

118 TAUNTON AVENUE (ZBAS-25-39): Robert Langway, 123 Carriage Hill Circle, Southborough, MA (01772) C/O Tullio Pereira of Imagine Building Solutions is seeking a Special Permit for alterations that will extend lot coverage and increase height and footprint of a non-conforming structure on a non-conforming lot. Located on a property in the R-40 Zoning District, part of Old King's Highway Historic, partially in the AE Flood Zone, at 118 Taunton Avenue Dennis MA (Assessor's Map 344, Parcel 122).

Find Properties

Owner:

Parcel ID:

Address: [Clear](#)

Condo/Cottage Colony:

Results Summary

Parcels

Parcel ID	Address	Village	Owner
344-122-0	118 TAUNTON	DE	LANGWAY ROE

Detail Information [Zoom To](#)

Key	14151
Fiscal Year	2026
Extension	0
Address	118 TAUNTON AVENUE
Village	DE
Property Type	R
Owner	LANGWAY ROBERT
Co-Owner	LANGWAY NANCY
Owner Address	123 CARRIAGE HILL CIRCLE
Owner City	SOUTHBOROUGH
Owner State	MA
Owner Zip	01772
Owner Country	
State Class #	1010
State Class Desc	SINGLE FAMILY
Deed Date	01/10/25 00:00:00
Book	36775
Page	336
Certificate	
Last Sale Price	1200000.0000
Total Value	\$1,255,300.00
Land Value	\$976,300.00
Building Value	\$271,900.00
Detached Building Value	\$7,100.00
Acres	0.13
Prev Year Total Value	\$1,114,400.00
Property Card	PK Field Card



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Address: Clear

Condo/Cottage Colony:

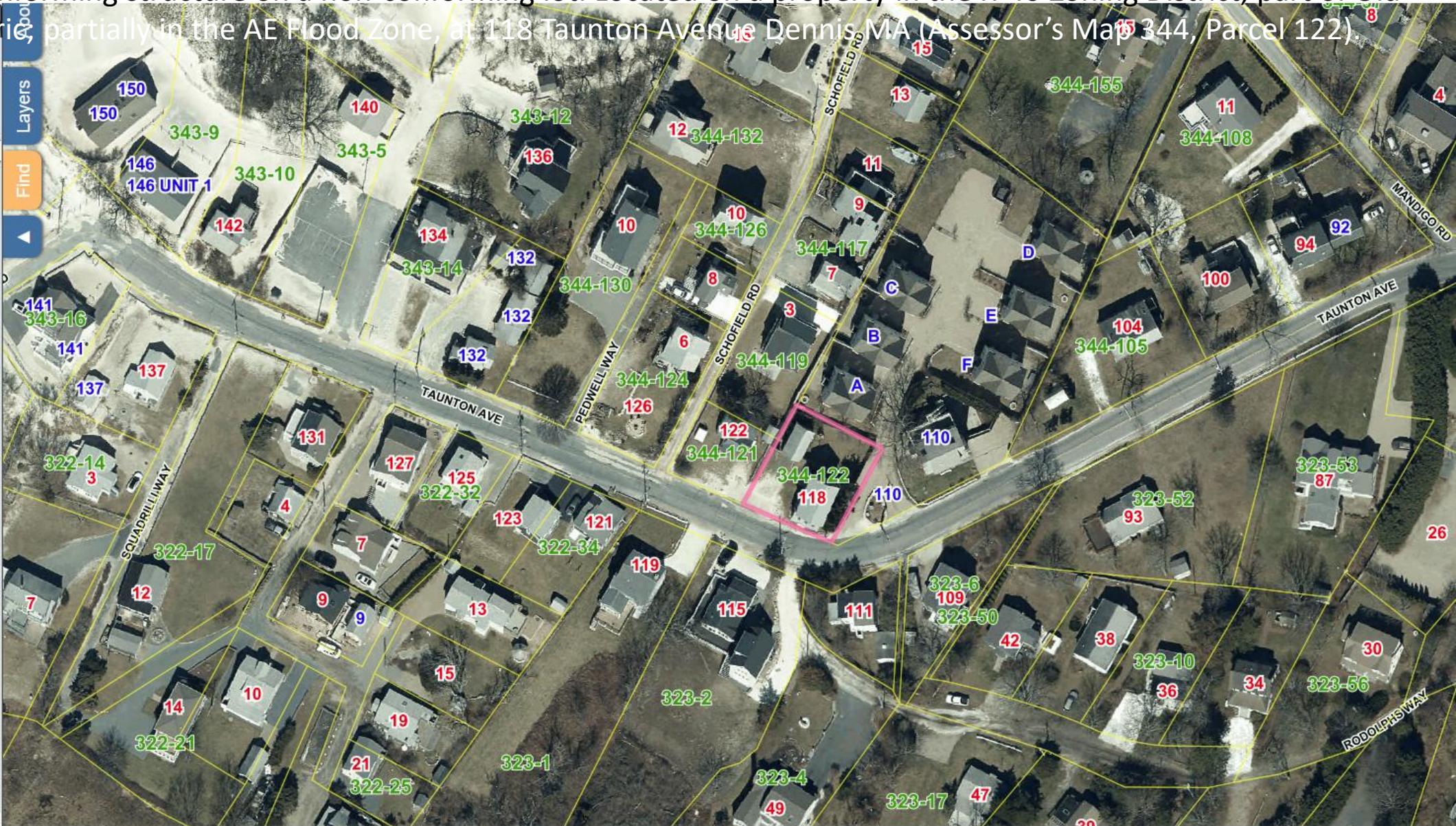
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Historic Districts

- Old King's Highway Hist. Distr. (2024)
- South Dennis Hist. Distr. (2025)

