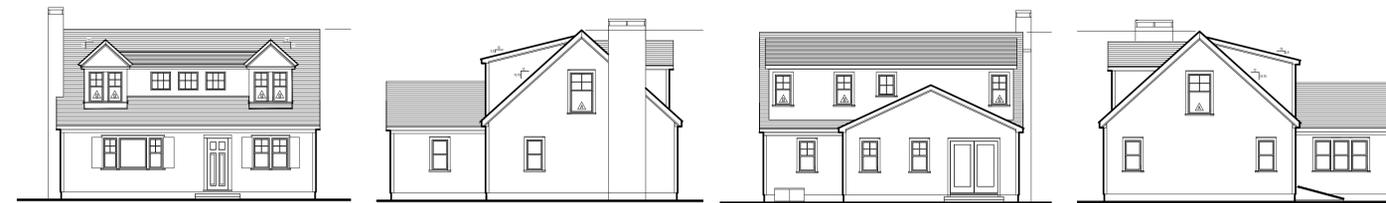


Residence

17 Ellis Drive
Dennis Port, MA 02639



North Elevation

East Elevation

South Elevation

West Elevation

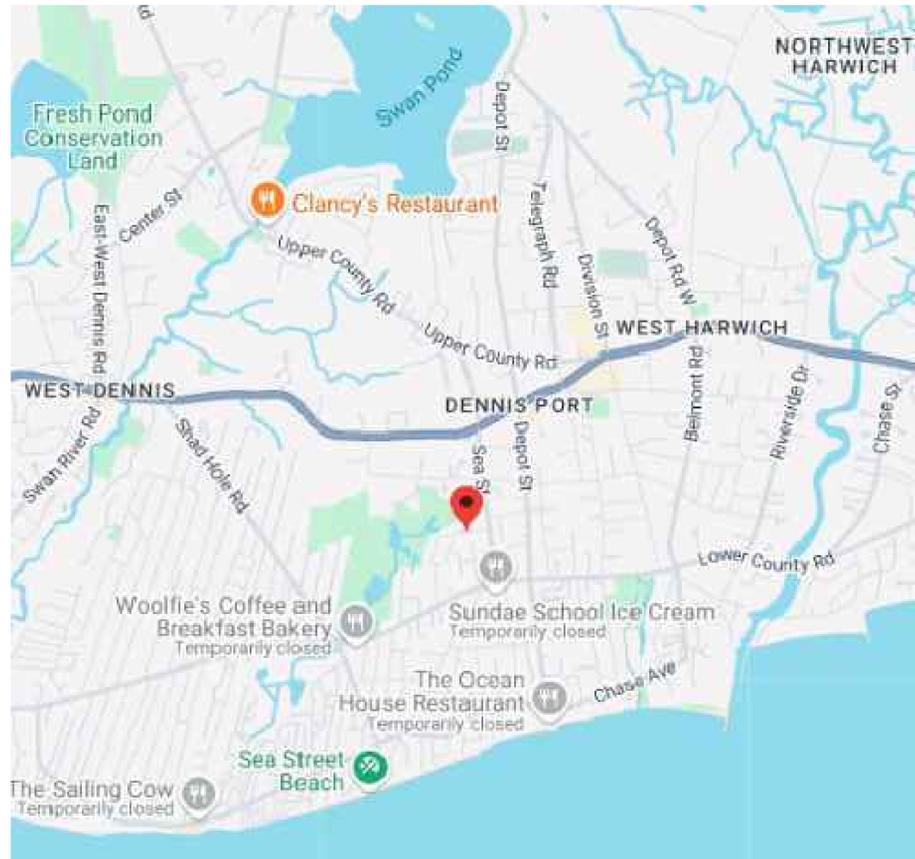
17 Ellis Drive
Dennis Port, MA
02639



COVER SHEET

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Permit Set Submission - 10.30.2025



