

# PROPOSED MULTI-FAMILY RESIDENCES

at

## 209 MAIN STREET WEST DENNIS, MASSACHUSETTS

### APPLICANT

SERPONE INNOVATIONS, LLC  
216 FRUEAN WAY  
SOUTH YARMOUTH, MA 02064

### PARCEL INFORMATION

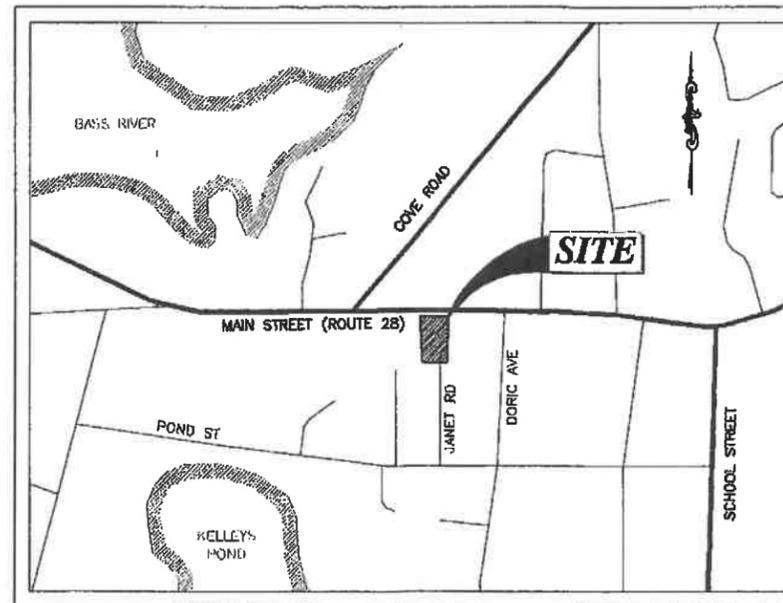
STREET ADDRESS 209 MAIN STREET, WEST DENNIS  
MAP 63  
PARCEL 38  
DEED BOOK 31013  
DEED PAGE 210  
PLAN REF. 529/49, 660/42  
LOT SIZE 24,170 (0.55 AC.)

### ZONING DISTRICT

MIXED USE MARINE (MUM)

### GENERAL NOTES:

1. THE SUBJECT PROPERTIES ARE NOT LOCATED WITHIN ANY AREAS MAPPED BY THE NATURAL HERITAGE ENDANGERED SPECIES PROGRAM AS PRIORITY HABITATS OF RARE SPECIES OR ESTIMATED HABITATS OF RARE WILDLIFE
2. NONE OF THE SUBJECT PARCEL IS WITHIN THE LIMITS OF A FEMA FLOOD HAZARD ZONE AS SHOWN ON PANEL NO. 25001C0581J, EFFECTIVE DATE JULY 16, 2014.
3. NO AREAS EXIST WITHIN THE SUBJECT PARCEL THAT ARE SUBJECT TO THE WETLANDS PROTECTION ACT
4. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A ZONE II WELLHEAD PROTECTION AREA
5. THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY



### LOCUS MAP

GRAPHIC SCALE: 1 INCH = 500 FEET



### REQUESTED VARIANCES:

1. SECTION 3.1.5.2 - NO PARKING SHALL BE LOCATED WITHIN 25 FEET OF A STREET LINE. PARKING IS LOCATED 12.0' FROM A STREET LINE. A VARIANCE 13.0' IS REQUESTED
2. SECTION 3.1.5.2 - NO PARKING SHALL BE LOCATED WITHIN 10 FEET OF A SIDE PROPERTY LINE. PARKING IS LOCATED 8.4' FROM A SIDE PROPERTY LINE. A VARIANCE 1.6' IS REQUESTED
3. SECTION 9.3.5 (B)1 - MINIMUM REQUIRED LOT SIZE IS 40,000 S.F.. THE EXISTING LOT SIZE IS 24,170 S.F.. A VARIANCE OF 15,830 S.F. IS REQUESTED
4. SECTION 9.3.5 (B)2 - MINIMUM REQUIRED LOT FRONTAGE IS 150'. THE EXISTING LOT FRONTAGE IS 128.07'. A VARIANCE OF 21.93' IS REQUESTED
5. SECTION 9.3.5 (B)3 - MINIMUM REQUIRED LOT WIDTH IS 150'. THE EXISTING LOT WIDTH IS 126.66'. A VARIANCE OF 23.34' IS REQUESTED
6. SECTION 9.3.6 (C)6 - MINIMUM REQUIRED SIDE YARD SETBACK IS 25'. THE PROPOSED SIDE YARD SETBACK IS 12'. A VARIANCE OF 13' IS REQUESTED