Condo and Cottage Colonies

Infrastructure Points

2020 Aerial Planimetrics

Hurricane SLOSH

FEMA Flood Zones

Voting Precincts

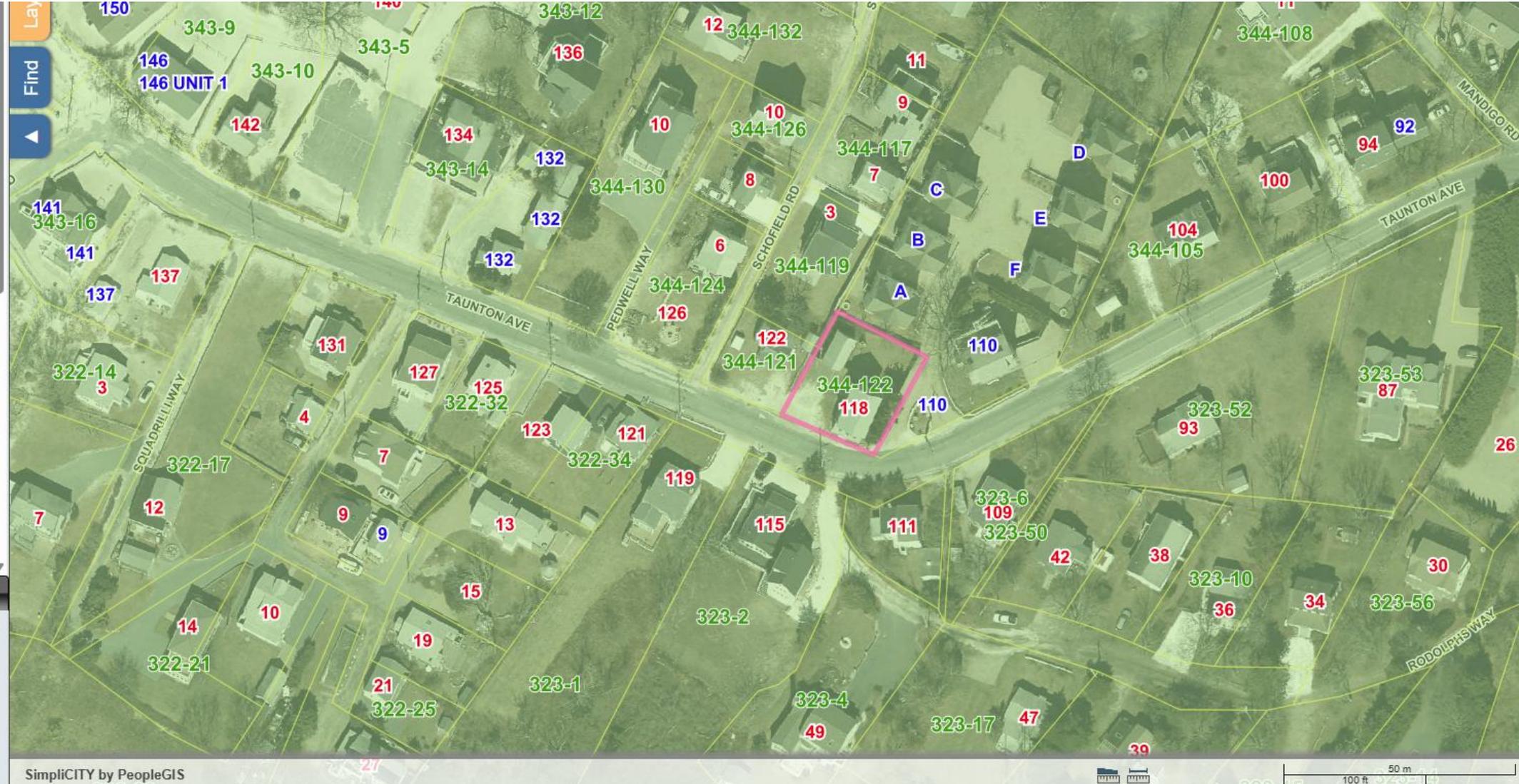
Elevation

MassDEP Regulated Areas

- Activity and Use Limitations Sites
- Tier Classified Oil and/or Hazardous Material - 21E Sites
- DWD Zone II - Sept. 29 2005 - June 10 2022
 - Zone II Area - Old
 - Zone II Area (New)
- DEP Zone II - June 10 2022
 - Zone II Area (New)
- MA DEP Wetlands
 - Marsh/Bog
 - Wooded Swamp

Base Maps

- Google Hybrid Map
- Google Street Map
- 2023 MassGIS Orthos
- CCC 2020 Aerial Imagery
- MassGIS 2014 Orthos
- MassGIS 2005 Orthos
- MassGIS 1994 Orthos
- Town Base Map



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Map interface controls including layers, find, and base maps.

- Layers
 - Environmental Justice 2020 (updated 2021)
 - Zoning
 - Historic Districts
 - Condo and Cottage Colonies
 - Infrastructure Points
 - 2020 Aerial Planimetrics
 - Hurricane SLOSH
 - FEMA Flood Zones
 - FEMA Flood Zone 2014 - 0.2%
 - 0.2% Chance
 - FEMA Flood Zone 2014 - AE
 - AE
 - FEMA Flood Zone 2014 - VE
 - VE
 - Voting Precincts
 - Elevation
 - MassDEP Regulated Areas
 - MA NHESP Certified Vernal Pools
 - MA NHESP Potential Vernal Pools
 - NHESP 8-1-2021 Estimated Habitat Rare Species Dennis
 - NHESP 8-1-2021 Priority Habitat Rare Species Dennis
 - Land Use (Last Update 2013)
- Base Maps
 - Google Hybrid Map
 - Google Street Map
 - 2023 MassGIS Orthos
 - CCC 2020 Aerial Imagery
 - MassGIS 2014 Orthos
 - MassGIS 2005 Orthos
 - MassGIS 1994 Orthos
 - Town Base Map

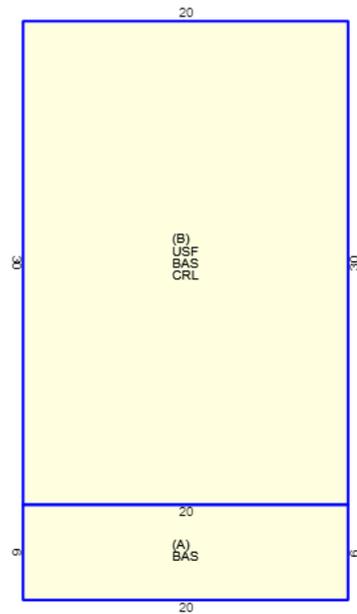


Key: 14151

Town of DENNIS - Fiscal Year 2025

11/12/2024 5:56:51PM SEQ #: 14,493

Assessed Owner Of Record		Parcel ID		Location		Class	Mix%	Description		BLD #	Elda ID	Card									
VALENTE MARCIAL		344-122-0		118 TAUNTON AVENUE DE		1010	100	SINGLE FAMILY		1		1 of 1									
CURRENT OWNER		TRANSFER HISTORY		DOS	T	SALE PRICE	BK-PG (Cert)	PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st	%					
VALENTE MARCIAL 6 WYETH CIRCLE SOUTHBORO, MA 01772-1112		VALENTE MARCIAL MAHON GEOFFREY LET AL CARNEY		06/20/2001	QS	400,000	13958-172	2015-0835	04/22/2020	41	FOL-RECEIVED		04/22/2020	FOL	0	0					
				12/01/1986	QS	140,000	5428-121		06/30/2015	99	N/A	5,000	06/30/2015	EMZ	100	100					
				04/29/1985	QS	95,000	N/A/N/A	2013-0641	05/24/2013	77	CYCLICAL REV		03/12/2015	AGF	0	0					
									07/01/2010	25	ALTERATIONS	3,000	06/16/2013	APK	100	100					
											RENTAL PERMI		07/01/2010		0	0					
CD	T	ACRES/SF	Nbhd	FEMA	Int1	ADJ BASE	SAF	Int2	Lpi	Chot	CREDIT AMT	ADJ VALUE									
100	A	0.130	23	1.00	R	1.00	1	1.00	1,808,800	4.15	1	1.00	V17	7.00			976,320				
TOTAL		5,663 SF		LOC = PROX TO BEACH LC PLAN 36447-B PLAN 36/129				Photo Date		12/11/2015		BLDG #		1							
Nbhd		TAUNTON																			
FEMA		OLD PK CODE																			
Int1		AVERAGE																			
TY	QUAL	COND	DIM NOTE	YB	UNITS	ADJ PRICE	RCNLD														
DGF	A	1.00	A- 0.70	14 X 24		336	30.20	7,100													
YrBlt		1950		NET AREA		1,320															
COST MODEL		CURRENT TAXABLE		PREVIOUS TAXABLE																	
SINGLE FAMILY																					
BLDG		ADJ		DESC		LAND		976,300		838,300											
STYLE		1.50		COLONIAL [100%]		BUILD.		271,900		269,300											
QUALITY		1.00		AVERAGE [100%]		DETACH		7,100		6,800											
FRAME		1.00		WOOD FRAME [100%]		OTHER		0		0											
TOTAL						TOTAL		1,255,300		1,114,400											
BLD#ID	MODEL	YR BLT	EFF YR	DLCU	OVCU	MEASURE	BY	LIST	BY	REVIEW	BY	vw/valHt	NET AREA	SIZE ADJ	ADJ PRICE/SF	RCN	% GD	RCNLD			
1		1950	1996 / 27		1.000	1.530	8/16/2013	APK		8/16/2013	APK	8.0	1.00	1,320	1.020	\$271.07	357,819	76	271,900		
CAPACITY		UNITS	ADJ	ELEMENT		CD	DESCRIPTION		ADJ	S	BAT	T	DESCRIPTION		UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	357,819	
STORIES(FAR)		2	1.00	FOUNDATION		3	CONTIN WALL		1.00	+	BAS	L	BASE AREA		720	1950	248.64	179,021	CONDITION ELEM		CD
ROOMS		6	1.00	EXT. COVER		1	WOOD SHINGLES		1.00	B	CRL	N	CRL		600		48.80	29,280	EXTERIOR		G
BEDROOMS		2	1.00	ROOF SHAPE		1	GABLE		1.00	B	USF	L	UPPER STORY FIN		600	1950	198.69	119,211	INTERIOR		A
BATHROOMS		1	1.00	ROOF COVER		1	ASPHALT SHINGLE		1.00	FPL	O	FPL	FIREPLACE		1		11,242.60	11,243	KITCHEN		G
FIXTURES		4	\$6,000	FLOOR COVER		1	HARDWOOD		1.00	GFP	O	GAS FIREPLACE			1		9,191.90	9,192	BATHS		A
RES UNIT CNT		1	1.00	INT. FINISH		2	DRYWALL		1.00	ODS	O	OUT DOOR SHOWER			1		3,871.80	3,872	HVAC/ELEC		G
				HEATING/COOLING		9	WARM/COOL AIR		1.03												
				FUEL SOURCE		2	GAS		1.00												
				SEASONAL		1	YES		1.00												
				PRIVATE ROAD		1	NO		1.00												
				HISTORIC DST		3	OLD KINGS		1.00												
				GENERATOR		1	USE		1.00												
				USE		1			1.00												
EFF.YR/AGE		1996 / 27																			
COND		24 24 %																			
FUNC		0																			
ECON		0																			
DEPR		24 % GD		76																	
RCNLD		\$271,900																			



