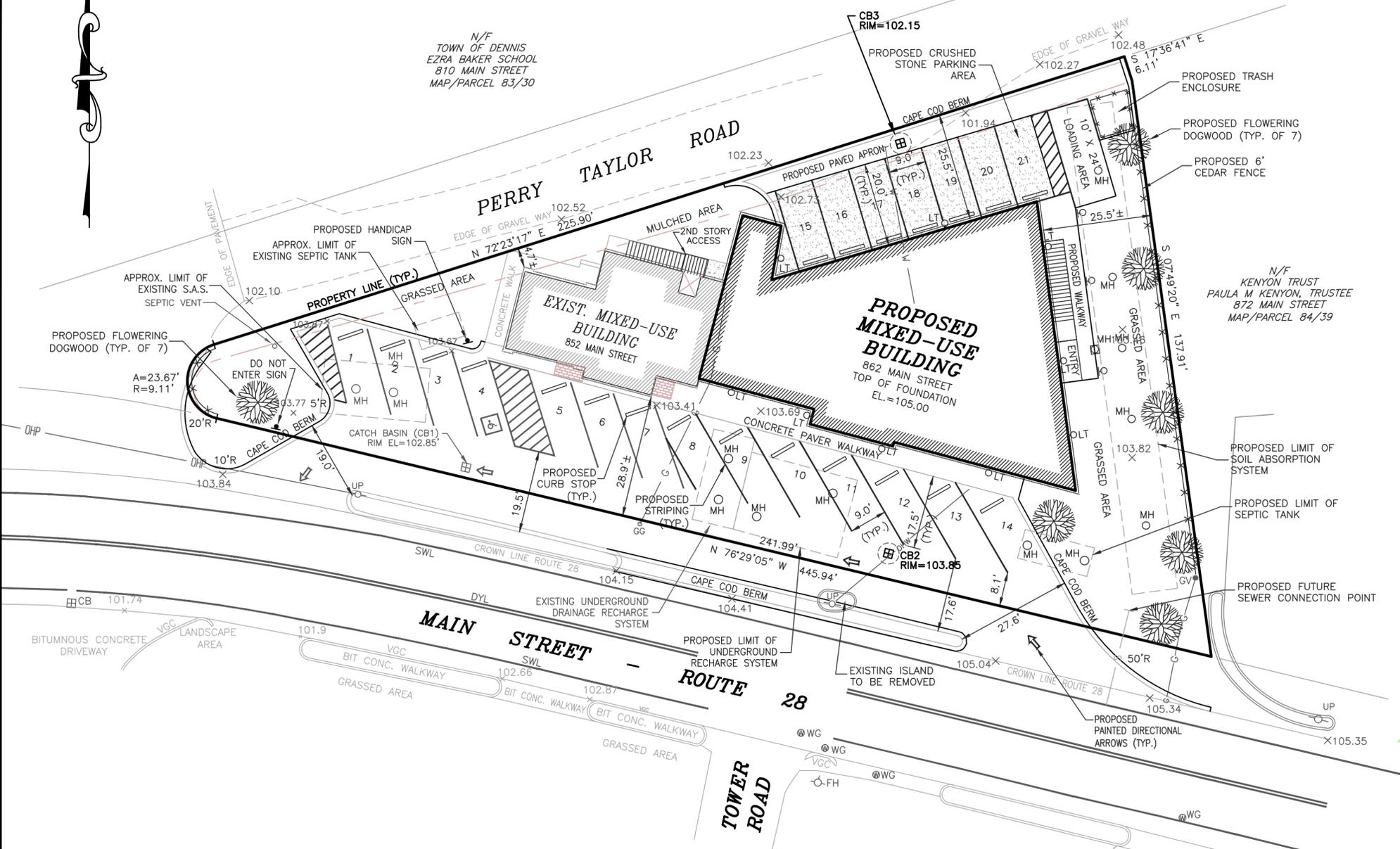




N/F
TOWN OF DENNIS
EZRA BAKER SCHOOL
810 MAIN STREET
MAP/PARCEL B3/30

LEGEND

- PROPERTY LINE
- - - 153 - - - EXISTING CONTOUR
- - - OHP - - - EXISTING OVERHEAD WIRES
- WG ○ EXISTING WATER GATE VALVE
- WG ● PROPOSED WATER GATE
- UP ○ EXISTING UTILITY POLE
- TP-2 □ SITE OF OBSERVATION HOLE/PERC TEST
- LP ✖ PROPOSED LIGHT POLE
- ▨ EDGE OF PROPOSED BUILDING
- 15'R RADIUS OF CURB OR BERM
- CB □ PROPOSED CATCH BASIN
- MH RIM AND COVER TO GRADE
- LT PROPOSED LIGHT PACK



