLY COUNTER, CONTRACTOR TO PROVIDE INSTALLATION OF KITCHEN CABINETS
- CONTRACTOR TO PROVIDE AN METALL ALL MATERIAL FOR COMPLETE INSTALLATION OF KITCHEN CABINETS AND KITCHEN
- ORDER TO PURCHASE ALL KITCHEN APPLIANCES, CONTRACTOR TO INSTALL ALL KITCHEN APPLIANCES



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NEW CONSTRUCTION
AUFDERHAAR RESIDENCE

153 CORPORATION ROAD, SEATTLE, WA 98108

LEGEND

- EXISTING FOUNDATION
- NEW FOUNDATION
- EXISTING WALLS
- DEMITION
- NEW CONSTRUCTION
- BOOK MARKER
- WINDOW MARKER
- PLUMBING MARKER
- APPLIANCE MARKER
- CABINETS MARKER
- EXISTING WINDOW
- NEW WINDOW

| NO. | DESCRIPTION | DATE |
|-----|---------------------|---------|
| 1 | SCHEMATIC PLANS | 2.0.25 |
| 2 | SCHEMATIC PRICING | 2.28.25 |
| 3 | PRICING SET | 5.0.25 |
| 4 | UPDATED PRICING SET | 5.0.25 |

DRAWING

A102

SECOND FLOOR PLAN

SCALE: AS NOTED
JOB NO. 24-30
DRAWN BY: MLR
DATE: 5/16/2025

PRICING SET

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

SECOND FLOOR FINISH AREA = 1,274 SQ. FT.



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info@nichearc.com
508 726 9838

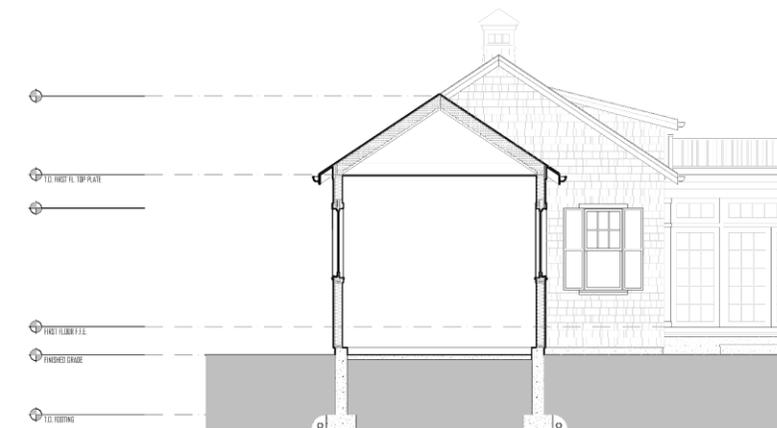
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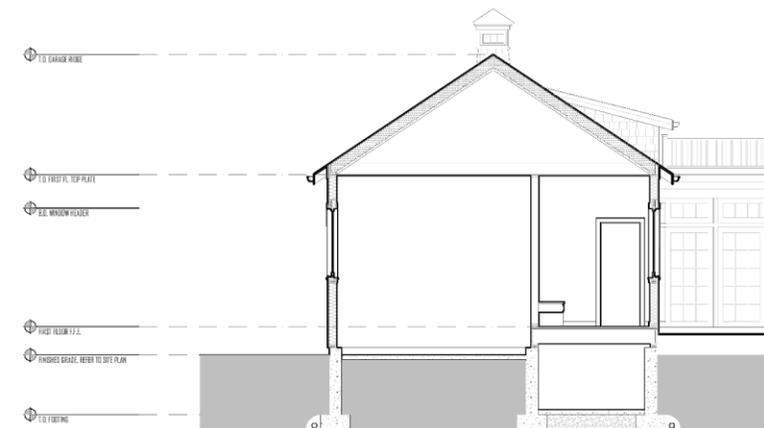
ALL DIMENSIONS ARE TO BE AS SHOWN UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO BE AS SHOWN UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO BE AS SHOWN UNLESS OTHERWISE NOTED.