1 Locus Map
Graphic Scale



EXISTING FRONT

2 Existing House

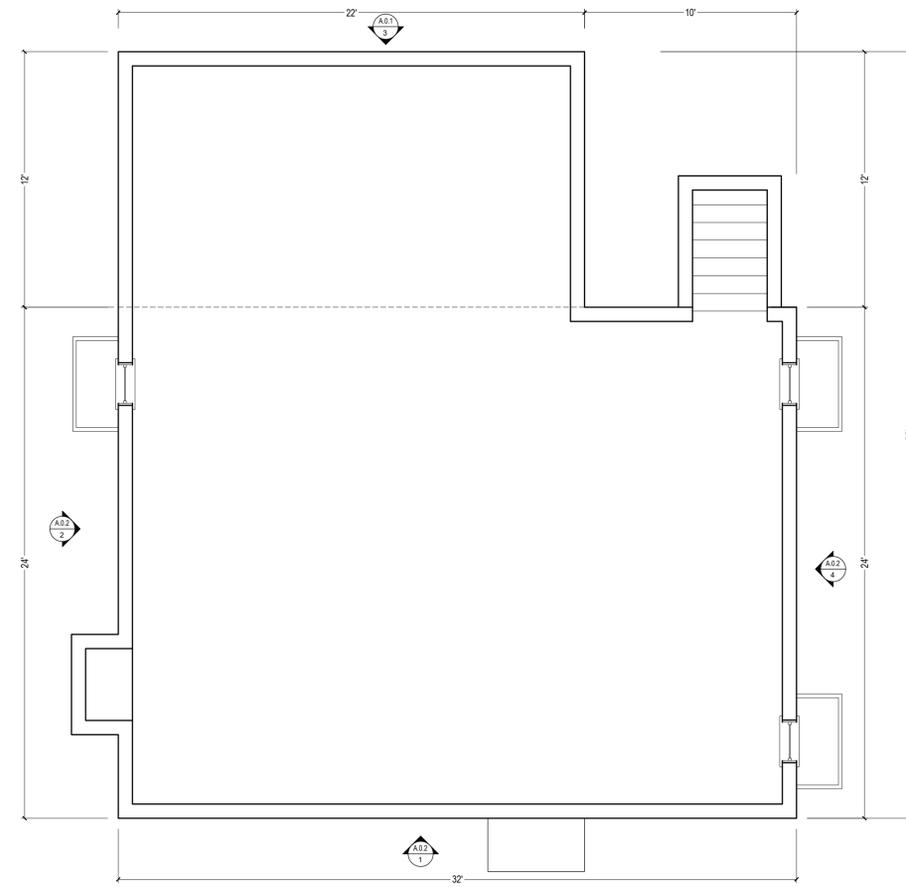
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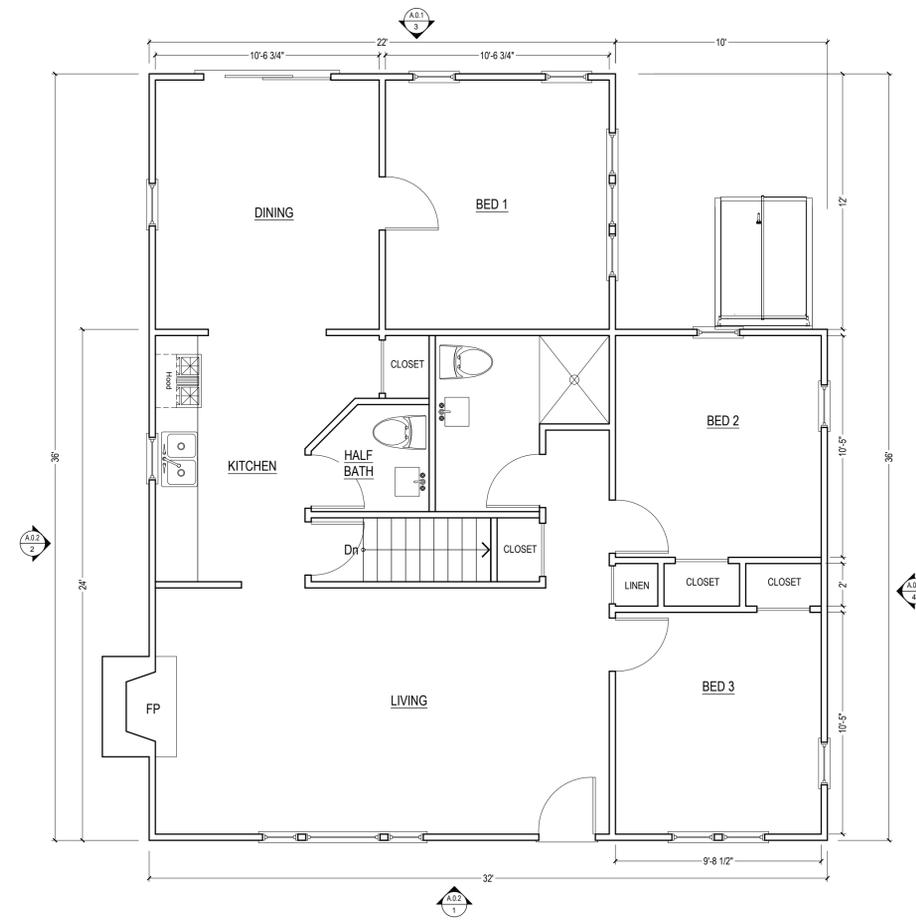
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G.1.1