N/F
KENYON TRUST
PAULA M KENYON, TRUSTEE
872 MAIN STREET
MAP/PARCEL 84/39



SITE NOTES:

1. ALL WORK SHALL CONFORM TO THE TOWN OF DENNIS AND THE COMMONWEALTH OF MASSACHUSETTS CONSTRUCTION STANDARDS AND REGULATIONS.
2. ALL BITUMINOUS AREAS SHALL MATCH EXISTING TIE IN GRADES
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY DIGSAFE PRIOR TO COMMENCING ANY CONSTRUCTION
4. ALL UTILITIES ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PIPING, ETC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF DENNIS' REQUIREMENTS
6. IN THE CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE ALL OTHER DRAWINGS
7. REFERENCE GRADING PLANS, UTILITY PLANS AND DETAILS FOR ADDITIONAL NOTES.
8. ALL SIGNS SHALL CONFORM TO THE LATEST REVISION OF THE TOWN OF DENNIS SIGN CODE
9. A TOWN OF DENNIS STORMWATER PERMIT SHALL BE REQUIRED FOR THE PROPOSED WORK.
10. A MASSACHUSETTS STATE HIGHWAY ACCESS PERMIT IS REQUIRED FOR THE PROPOSED WORK
11. PLANTINGS SHOWN ON THIS PLAN SHALL BE WARRANTED FOR 3 FULL GROWING SEASONS BY THE INSTALLER, AND MAINTAINED, WATERED AND OTHERWISE CARED FOR TO ENSURE HEALTHY PERMANENT GROWTH. THE DEVELOPER, AND THEN THE OWNERS OF THE UNITS, SHALL REPLACE ANY DEAD OR DAMAGED TREES TO ENSURE THE EFFECTIVENESS OF THIS SCREENING VEGETATION.
12. CONSTRUCTION REQUIREMENTS: (A) THE PARKING OF CONTRACTOR'S VEHICLES AND EQUIPMENT SHALL BE ON THE SUBJECT PROPERTY; (B) NO EXTERIOR DEMOLITION OR CONSTRUCTION WORK (OTHER THAN LANDSCAPING) SHALL OCCUR BEFORE 7:30AM OR AFTER 6:00PM MONDAY - FRIDAY AND BEFORE 8:00AM AND AFTER 4:30PM ON SATURDAY. THERE SHALL BE NO EXTERIOR DEMOLITION OR CONSTRUCTION WORK ON SUNDAYS OR FEDERAL RECOGNIZED HOLIDAYS.

PARKING REQUIREMENTS

PARKING USE	REQUIRED	EXISTING	PROPOSED	COMMENTS
RESIDENTIAL	2 PER UNIT	1	15	9 TOTAL RESIDENTIAL UNITS (1.6 SPACES/UNIT PROVIDED)
OFFICE (1 HANDICAP)	1 PER EMP/MAX SHIFT	6	6	6 EMPLOYESS MAX FOR ALL OFFICE SPACE
TOTAL PARKING		7	21	1 HANDICAP PARKING SPACE PROVIDED

ZONING INFORMATION

PROVIDED INTENSITY OF USE SCHEDULE - GENERAL COMMERCIAL II

	REQUIRED	EXISTING (#852)	EXISTING (#862)	PROVIDED
LOT AREA	40,000 S.F.	7,144 S.F.	11,098 S.F.	18,244 S.F.
FRONTAGE	150.00'	130.9'±	111.0'±	241.99'
FRONT YARD SETBACK (ROUTE 28)	50.0'	28.9'±	25.1'±	28.9'±
FRONT/REAR YARD SETBACK (PERRY TAYLOR)	50.0'	4.7'±	34.1'±	4.7'±
SIDE YARD SETBACK	25.0'	11.3'±(R)	30.4'±(R), 14.4'±(L)	25.5'± (R)
REAR YARD SETBACK (NONE)	25.0'	N/A	N/A	N/A
TOTAL AREA OF LOT COVERED ¹	----	4,389 S.F.	7,267 S.F.	12,166 S.F.
TOTAL LOT COVERAGE	70.0%	61.4%±	65.4%±	66.7%

1. TOTAL AREA OF DRIVEWAY, PATIOS AND BUILDINGS

4 CRESTVIEW DRIVE
EAST SANDWICH, MA 02537
PHONE: (508) 400-2365

RESIDENTIAL Site Design and Permitting

LOCATION:
852 & 862 MAIN STREET
WEST DENNIS, MA 02670

CLIENT:
THREE DOGS HGL LLC
852 MAIN STREET
WEST DENNIS MA 02670

DRAWING TITLE:
PROPOSED SITE PLAN

SCALE: 1"=20 **DATE:** 09/27/2025 **DRAWING NO.** 4 OF 8

REVISIONS		
NO.	DATE	DESCRIPTION