1 SECTION @ STAIR TOWER
SCALE: 1/4" = 1'-0"



2 SECTION @ GARAGE
SCALE: 1/4" = 1'-0"



3 SECTION @ MUDROOM/ENTRY
SCALE: 1/4" = 1'-0"

NEW CONSTRUCTION
AUFDERHAAR RESIDENCE

153 COPPINHORN ROAD, FENNER, MA 01923

LEGEND

- EXISTING FOUNDATION
- NEW FOUNDATION
- EXISTING WALLS
- NEW CONSTRUCTION
- BRICK HEADER
- WINDOW HEADER
- PLUMBING HEADER
- APPLIANCE HEADER
- ENTRY HEADER
- EXISTING WINDOW
- NEW WINDOW

| NO. | DESCRIPTION | DATE |
|-----|---------------------|---------|
| 1 | SCHEMATIC PLANS | 2.8.23 |
| 2 | SCHEMATIC PRICING | 2.28.23 |
| 3 | PRICING SET | 3.9.23 |
| 4 | UPDATED PRICING SET | 5.8.23 |

DRAWING

A300

BUILDING SECTIONS

SCALE: AS NOTED
DRAWN BY: MLR

DATE: 5/8/2023

PRICING SET



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info@nicheinc.com
508.726.5816

CLIENT: NICHÉ ARCHITECTURE + INTERIORS. THIS DRAWING AND SPECIFICATIONS SHALL REMAIN THE SOLE PROPERTY OF NICHÉ ARCHITECTURE + INTERIORS. NO REPRODUCTION OR PARTIAL REPRODUCTION OF ANY PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN IS PERMITTED WITHOUT THE WRITTEN CONSENT OF NICHÉ ARCHITECTURE + INTERIORS. ANY REPRODUCTION OR PARTIAL REPRODUCTION OF ANY PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN CONSENT OF NICHÉ ARCHITECTURE + INTERIORS SHALL BE CONSIDERED A VIOLATION OF THE ARCHITECT'S PROFESSIONAL ETHICS AND MAY BE SUBJECT TO LEGAL ACTION.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

ALL DIMENSIONS ARE TO BE CHECKED ON-SITE BY THE CONTRACTOR. ANY DISCREPANCIES BETWEEN DIMENSIONS AND THE DRAWING SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



SECTION 01 MASTER CLOSET
SCALE: 1/4" = 1'-0"



SECTION 02 MASTER BEDROOM
SCALE: 1/4" = 1'-0"

NEW CONSTRUCTION
AUFDERHAAR RESIDENCE
615 COMMERCIAL ROAD, DENNIS, MA 01928

- LEGEND**
- EXISTING FOUNDATION
 - NEW FOUNDATION
 - EXISTING WALLS
 - NEW CONSTRUCTION
 - DOOR MARKER
 - WINDOW MARKER
 - PLUMBING MARKER
 - APPLIANCE MARKER
 - CABINETRY MARKER
 - EXISTING WINDOW
 - NEW WINDOW

| NO. | DESCRIPTION | DATE |
|-----|---------------------|---------|
| 1 | SCHEMATIC PLANS | 2.8.25 |
| 2 | SCHEMATIC PRICING | 2.28.25 |
| 3 | PRICING SET | 5.8.25 |
| 4 | UPDATED PRICING SET | 6.18.25 |