Project Summary

Location & Sheets:

118 Taunton Ave, Dennis, MA. Drawings titled "STRUCTURAL – 118 TAUNTON AVE, DENNIS MA", sheets S-001 (General Notes), EX-100 (Existing), S-100 (Proposed), S-200 (Foundations/Framing), and S-300 (Sections/Details).

Scope of Work (Major Elements)

The project consists of construction at a **single-family residence** located at 118 Taunton Ave, Dennis, MA.

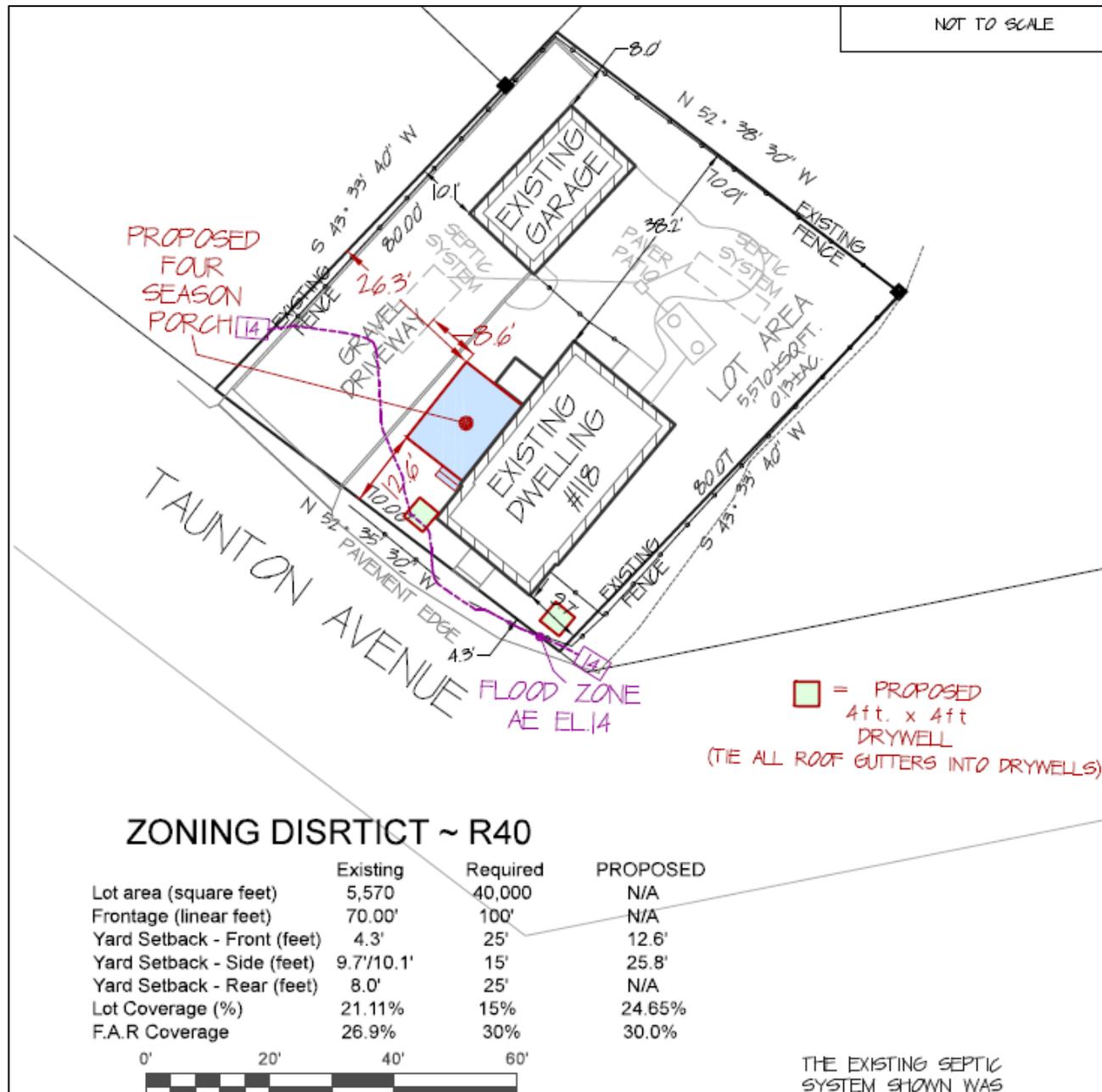
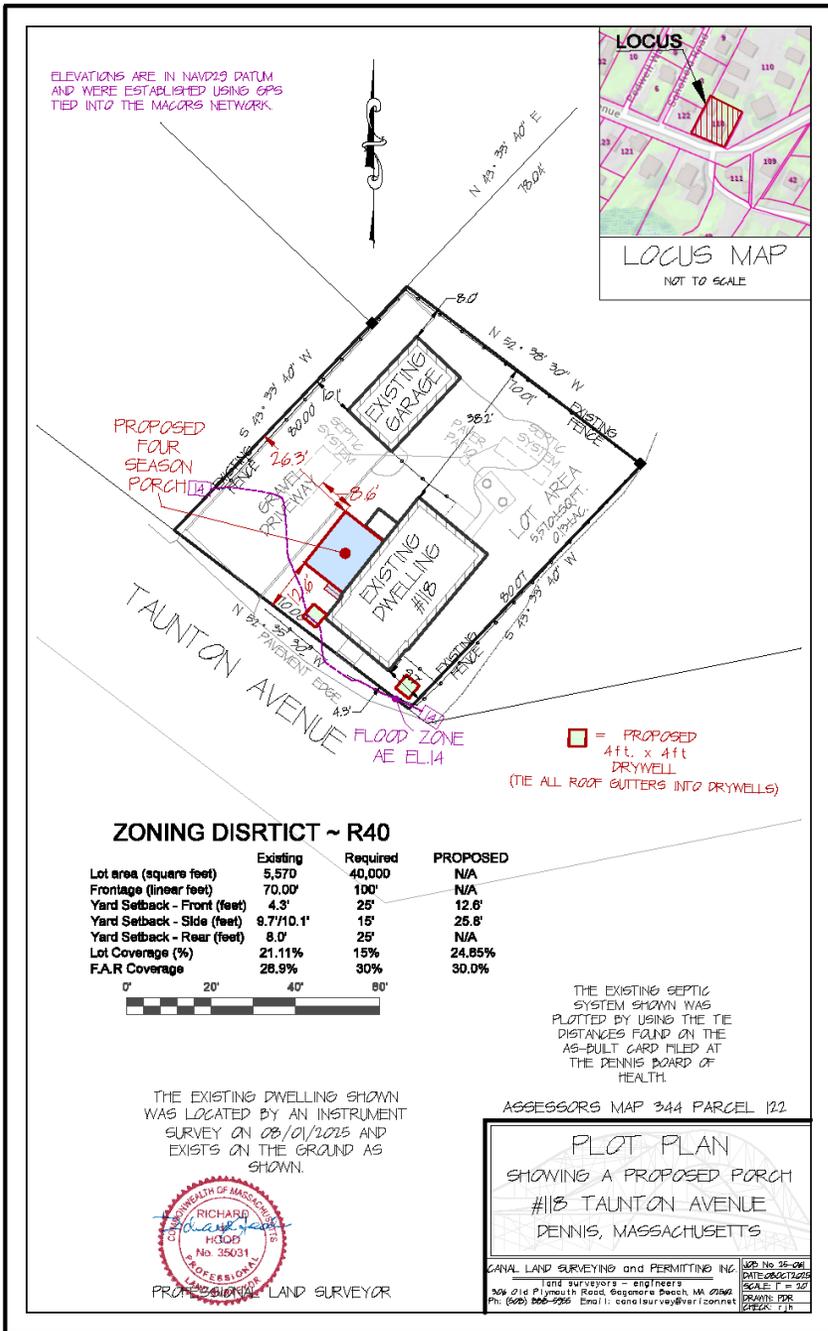
Work includes removing the existing deck and constructing a new **three-season porch** on the same footprint, now revised to **15'-7" × 11'-6"**, to comply with the **30% FAR requirement** confirmed by the surveyor and the **Dennis Zoning Board**.