### INDEX OF DRAWINGS

SHEET NO.	TITLE
1 OF 7	TITLE SHEET
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3 OF 7	PROPOSED SITE PLAN
4 OF 7	PROPOSED GRADING PLAN
6 OF 7	PROPOSED UTILITY PLAN
6 OF 7	DRAINAGE DETAILS
7 OF 7	DRAINAGE AREA PLANS



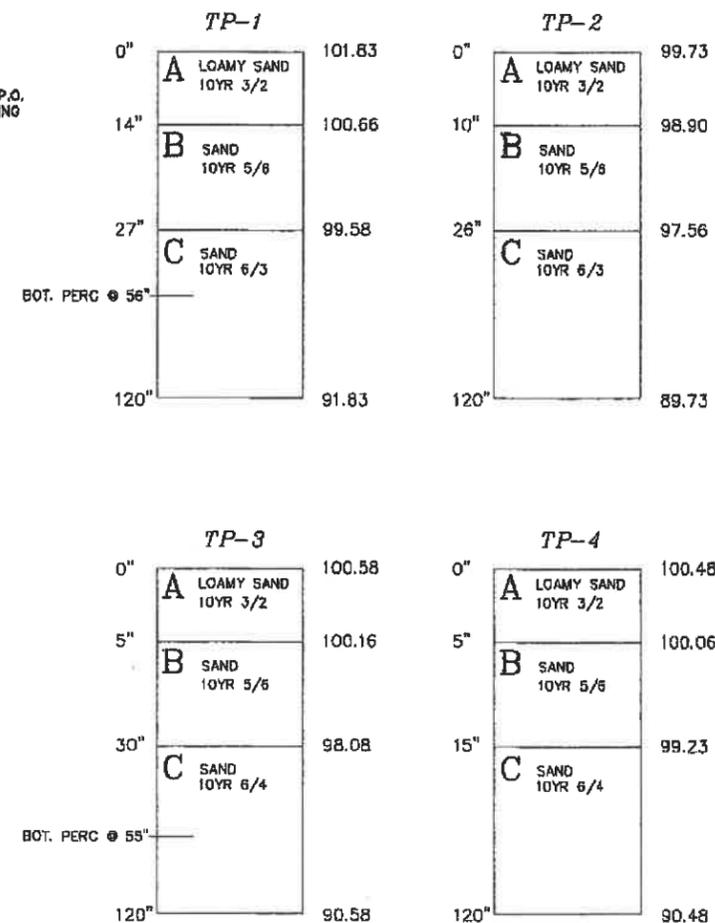
### PREPARED BY:



**BENCHMARK**  
TOP OF CORNER BOUND  
ELEVATION = 99.21

**SURVEY NOTES:**

1. EXISTING CONDITIONS SURVEY PERFORMED BY PAUL E. SWEETSER, P.L.S., P.O. BOX 1146, DENNISPORT MA 02839 IN 2017 AND DEMAREST LAND SURVEYING 338 MAYFAIR ROAD, SOUTH DENNIS MA 02660