DRAWING
A301
BUILDING SECTIONS
SCALE: AS NOTED
JOB NO. 24-03
DRAWN BY: MAR
DATE: 5/8/2025
PRICING SET



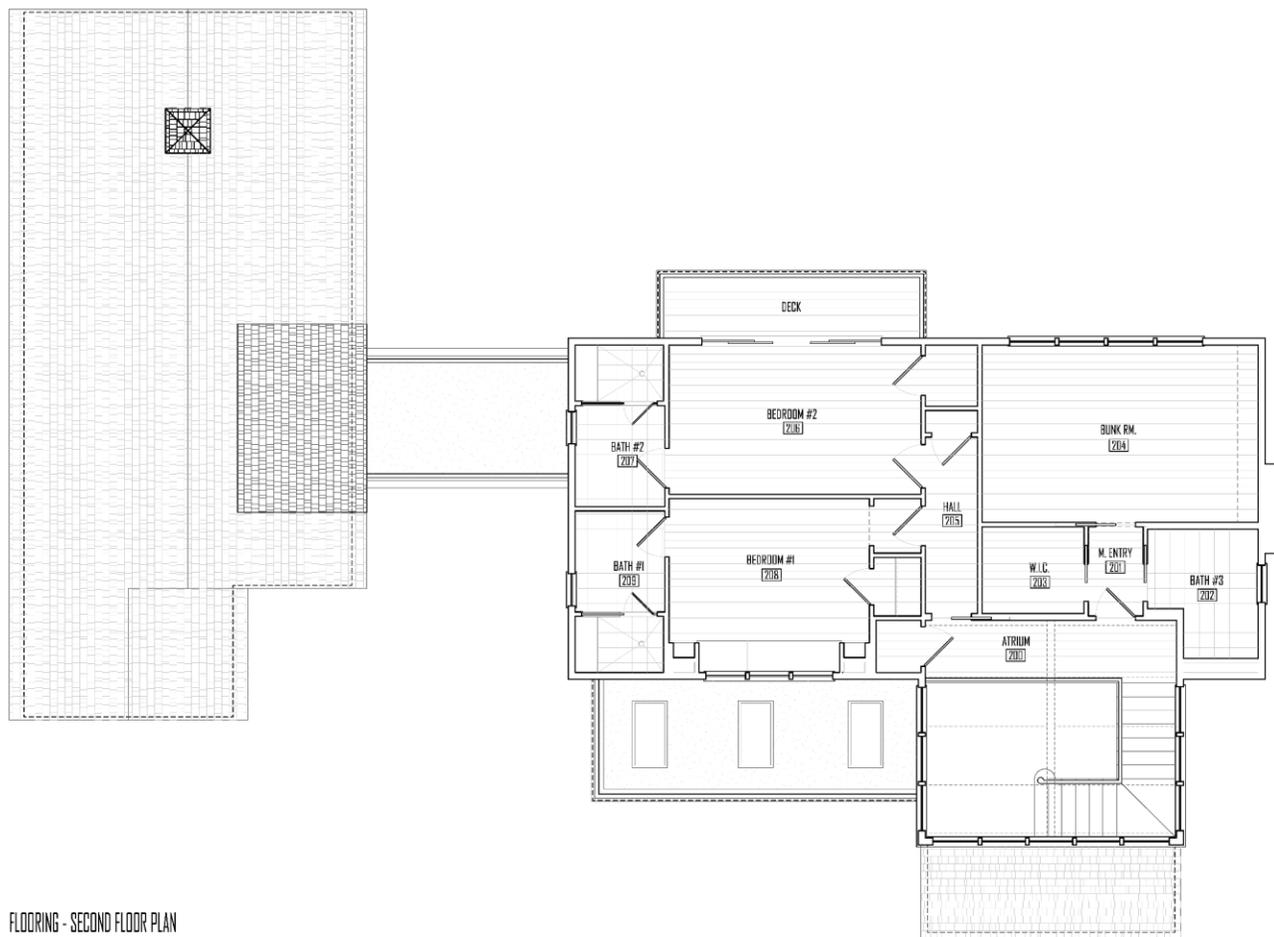
NICHE
architecture + interiors

355 Bayshore Street, Floor 6
Boston, MA 02116
info@nichears.com
508.726.5638

CONTRACTOR AGREEMENT - ARCHITECT'S THIRD DRAWING
THIS DRAWING SHALL BE USED BY THE CONTRACTOR FOR THE PURPOSE OF OBTAINING PERMITS AND FOR THE PURPOSE OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF THE WORKMANSHIP OF THE ARCHITECT. THE ARCHITECT'S THIRD DRAWING SHALL BE USED BY THE CONTRACTOR FOR THE PURPOSE OF OBTAINING PERMITS AND FOR THE PURPOSE OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF THE WORKMANSHIP OF THE ARCHITECT.

THE CONTRACTOR'S RESPONSIBILITY FOR OBTAINING PERMITS
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF THE WORKMANSHIP OF THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF THE WORKMANSHIP OF THE ARCHITECT.

ALL DRAWINGS ARE TO BE CONSIDERED AS IS BY THE CONTRACTOR. ANY UNCORRECTED ERRORS OR OMISSIONS ARE TO BE CORRECTED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF THE WORKMANSHIP OF THE ARCHITECT.



FLOORING - SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

NEW CONSTRUCTION
AUFDERHAAR RESIDENCE
612 CORPORATION ROAD, BARNES, MA 02828

- LEGEND**
- EXISTING FOUNDATION
 - NEW FOUNDATION
 - EXISTING WALLS
 - CONSTRUCTION
 - NEW CONSTRUCTION
 - DOOR MARKER
 - WINDOW MARKER
 - PLUMBING MARKER
 - APPLIANCE MARKER
 - CABINETS MARKER
 - EXISTING WINDOW
 - NEW WINDOW

| NO. | DESCRIPTION | DATE |
|-----|---------------------|---------|
| 1 | SCHEMATIC PLANS | 2/8/25 |
| 2 | SCHEMATIC PRICING | 2/28/25 |
| 3 | PRICING SET | 5/8/25 |
| 4 | UPDATED PRICING SET | 5/15/25 |