This adjustment reflects the 1-foot reduction requested at the last meeting to maintain compliance with the allowable floor area ratio.

Structural Scope:

- **Foundations:** (12) 12" diameter sonotube piers, 48" minimum embedment with 24" base, 3000 psi concrete, ABU66 post bases, 5/8" anchor bolts; 6×6 PT posts per plan. (Ref. Detail F.03 on S-200.)
- **Floor Framing:** 2×10 PT joists @16" o.c., triple 2×12 PT drop beam, and 2×10 PT ledger attached to house structure per approved fastening schedule. (Details D.01/D.04, S-200.)
- **Roof Structure:** Gable-style roof attached to the existing home ridge; 2×10 SPF joists @16" o.c., multiple (2–3) 2×8 SPF headers at window/door openings; hurricane ties (H2.5A) and hangers (LUS series) as noted. (S-200, S-300.)
- **Guardrails/Handrails:** 42" guard height and <4" sphere compliance; Simpson DTT2Z through-bolt post connection per S-300.
- **Sheathing:** 3/4" T&G floor decking; wall and roof sheathing per General Notes (S-001).
- **Hardware:** All structural connectors to be Simpson Strong-Tie or approved equal, hot-dip galvanized or ZMAX finish (H2.5AZ, LUS, CC/BC caps, DTT2Z).