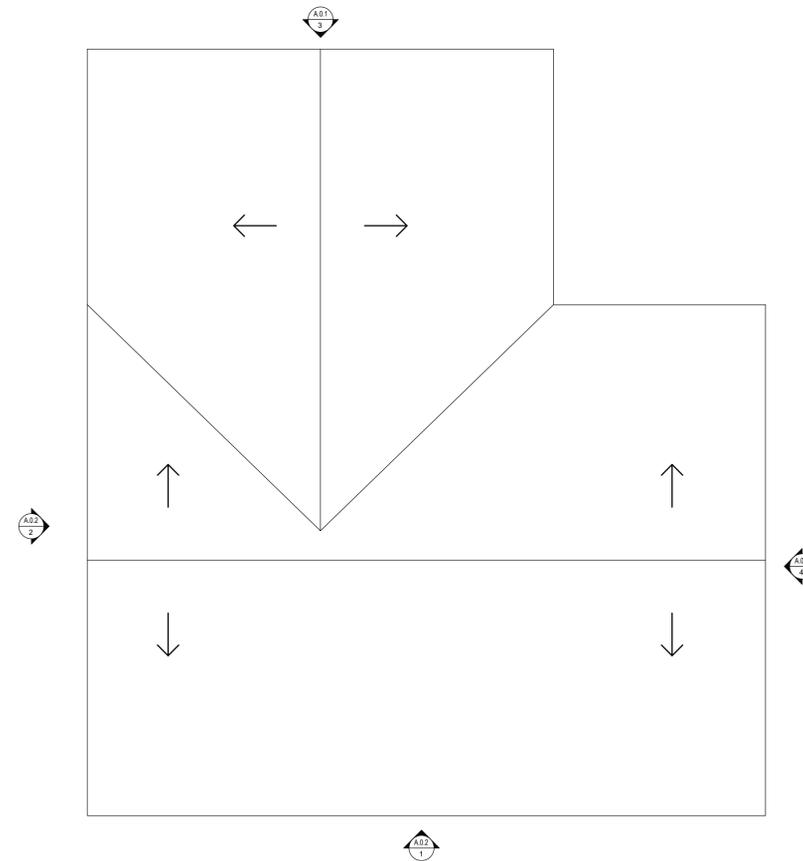
..\\46 Baxter West Dennis\CAD\ons logo 2020 long_services_ph_email_bp



1 Existing Foundation Plan
1/4" = 1'-0"



2 Existing First Floor Plan
1/4" = 1'-0"



3 Existing Roof Plan
1/4" = 1'-0"

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Existing Foundation Plan,
Floor Plan & Roof Plan

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A.0.1

Schematic Design Draft - 12.19.2023

17 Ellis Drive
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Existing Elevations

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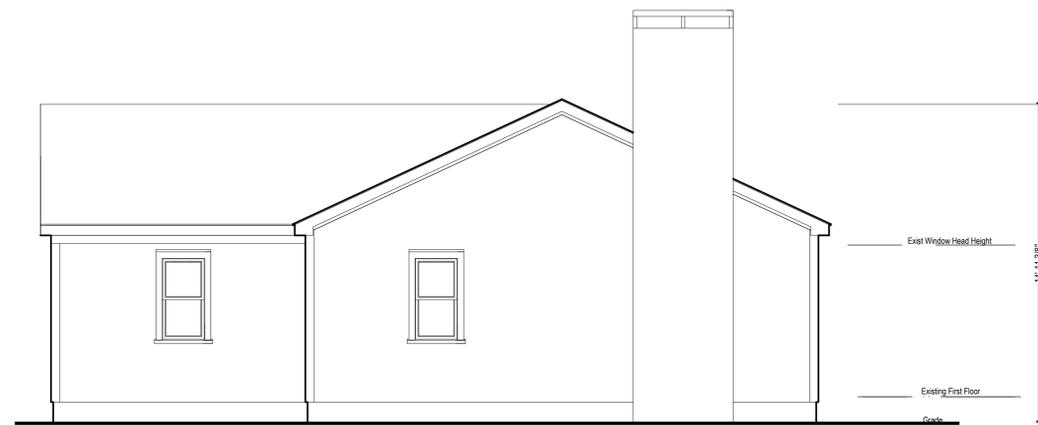
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A.0.2

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1 Existing North Elevation
1/4" = 1' - 0"



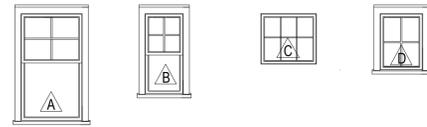
2 Existing East Elevation
1/4" = 1' - 0"