DRAWING
A602
FLOORING
SECOND FLOOR PLAN
JOB NO. 24-20
DRAWN BY MAP
DATE: 5/15/2025
PRICING SET

Key: 15992

Town of DENNIS - Fiscal Year 2025

11/12/2024

5:56:51PM

SEQ #: 16,331

| Assessed Owner Of Record | | Parcel ID | | Location | | Class | Mix% | Description | | BLD # | Bldg ID | Card | | | | | | | | | |
|--|-------|----------------------------|-----------|-------------------------|-------|-----------------|--------------|---------------|------------|---|-----------------|-----------|------------|-----------|--------------|----------------|-----------|---------|--|--|--|
| LICCIARDELLO GERTRUDE B | | 386-28-0 | | 152 CORPORATION ROAD DE | | 1010 | 100 | SINGLE FAMILY | | 1 | | 1 of 1 | | | | | | | | | |
| CURRENT OWNER | | TRANSFER HISTORY | | DOS | T | SALE PRICE | BK-PG (Cert) | PMT NO | PMT DT | TY | DESC | AMOUNT | INSP | BY | 1st | % | | | | | |
| AUFDERHAAR DAVID B TRUSTEE | | AUFDERHAAR DAVID B TRUSTEE | | 08/01/2024 | QS | 1,625,000 | 36497-80 | | 12/13/2023 | 71 | TAXPAYER REQ | | 12/13/2023 | KT | 0 | 0 | | | | | |
| AUFDERHAAR FAMILY TRUST | | LICCIARDELLO GERTRUDE B | | 11/17/2023 | DC | | 36092-266 | | 06/03/2021 | 25 | RENTAL PERMI | | 06/03/2021 | | 0 | 0 | | | | | |
| 264 28TH STREET | | LICCIARDELLO ANTHONY THOM | | 02/21/2013 | A | | 27147-178 | EX2345-202 | 12/22/2020 | 3 | ALTERATIONS | 6,600 | 04/08/2022 | KT | 100 | 100 | | | | | |
| SAN FRANCISCO, CA 94131 | | | | | | | | | 06/15/2020 | 25 | RENTAL PERMI | | 06/15/2020 | | 0 | 0 | | | | | |
| | | | | | | | | | 06/03/2019 | 25 | RENTAL PERMI | | 06/03/2019 | | 0 | 0 | | | | | |
| CD | T | ACRES/SF | Nbhd | FEMA | Int1 | ADJ BASE | SAF | Int2 | Lpi | Chot | CREDIT AMT | ADJ VALUE | | | | | | | | | |
| 100 | A | 0.560 | 22 | 1.00 | R | 1.00 | 1 | 1.00 | 1,808,800 | 1.33 | 1 | 1.00 | V16 | 7.00 | | | 1,349,630 | | | | |
| TOTAL | | 24,394 SF | | | | | | Photo Date | | 07/19/2022 | | BLDG # | | 1 | | | | | | | |
| Nbhd | | CORP BEACH | | | | | | Photo | |  | | | | | | | | | | | |
| FEMA | | OLD PK CODE | | | | | | | | | | | | | | | | | | | |
| Int1 | | AVERAGE | | | | | | | | | | | | | | | | | | | |
| TY | QUAL | COND | DIM NOTE | YB | UNITS | ADJ PRICE | RCNLD | | | | | | | | | | | | | | |
| GUS | A | 1.00 | A 0.75 | 20X30 | | 600 | 75.95 | 34,200 | | | | | | | | | | | | | |
| WDK | A | 1.00 | A 0.75 | 13X3 | | 39 | 14.90 | 400 | | | | | | | | | | | | | |
| YrBlt | | 1925 | | NET AREA | | 1,476 | | | | | | | | | | | | | | | |
| COST MODEL | | CURRENT TAXABLE | | PREVIOUS TAXABLE | | | | | | | | | | | | | | | | | |
| SINGLE FAMILY | | 1,349,600 | | 1,297,900 | | | | | | | | | | | | | | | | | |
| GUS = 1 KIT, 1 FULL BATH, 2 BED, 1 LVNGRM, NO HEAT | | BLDG | | DESC | | LAND | | BUILD. | | DETACH | | OTHER | | | | | | | | | |
| | | STYLE | | 1.50 COLONIAL [100%] | | 278,200 | | 290,500 | | 34,600 | | 32,900 | | | | | | | | | |
| | | QUALITY | | 1.00 AVERAGE [100%] | | 0 | | 0 | | 0 | | 0 | | | | | | | | | |