118 TAUNTON AVENUE: Revised Site Plan





© 2014 Google









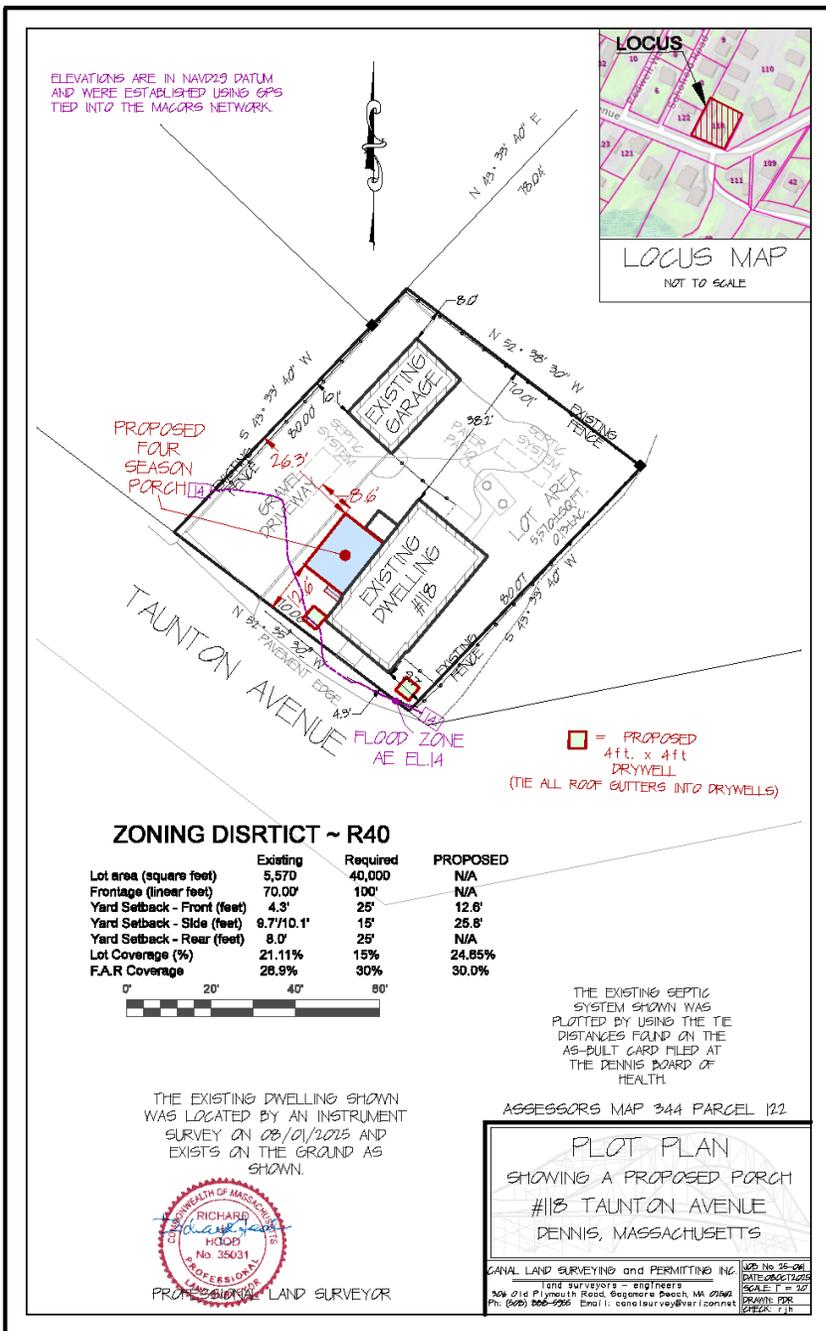








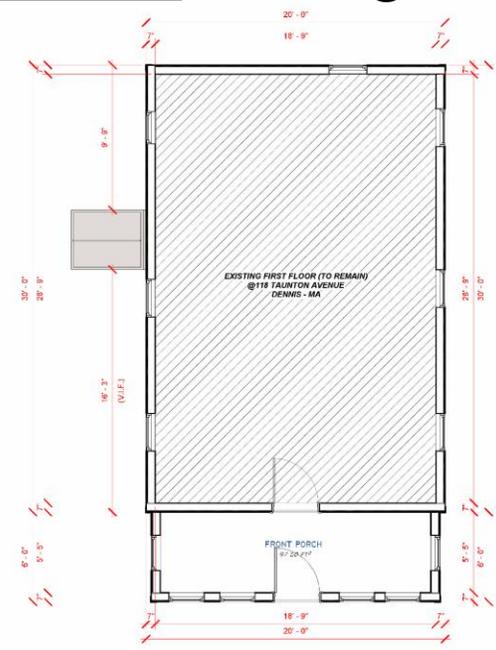
Plan Deficient at time – Needs to be revised



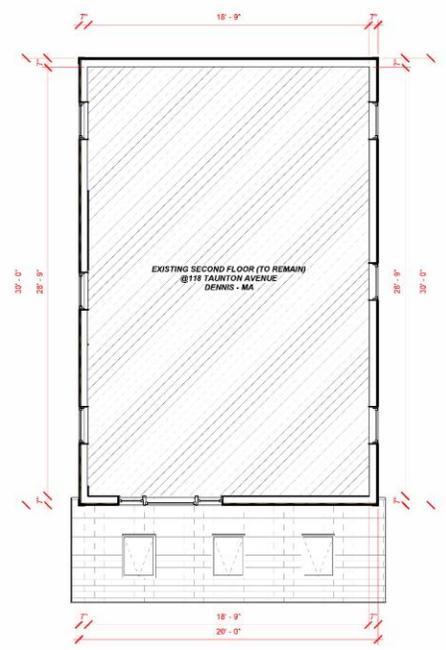
- The proposal is a small addition on a small lot. However, the plans submitted do not include all of the required existing and proposed basic site data including lot coverage and floor area ratio or accurate flood plain information.
- Staff measured the plans and finds the Lot Coverage in Gross Square Feet (20' by 30' times 2 floors, plus a 120-sf porch (20' by 6') and a 375-sf garage (25' by 15') is 1,095-sf or 19.5% of the 5,570-sf lot.
- For the Floor Area Ratio, the livable area with the exterior walls on all floors was removed for the calculation. {First Floor 539 sf (18.75' by 28.75') plus Second Floor 539 sf (18.75' by 28.75') plus Porch (18.75' by 5.5') plus garage (24' by 11') plus new porch (11.5' by 14.5'). Total of 1,683.75-sf or 30.2 % of 5,570 sf. The plan needs to be reduced by approximately 14 square feet to get under 30% F.A.R.
- The site plan shows two septic systems for this small 2-bedroom, 1-bathroom house. Why? Assessor notes narrative describes this as a two-unit dwelling whereas Assessing has listed as two-bedroom single-family. Assessing is requesting an interior site visit.
- **Recommendation at this time:** The plan needs to be revised and include all relevant information before the Board may find that a lawful pre-existing non-conforming structure exists on the property and the proposed addition, as conditioned, will not be substantially more detrimental to the neighborhood than the existing structure. The Board should wait for a revised site plan with all of the required information accurately included on the stamped plan and showing the revised proposal under 30% so that the Decision contains the proper plan citation. The issue of the number units as listed by Assessing and why there are two septic systems needs to be resolved.

118 TAUNTON AVENUE: Existing

PROJECT NAME
113 TAUNTON AVE
DENNIS - MA



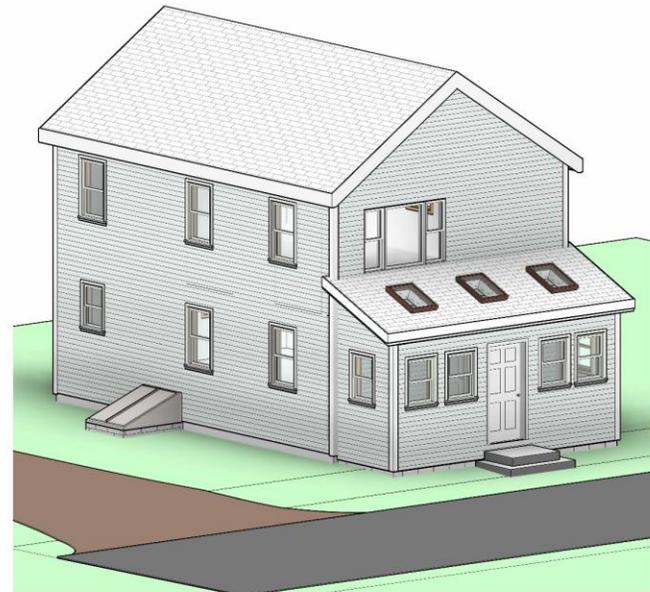
EXISTING FIRST FLOOR PLAN VIEW
SCALE: 1/4" = 1'-0"



EXISTING SECOND FLOOR PLAN VIEW
SCALE: 1/4" = 1'-0"

NOTE:
SOME FEATURES ARE NOT SHOWN FOR CLARITY.
SEE ALL PROJECT PLANS, SECTIONS AND DETAILS FOR
COMPLETE UNDERSTANDING. CONTACT ENGINEER FOR
CLARIFICATIONS IF NECESSARY.

SHORING NOTE:
THE CONTRACTOR IS REQUIRED TO INSTALL ADEQUATE
TEMPORARY SHORING TO FULLY SUPPORT ALL AFFECTED
STRUCTURAL ELEMENTS PRIOR TO THE COMMENCEMENT OF
DEMOLITION. THE SHORING SYSTEM MUST CARRY SAFELY ALL
IMPOSED LOADS AND REMAIN IN PLACE UNTIL PERMANENT
STRUCTURAL SUPPORT IS INSTALLED.