3 Existing South Elevation
1/4" = 1' - 0"

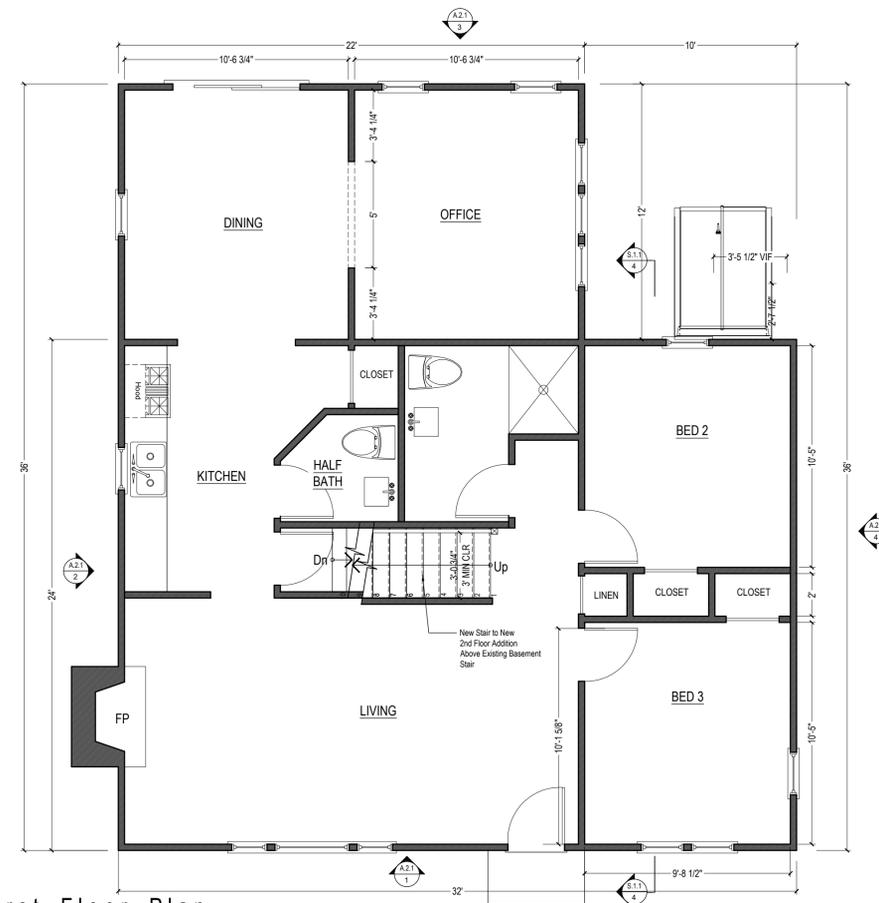


4 Existing West Elevation
1/4" = 1' - 0"

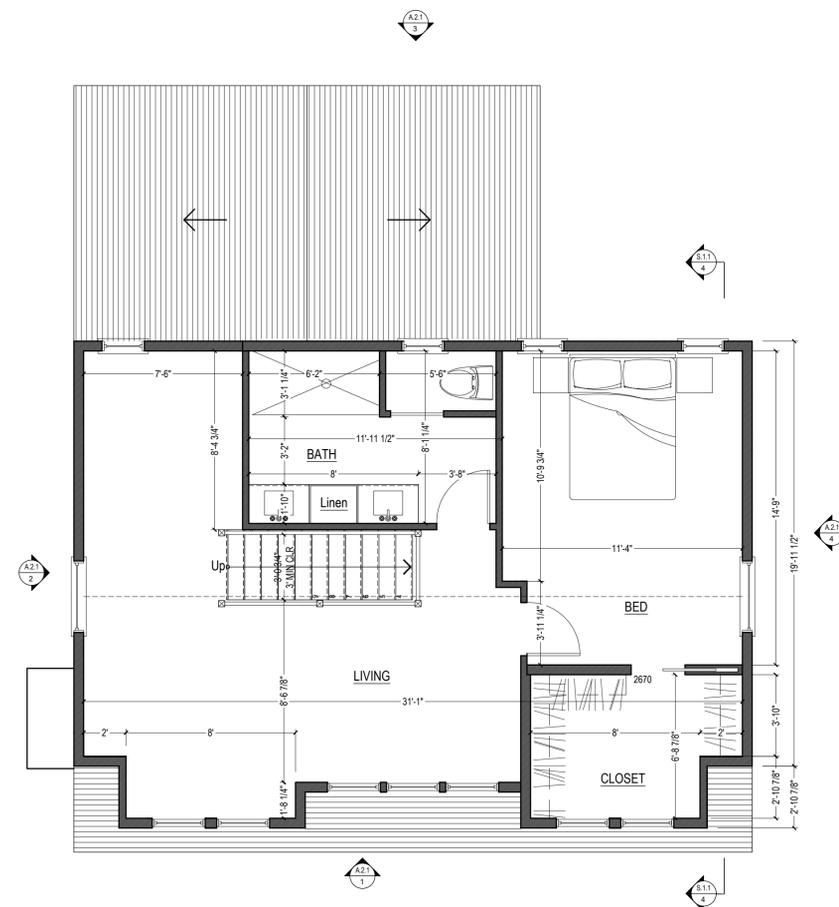


WINDOW	QTY.	UNIT SIZE	ROUGH OPG.	DESCRIPTION	EXT. COLOR	MANUF. TYP.	MANUFACTURER	DP RATING	NOTES
A	2	3'-4" x 3'-4"	TBD	Casement	White	CN235	Andersen	≥ 30	U = 0.31; SHGC = 0.28 Tempered Glass, EGRESS
B	1	4'-8" x 3'-4"	TBD	Casement	White	CW235	Andersen	≥ 30	U = 0.31; SHGC = 0.28
C	1	2'-0" x 2'-0"	TBD	Awning	White	A21	Andersen	≥ 30	U = 0.31; SHGC = 0.28
D	2	2'-1" x 3'-8"	TBD	Doublehung	White	TW2036	Andersen	≥ 30	U = 0.31; SHGC = 0.28