| | | FRAME | | 1.00 WOOD FRAME [100%] | | TOTAL | | 1,662,400 | | 1,621,300 | | | | | | | | | | | |
| Bldg ID | MODEL | YR_BLT | EFF_YR | DLCU | OVCLU | MEASURE | BY | LIST | BY | REVIEW | BY | vwWallHt | NET AREA | SIZE ADJ | ADJ PRICE/SF | RCN | % GD | RCNLD | | | |
| 1 | | 1925 | 1982 / 41 | | 1.000 | 1,520 | 12/13/2023 | KT | 12/13/2023 | KT | 8.0 | 1.00 | 1,476 | 1.010 | \$269.30 | 397,488 | 70 | 278,200 | | | |
| CAPACITY | | UNITS | ADJ | ELEMENT | CD | DESCRIPTION | ADJ | S | BAT | T | DESCRIPTION | UNITS | YB | ADJ PRICE | RCN | TOTAL RCN | 397,488 | | | | |
| STORIES(FAR) | | 1.9 | 1.00 | FOUNDATION | 3 | CONTIN WALL | 1.00 | A | CRL | N | CRL | 322 | | 48.01 | 15,458 | CONDITION ELEM | | CD | | | |
| ROOMS | | 9 | 1.00 | EXT. COVER | 1 | WOOD SHINGLES | 1.00 | + | BAS | L | BASE AREA | 896 | 1925 | 244.59 | 219,156 | EXTERIOR | | A | | | |
| BEDROOMS | | 6 | 1.00 | ROOF SHAPE | 1 | GABLE | 1.00 | A | USF | L | UPPER STORY FIN | 580 | 1925 | 195.45 | 113,362 | INTERIOR | | A | | | |
| BATHROOMS | | 3 | 1.00 | ROOF COVER | 1 | ASPHALT SHINGLE | 1.00 | B | EPA | N | ENCLOSED PORCH | 208 | | 114.26 | 23,768 | KITCHEN | | A | | | |
| FIXTURES | | 6 | \$9,000 | FLOOR COVER | 1 | HARDWOOD | 1.00 | | KIT | O | XTRAKITCHEN | 1 | | 16,746.00 | 16,746 | BATHS | | A | | | |
| RES UNIT CNT | | 1 | 1.00 | INT. FINISH | 2 | DRYWALL | 1.00 | | | | | | | | | HVAC/ELEC | | A | | | |
| | | | | HEATING/COOLING | 2 | HOT WATER | 1.02 | | | | | | | | | | | | | | |
| | | | | FUEL SOURCE | 1 | OIL | 1.00 | | | | | | | | | | | | | | |
| | | | | SEASONAL | | | 1.00 | | | | | | | | | | | | | | |
| | | | | PRIVATE ROAD | 1 | NO | 1.00 | | | | | | | | | | | | | | |
| | | | | HISTORIC DST | 3 | OLD KINGS | 1.00 | | | | | | | | | | | | | | |
| | | | | GENERATOR | | | 1.00 | | | | | | | | | | | | | | |
| | | | | USE | | | 1.00 | | | | | | | | | | | | | | |
| EFF YR/AGE | | 1982 / 41 | | | | | | | | | | | | | | | | | | | |
| COND | | 30 30 % | | | | | | | | | | | | | | | | | | | |
| FUNC | | 0 | | | | | | | | | | | | | | | | | | | |
| ECON | | 0 | | | | | | | | | | | | | | | | | | | |
| DEPR | | 30 % GD | | 70 | | | | | | | | | | | | | | | | | |
| RCNLD | | \$278,200 | | | | | | | | | | | | | | | | | | | |

Commonwealth of Massachusetts



**TOWN OF DENNIS
 BUILDING DEPARTMENT
 ZONING REFERRAL LETTER
 685 Route 134, South Dennis, MA 02660
 (508) 760-6157**

PERMIT NUMBER:
 ZDET-25-48
DATE OF REFERRAL:
 August 8, 2025
FEES PAID:
 \$50.00

OWNERS NAME: AUFDERHAAR DAVID B TRUSTEE
PROPERTY ADDRESS OF WORK: 152 CORPORATION ROAD, DENNIS, MA, 02638
MAP & PARCEL: 386-28-0
DETERMINATION OF REFERRAL: Zoning Board of Appeals (ZBA) special permit required per 2.4.1.2. (C.2) for the voluntary demolition and reconstruction on a non-conforming lot.

ISSUED BY:

DESCRIPTION OF WORK BY APPLICANT:
 Voluntary demolition and reconstruction on a non-conforming lot.

A handwritten signature in black ink, appearing to read "David B. Aufderhaar", is written over the "ISSUED BY:" label.