EXISTING ISOMETRIC
NOT TO SCALE



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



DRAWING TITLE
STRUCTURAL
EXISTING PLANS AND ELEVATION
VIEWS, ISOMETRIC

NO.	REVISION	DATE
1	REVISION 1	06/19/2025

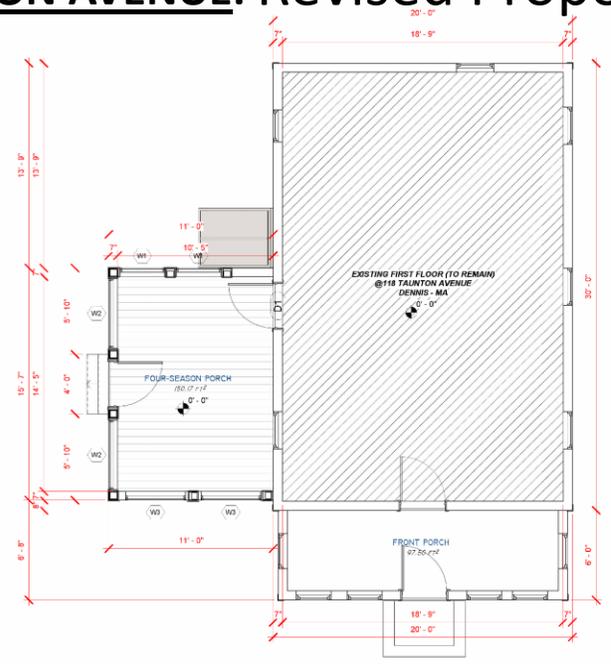
DATE: JUL 10 2025 SHEET NO: 2 OF 5
DRAWN BY: FS CHECKED BY: FH
BY: BH

EX-100

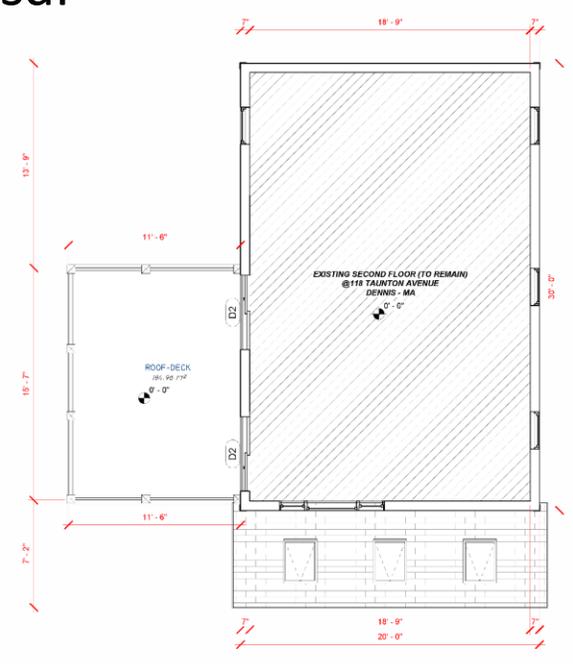
118 TAUNTON AVENUE: Revised Proposal

PROJECT NAME
118 TAUNTON AVE
DENNIS - MA

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PROPOSED FIRST FLOOR PLAN VIEW
SCALE: 1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN VIEW
SCALE: 1/4" = 1'-0"



PROPOSED ISOMETRIC
NOT TO SCALE



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

Level	Mark	SIZE		Qty
		WIDTH	HEIGHT	
FIRST FLOOR	D1	3'-0"	6'-8"	1
FIRST FLOOR	D3	3'-0"	6'-8"	1
SECOND FLOOR	D2	5'-0"	6'-8"	2

Level	Mark	SIZE		SILL HEIGHT	Qty
		WIDTH	HEIGHT		
FIRST FLOOR	W1	3'-0"	5'-0" 1'-8"	2	
FIRST FLOOR	W2	4'-8"	5'-0" 1'-8"	2	
FIRST FLOOR	W3	4'-0"	5'-0" 1'-8"	2	