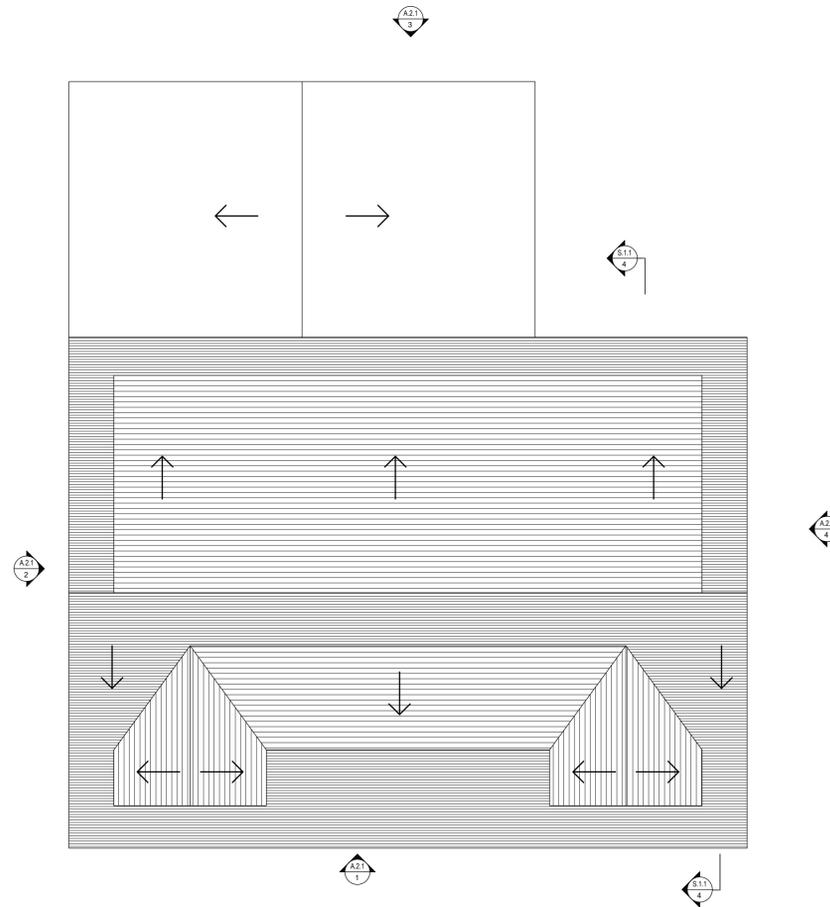
1 Window and Exterior Door Types & Schedule
1/4" = 1'-0"



2 First Floor Plan
1/4" = 1'-0"



3 Second Floor Plan
1/4" = 1'-0"



4 Roof Plan
1/4" = 1'-0"

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Floor Plans and Roof Plan

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A.1.1

Schematic Design Draft - 12.19.2023

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Dennis Port, MA
02639

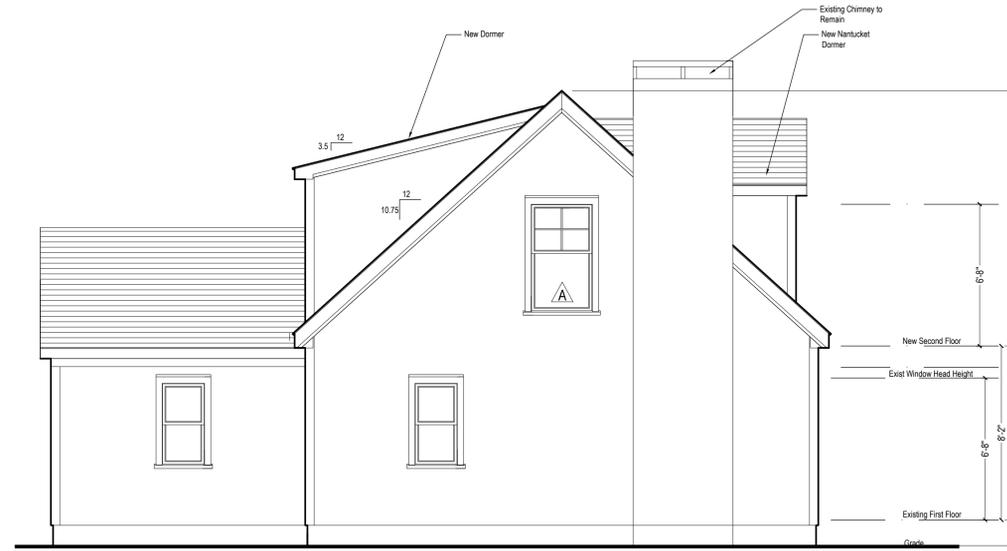


Elevations

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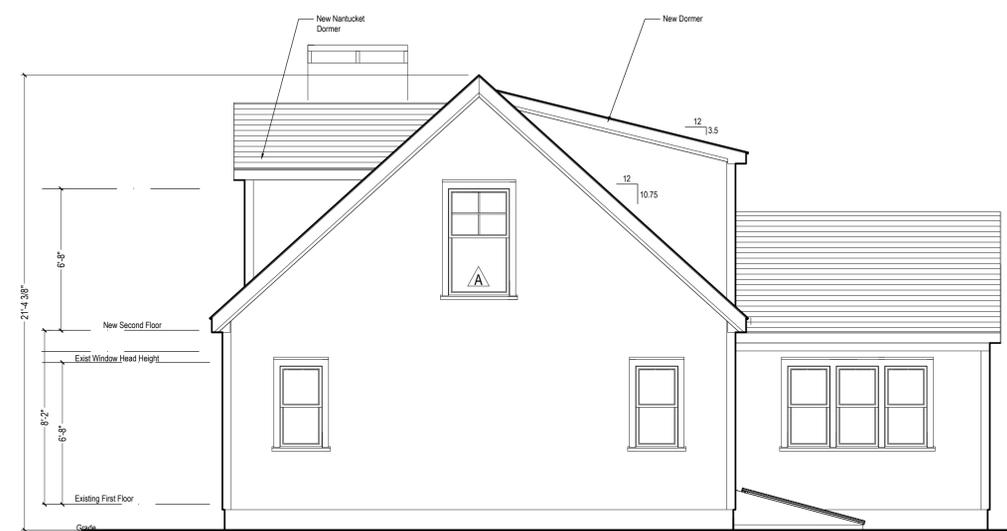
1 North Elevation
1/4" = 1' - 0"



