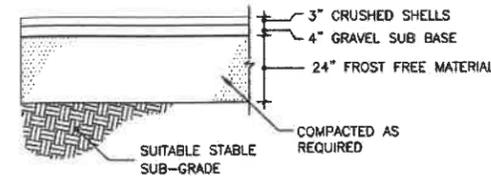


**BENCHMARK**  
TOP OF CORNER BOUND  
ELEVATION = 99.21

**LEGEND**

- UP ○ EXISTING UTILITY POLE
- PROPERTY LINE
- - - 1.5:3 EXISTING CONTOUR
- EXISTING OVERHEAD WIRES
- WG ○ EXISTING WATER GATE VALVE
- WG ● PROPOSED WATER GATE
- EXISTING UTILITY POLE
- TP-2 SITE OF OBSERVATION HOLE/PERC TEST
- LP ● PROPOSED LIGHT POLE
- ////// EDGE OF PROPOSED BUILDING
- 15'R RADIUS OF CURB OR BERM
- CB PROPOSED CATCH BASIN
- MH RIM AND COVER TO GRADE
- LT PROPOSED LIGHT PACK
- PROPOSED CANOPY TREE
- PROPOSED LEYLAND CYPRESS
- PROPOSED EMERALD ARBORVITAE
- PROPOSED HYDRANGEA
- PROPOSED EVERGREEN
- PROPOSED KNOCK OUT ROSE
- PROPOSED HAMELN GRASS



**CRUSHED SHELL AREA PROFILE**  
NOT TO SCALE

**PARKING REQUIREMENTS:**

RESIDENTIAL USES:	2 SPACES PER UNIT
PARKING REQUIRED	16 (8 UNITS)
PARKING PROVIDED	22

**ZONING INFORMATION**

**PROVIDED INTENSITY OF USE SCHEDULE - MIXED USE MARINE**

	REQUIRED	PROVIDED
LOT AREA	40,000 S.F.	24,170 S.F.
FRONTAGE	150.00'	128.07'
FRONT YARD SETBACK	20.0'	23.6'
SIDE YARD SETBACK	25.0'	12.0' (L AND R)
REAR YARD SETBACK	25.0'	60.6'
TOTAL AREA OF LOT COVERED <sup>1</sup>	---	14,547 S.F.
TOTAL LOT COVERAGE	70.0%	59.8%
TOTAL AREA OF BUILDING COVERAGE <sup>2</sup>	---	4,140 S.F.
TOTAL BUILDING COVERAGE	20.0%	19.4%

- TOTAL AREA OF DRIVEWAY, PATIOS AND BUILDINGS
- CALCULATED TO THE DRIPLINE OF THE DWELLING

**SITE NOTES:**

- ALL WORK SHALL CONFORM TO THE TOWN OF DENNIS AND THE COMMONWEALTH OF MASSACHUSETTS CONSTRUCTION STANDARDS AND REGULATIONS.
- ALL BITUMINOUS AREAS SHALL MATCH EXISTING TIE IN GRADES
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY DIGSAFE PRIOR TO COMMENCING ANY CONSTRUCTION
- ALL UTILITIES ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PIPING, ETC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF DENNIS' REQUIREMENTS
- IN THE CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE ALL OTHER DRAWINGS
- REFERENCE GRADING PLANS, UTILITY PLANS AND DETAILS FOR ADDITIONAL NOTES.
- ALL SIGNS SHALL CONFORM TO THE LATEST REVISION OF THE TOWN OF DENNIS SIGN CODE
- A TOWN OF DENNIS STORMWATER PERMIT SHALL BE REQUIRED FOR THE PROPOSED WORK.
- A MASSACHUSETTS STATE HIGHWAY ACCESS PERMIT IS REQUIRED FOR THE PROPOSED WORK
- PLANTINGS SHOWN ON THIS PLAN SHALL BE WARRANTED FOR 3 FULL GROWING SEASONS BY THE INSTALLER, AND MAINTAINED, WATERED AND OTHERWISE CARED FOR TO ENSURE HEALTHY PERMANENT GROWTH. THE DEVELOPER, AND THEN THE OWNERS OF THE UNITS, SHALL REPLACE ANY DEAD OR DAMAGED TREES TO ENSURE THE EFFECTIVENESS OF THIS SCREENING VEGETATION.
- THE NEW VINYL PRIVACY FENCE TO BE INSTALLED ALONG THE WESTERN PROPERTY LINE SHALL BE INSTALLED WITHIN TEN (10) DAYS AFTER THE COMPLETION OF ALL DEMOLITION AND CONSTRUCTION WORK. THE EXISTING STOCKADE FENCE ALONG SUCH BOUNDARY WILL BE REMOVED BY THE DEVELOPER AT ITS SOLE COST AFTER COMPLETION OF ALL DEMOLITION AND CONSTRUCTION, INCLUDING ANY PORTION THAT MIGHT BE ON THE ABUTTER'S PROPERTY (AS TO WHICH, THE REMOVAL SHALL BE COORDINATED WITH THE ABUTTER). THE DEVELOPER, AND THEN THE OWNERS OF THE UNITS, WILL KEEP THE VINYL PRIVACY FENCE IN GOOD REPAIR AND WELL MAINTAINED. NO SNOW PILING MAY TAKE PLACE ADJACENT TO THE FENCE.
- CONSTRUCTION REQUIREMENTS: (A) THE PARKING OF CONTRACTOR'S VEHICLES AND EQUIPMENT SHALL BE ON THE SUBJECT PROPERTY; (B) NO EXTERIOR DEMOLITION OR CONSTRUCTION WORK (OTHER THAN LANDSCAPING) SHALL OCCUR BEFORE 8:30AM OR AFTER 6:00PM MONDAY - FRIDAY AND BEFORE 10:00AM AND AFTER 4:30PM ON SATURDAY. THERE SHALL BE NO EXTERIOR DEMOLITION OR CONSTRUCTION WORK ON SUNDAYS OR FEDERAL RECOGNIZED HOLIDAYS.

**AJM SITE DESIGN, LLC**  
Residential Site Design and Permitting  
4 CRESTVIEW DRIVE  
EAST SANDWICH, MA 02537  
PHONE: (508) 400-2365

**LOCATION:**  
209 MAIN STREET  
WEST DENNIS, MA 02670

**CLIENT:**  
HEADLEY GRANGE INVESTMENTS, LLC  
21G FRUEAN WAY  
SOUTH YARMOUTH, MA 02664

**DRAWING TITLE:**  
PROPOSED SITE PLAN

**SCALE:** 1"=20'    **DATE:** 7/29/2019    **DRAWING NO.:** 3 of 8

**REVISIONS**

NO.	DATE	DESCRIPTION
1	1/14/2020	REVISED PATIO FOOTPRINTS UNITS 1,3,5,7
2	1/29/2020	REVISED PARKING AND ADDED LANDSCAPING
3	3/3/2020	REVISED DRIVEWAY WIDTH, SHIFTED UNITS 1 & 3 EAST 2'-FEET
4	3/10/2020	ADDED COMPLETE LANDSCAPING