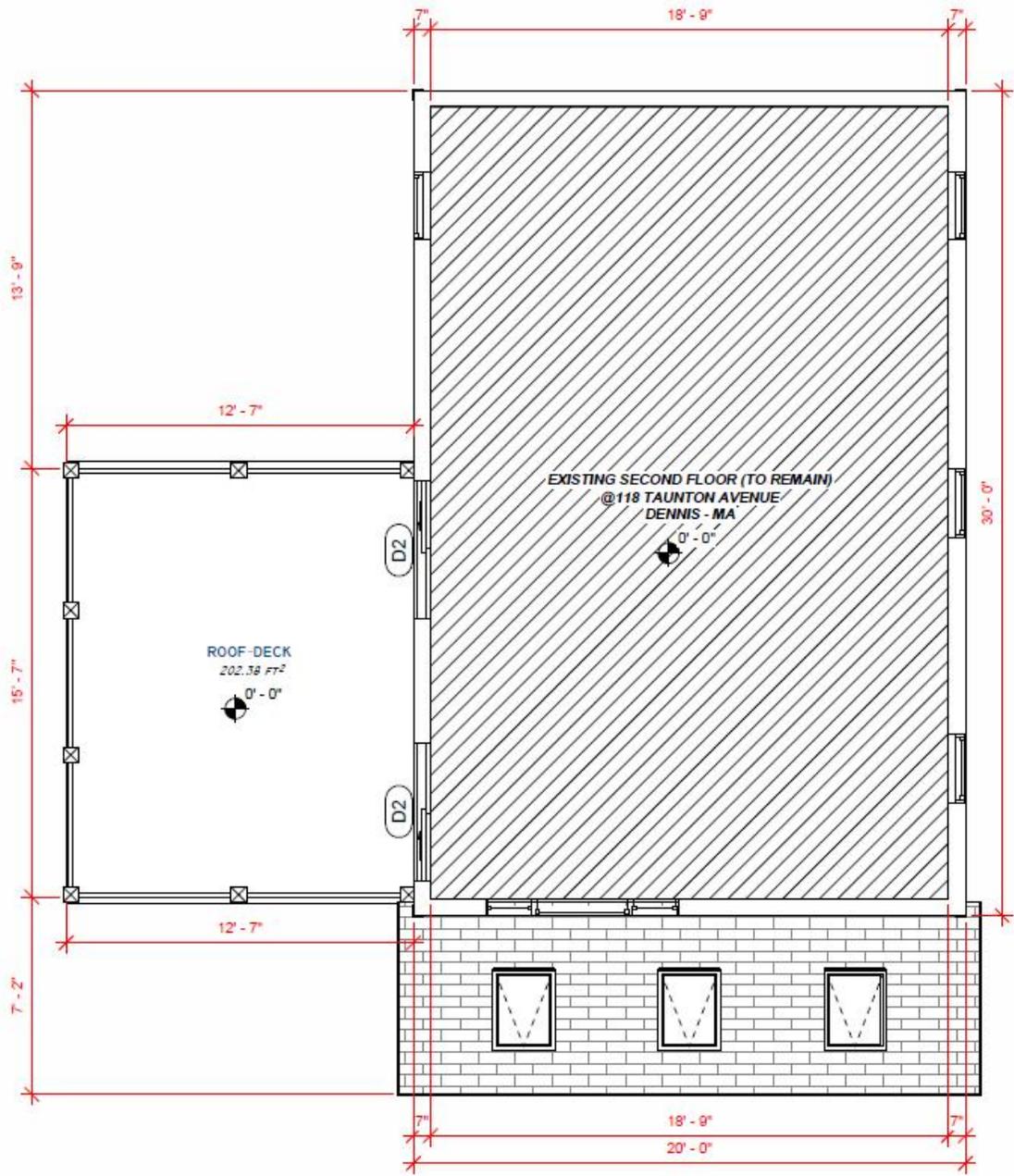


DRAWING TITLE
ARCHITECTURAL
PROPOSED PLANS AND
ELEVATION VIEWS, ISOMETRIC

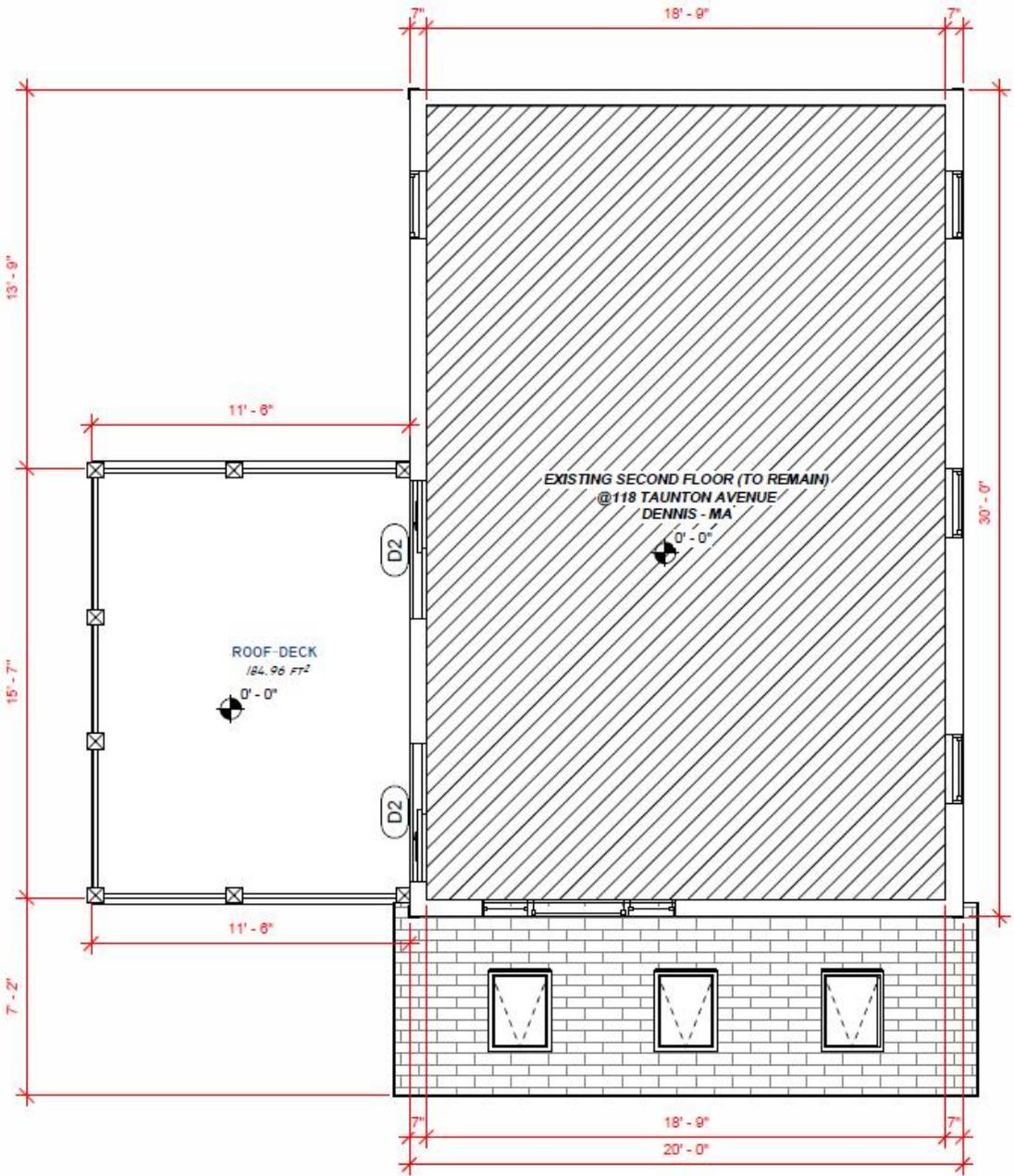
No.	REVISION	DATE
1	REVISION 1	08/12/2025
2	CABLE RAILINGS	09/08/2025
3	REVISION 3	10/01/2025
4	ADOPTION RESIZE	10/08/2025

DATE: JUL 10 2025
DRAWN BY: FS
CHECKED BY: FH

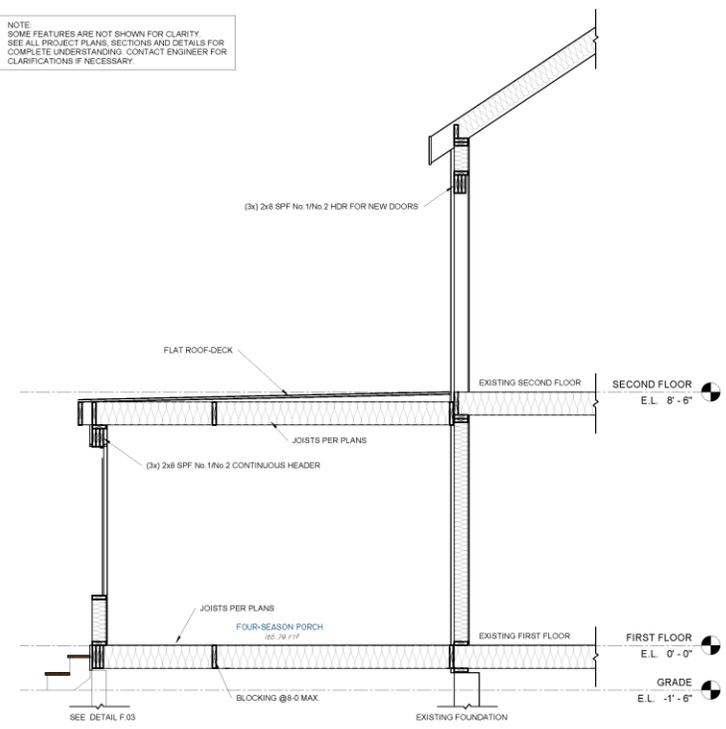
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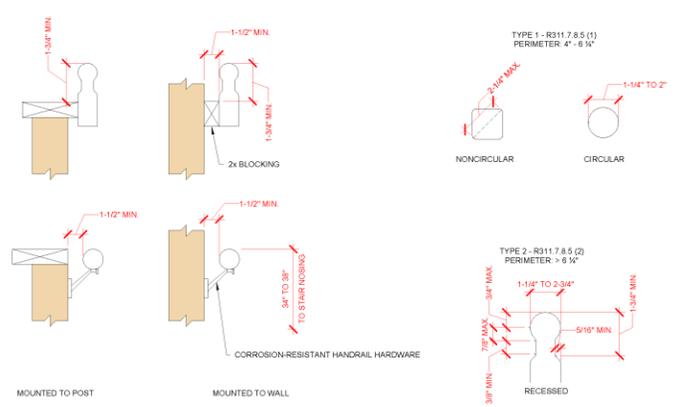
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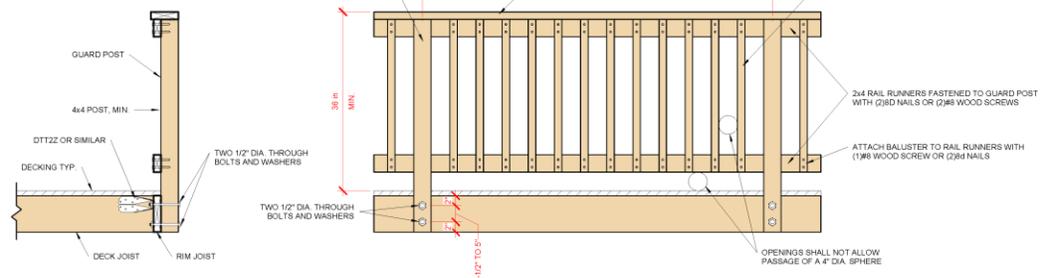
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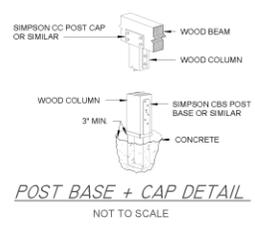
SCHEMATIC SECTION
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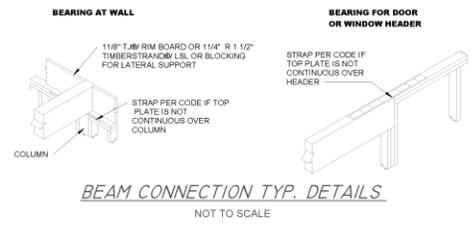
HANDRAIL MOUNT & GRIP
 NOT TO SCALE