PERC RATE: <2 MIN./IN.  
NO GROUNDWATER ENCOUNTERED

DATE: NOVEMBER 27, 2018  
PERFORMED BY: JILL CAFARELLI  
WITNESSED BY: CARRIE SCHOENER

**SOIL PROFILES**  
NOT TO SCALE

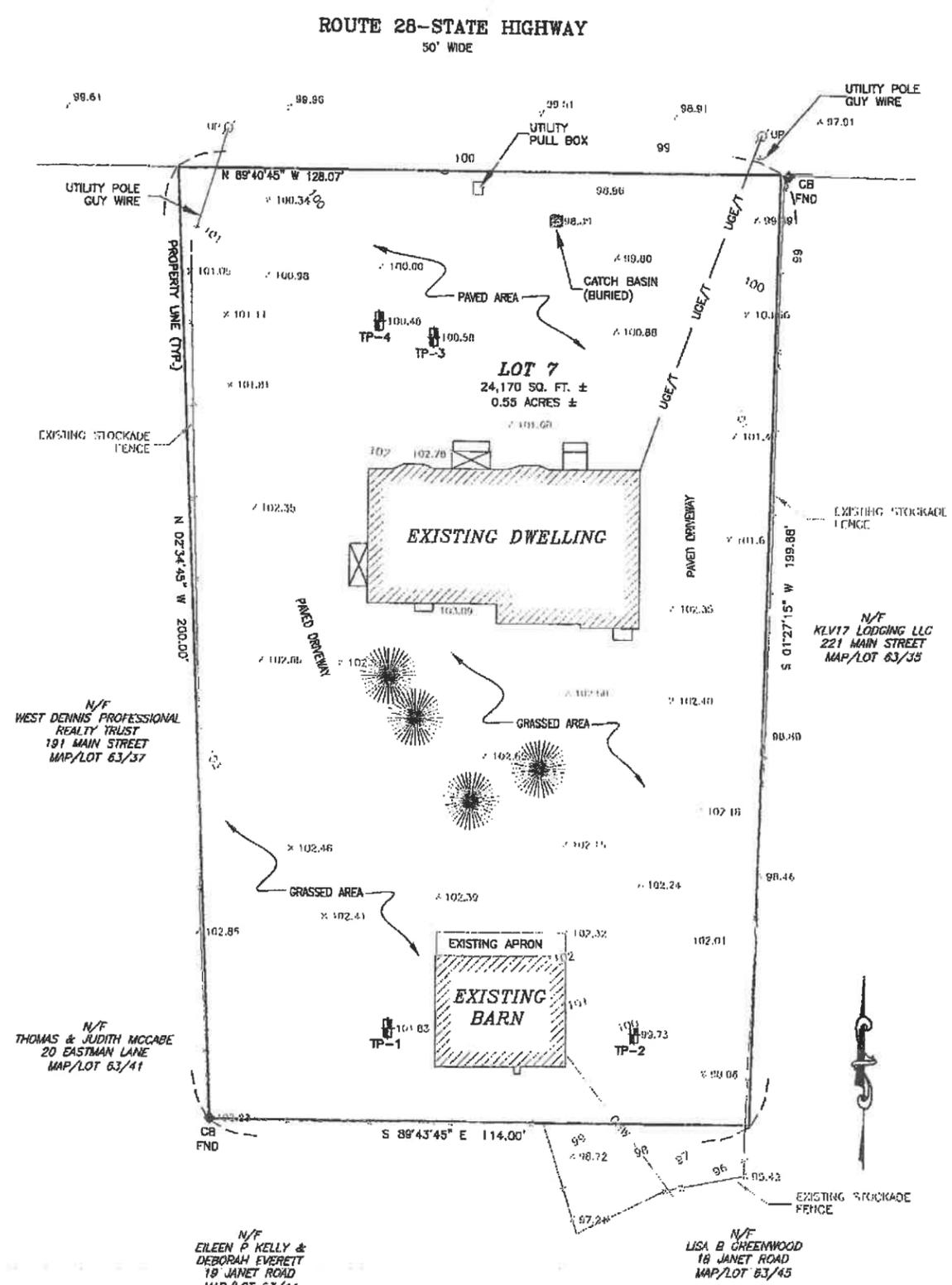
**AM SITE DESIGN, LLC**  
4 CRESTVIEW DRIVE  
BAST SANDWICH, MA 02537  
PHONE: (508) 400-2365  
Residential Site Design and Permitting

LOCATION: 209 MAIN STREET WEST DENNIS, MA 02670		
CLIENT: SERPONE INNOVATIONS, LLC 216 FRUEAN WAY SOUTH YARMOUTH, MA 02664		
DRAWING TITLE: EXISTING CONDITIONS PLAN		
SCALE: 1"=20'	DATE: 6/17/2018	DRAWING NO. 2 of 2