2 East Elevation
1/4" = 1' - 0"



3 South Elevation
1/4" = 1' - 0"



4 West Elevation
1/4" = 1' - 0"

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A.2.1

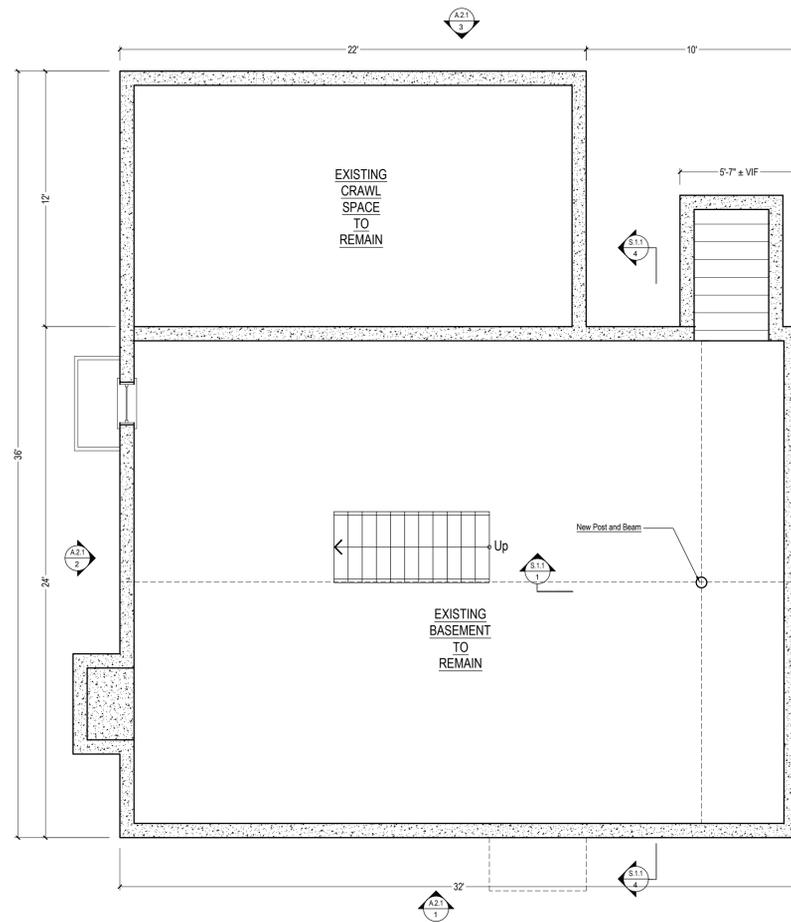
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First Floor Plan

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1 Foundation Detail
1/2" = 1' - 0"



1 Foundation Plan
1/4" = 1' - 0"

- CONCRETE SHALL BE AIR ENTRAINED WITH A MIN. COMPRESSIVE STRENGTH AT 28 DAYS OF: BASEMENT AND INTERIOR FLOOR SLABS - 2,500 PSI. PORCHES, CARPORT AND GARAGE FLOOR SLABS - 3,000 PSI
- MIN. ASSUMED SOIL BEARING CAPACITY - 2,000 PSF
- FOUNDATION WALLS ENCLOSING BASEMENT OR OTHER INHABITABLE SPACE SHALL BE DAMPROOFED PER TOWN OF DENNIS AND MASS STATE BUILDING CODE - WHERE A HIGH WATER TABLE OR OTHER SEVERE WATER CONDITION EXISTS, THE WALLS SHALL BE WATERPROOFED.
- PROVIDE A MIN. 4-INCH PERFORATED DRAIN AROUND USABLE SPACE BELOW GRADE OR OTHER EQUIVALENT MATERIALS. THE PIPE SHALL BE COVERED WITH NOT LESS THAN 6 INCHES OF WASHED GRAVEL OR CRUSHED ROCK. THE DRAIN SHALL DAYLIGHT TO THE EXTERIOR BELOW THE FLOOR LEVEL OR TERMINATE IN A MIN. 20 GALLON SUMP PIT.
- FOOTINGS SHALL EXTEND BELOW THE FROST LINE; MIN. DEPTH 48 INCHES BELOW GRADE.
- FOOTINGS SHALL BE A MIN. OF 24 INCHES WIDE AND 12 INCHES DEEP.
- FOUNDATION WALLS SHALL BE A MIN. 8 INCHES THICK - MAX. WALL HEIGHT 9 FEET.
- REINFORCEMENT, IF SPECIFIED, SHALL LAP A MIN. OF 18 INCHES AT ENDS AND AROUND CORNERS.
- INTERIOR BEARING WALLS AND COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB.
- AT WALK OUT FOUNDATION AREAS REINFORCE THE SLAB FROM THE FOUNDATION WALL TO 2 FEET BEYOND THE OVERDIG AREA WITH #4 BARS @ 24 INCHES O.C. PERPENDICULAR AND HORIZONTAL TO THE WALL, MAX. 4-FOOT OVERDIG.
- AT WALKOUTS THE FOUNDATION SHALL BE INSULATED WITH A MIN. R-6 INSULATION FOR A MIN. OF 3 FEET BELOW THE BOTTOM OF THE SLAB.
- CONCRETE FLOOR SLABS SHALL BE A MIN. 4 INCHES THICK OVER A MIN. 4 INCH BASE OF SAND, GRAVEL OR CRUSHED STONE.
- FLOOR SLABS SHALL BE SUPPORTED BY FILL CONSISTING OF MORE THAN 24 INCHES OF GRANULAR FILL OR 8 INCHES OF EARTH.
- ANCHOR BOLTS - MIN. 1/2" ANCHOR BOLTS WITH 7" EMBEDMENT AT MAX. 24 INCHES O.C. AND WITHIN 6 INCHES OF THE END OF EACH SILL PLATE.
- WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED LATERALLY AT THE TOP WITH SOLID BLOCKING FOR A MIN. OF 2 JOIST SPACES, SPACED NOT MORE THAN 4 FEET O.C.