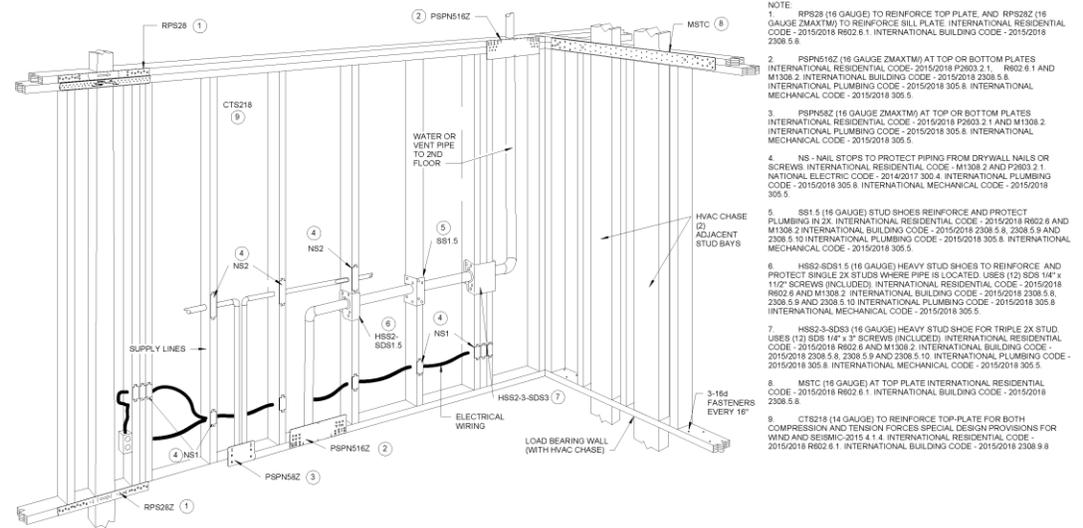
D.03 - DECK HANDRAIL TYP. DETAIL
 NOT TO SCALE



POST BASE + CAP DETAIL
 NOT TO SCALE



BEAM CONNECTION TYP. DETAILS
 NOT TO SCALE



OPENINGS ASSEMBLY
 NOT TO SCALE

- NOTE:
- RPS28 (16 GAUGE) TO REINFORCE TOP PLATE, AND RPS28Z (16 GAUGE 2MAXTM) TO REINFORCE SILL PLATE. INTERNATIONAL RESIDENTIAL CODE - 2015/2018 R802.6.1. INTERNATIONAL BUILDING CODE - 2015/2018 2308.5.8.
 - PSPN516Z (16 GAUGE 2MAXTM) AT TOP OR BOTTOM PLATES. INTERNATIONAL RESIDENTIAL CODE - 2015/2018 P2603.2.1. R802.6.1 AND M1308.2. INTERNATIONAL BUILDING CODE - 2015/2018 2308.5.8. INTERNATIONAL PLUMBING CODE - 2015/2018 305.8. INTERNATIONAL MECHANICAL CODE - 2015/2018 305.5.
 - RHFN68Z (16 GAUGE 2MAXTM) AT TOP OR BOTTOM PLATES. INTERNATIONAL RESIDENTIAL CODE - 2015/2018 P2603.2.1 AND M1308.2. INTERNATIONAL PLUMBING CODE - 2015/2018 305.8. INTERNATIONAL MECHANICAL CODE - 2015/2018 305.5.
 - NS - NAIL STOPS TO PROTECT PIPING FROM DRYWALL NAILS OR SCREWS. INTERNATIONAL RESIDENTIAL CODE - M1308.2 AND P2603.2.1. NATIONAL ELECTRIC CODE - 2014/2017 300.4. INTERNATIONAL PLUMBING CODE - 2015/2018 305.8. INTERNATIONAL MECHANICAL CODE - 2015/2018 305.5.
 - S81.5 (16 GAUGE) STUD SHOES REINFORCE AND PROTECT PLUMBING (2X). INTERNATIONAL RESIDENTIAL CODE - 2015/2018 R802.6 AND M1308.2. INTERNATIONAL BUILDING CODE - 2015/2018 2308.5.8, 2308.5.9 AND 2308.5.10. INTERNATIONAL PLUMBING CODE - 2015/2018 305.8. INTERNATIONAL MECHANICAL CODE - 2015/2018 305.5.
 - HSS2-SDS1.5 (16 GAUGE) HEAVY STUD SHOES TO REINFORCE AND PROTECT SINGLE 2X STUDS WHERE PIPE IS LOCATED. USES (12) SDS 1/4" x 1 1/2" SCREWS (INCLUDED). INTERNATIONAL RESIDENTIAL CODE - 2015/2018 R802.6 AND M1308.2. INTERNATIONAL BUILDING CODE - 2015/2018 2308.5.8, 2308.5.9 AND 2308.5.10. INTERNATIONAL PLUMBING CODE - 2015/2018 305.8. INTERNATIONAL MECHANICAL CODE - 2015/2018 305.5.
 - HSS2-3-SDS3 (16 GAUGE) HEAVY STUD SHOE FOR TRIPLE 2X STUDS. USES (12) SDS 1/4" x 3" SCREWS (INCLUDED). INTERNATIONAL RESIDENTIAL CODE - 2015/2018 R802.6 AND M1308.2. INTERNATIONAL BUILDING CODE - 2015/2018 2308.5.8, 2308.5.9 AND 2308.5.10. INTERNATIONAL PLUMBING CODE - 2015/2018 305.8. INTERNATIONAL MECHANICAL CODE - 2015/2018 305.5.
 - MSTC (16 GAUGE) AT TOP PLATE. INTERNATIONAL RESIDENTIAL CODE - 2015/2018 R802.6.1. INTERNATIONAL BUILDING CODE - 2015/2018 2308.5.8.
 - CTS218 (14 GAUGE) TO REINFORCE TOP PLATE FOR BOTH COMPRESSION AND TENSION FORCES. SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC-2015.4.1.4. INTERNATIONAL RESIDENTIAL CODE - 2015/2018 R802.6.1. INTERNATIONAL BUILDING CODE - 2015/2018 2308.9.8.



DRAWING TITLE
STRUCTURAL
 SCHEMATIC SECTION AND
 TYPICAL DETAILS

No.	REVISION	DATE
1	REVISION 1	06/19/2025

DATE: JUL 10 2025 SHEET # 5 OF 5
 DRAWN BY: FS CHECKED BY: FH
 SHEET: **S-300**