4 General Notes
1/2" = 1' - 0"

BIDDING PURPOSES ONLY
PENDING ENGINEER'S REVIEW
NOT FOR CONSTRUCTION

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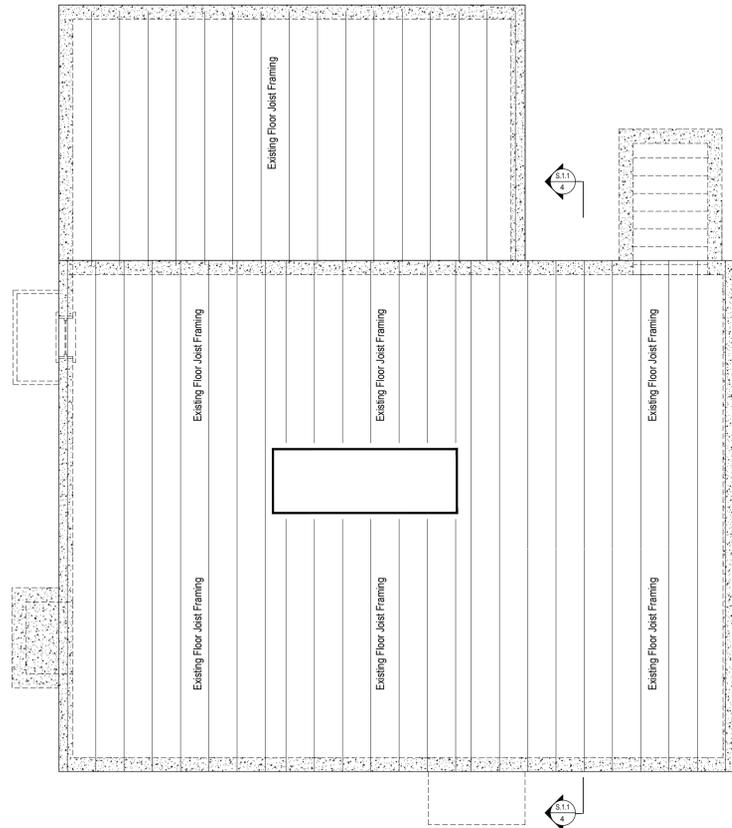
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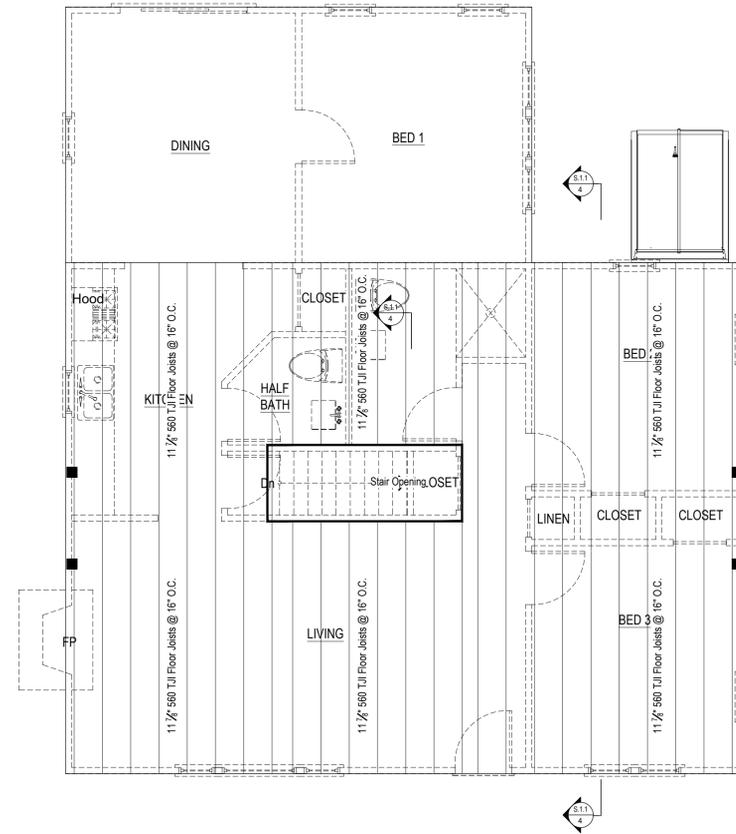
F.1.1

Framing Plans

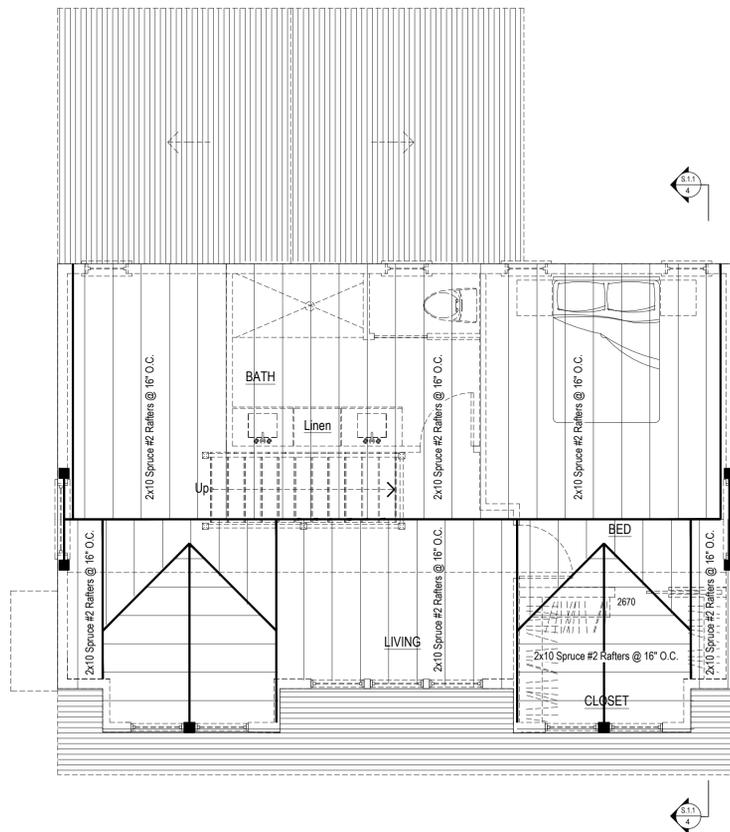
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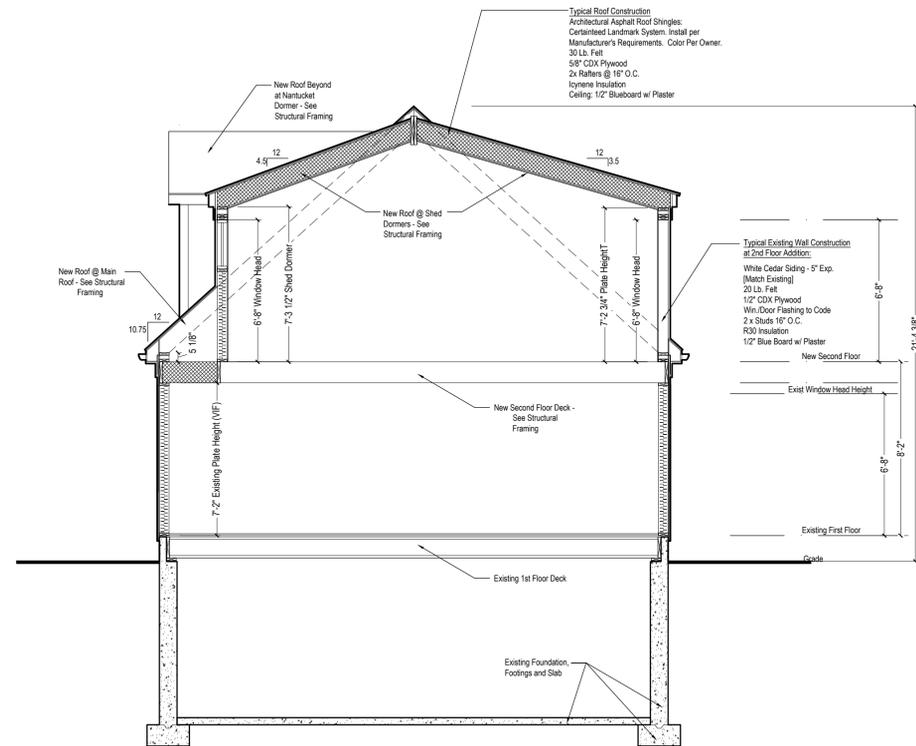
1 2nd Floor Deck Framing Plan
1/4" = 1' - 0"



2 2nd Floor Deck Framing Plan
1/4" = 1' - 0"



3 Roof Framing Plan
1/4" = 1' - 0"



4 Building Section
1/4" = 1' - 0"

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S.1.1