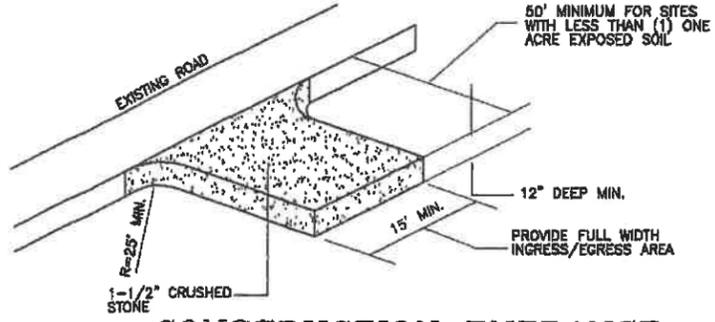
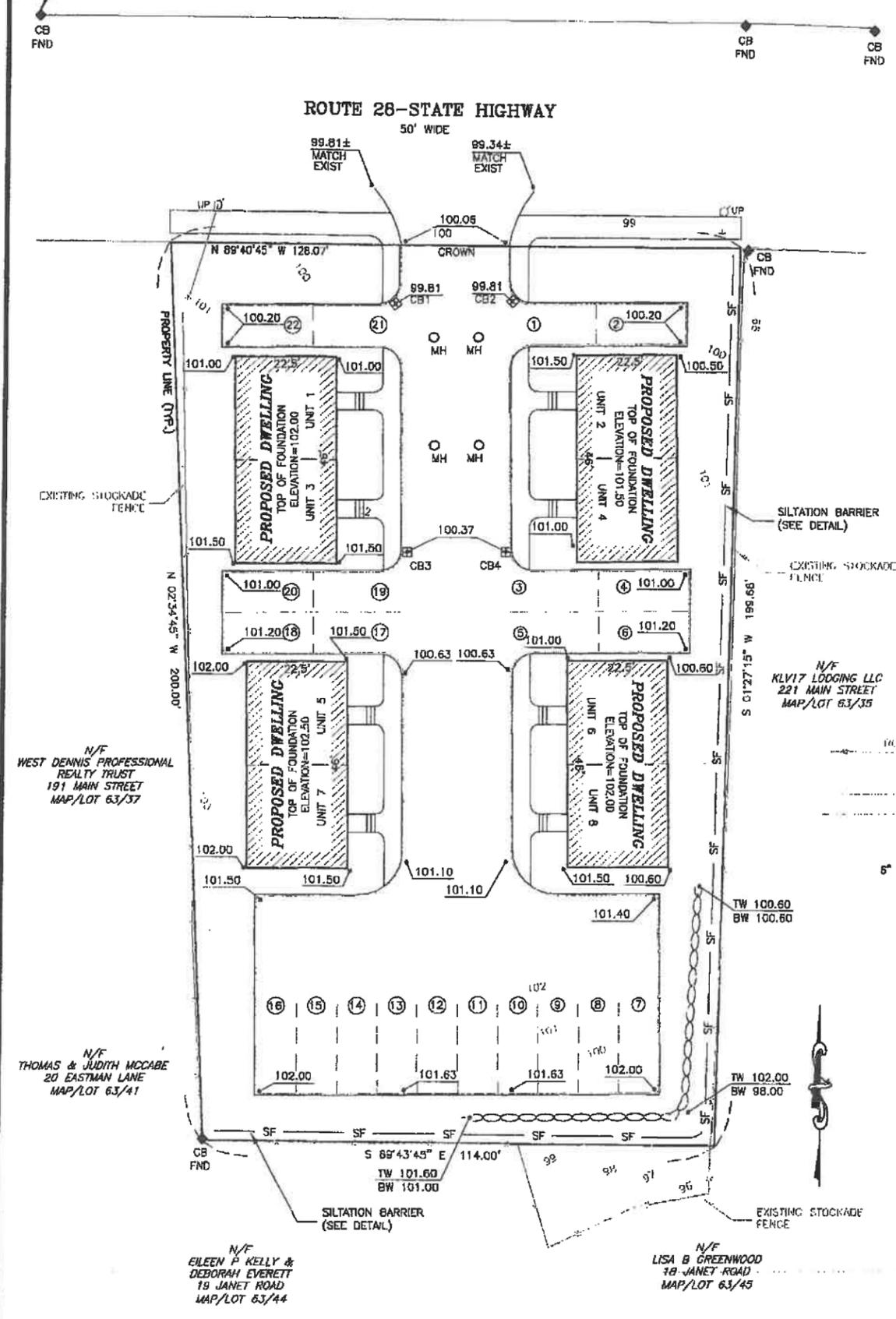
REVISIONS		
NO.	DATE	DESCRIPTION

**LEGEND**

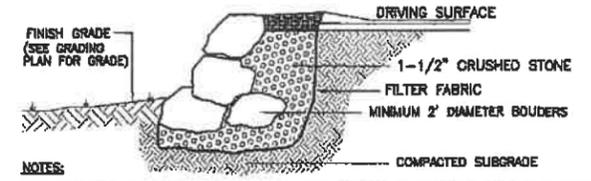
- UP- EXISTING UTILITY POLE
- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING OVERHEAD WIRES
- EXISTING TREELINE
- EXISTING FENCE
- WG- EXISTING WATER GATE VALVE
- TP- SITE OF OBSERVATION HOLE
- CB- EXISTING CATCH BASIN
- MH- EXISTING MANHOLE COVER
- 110.28- EXISTING SPOT GRADE



**BENCHMARK**  
TOP OF CORNER BOUND  
ELEVATION = 99.21

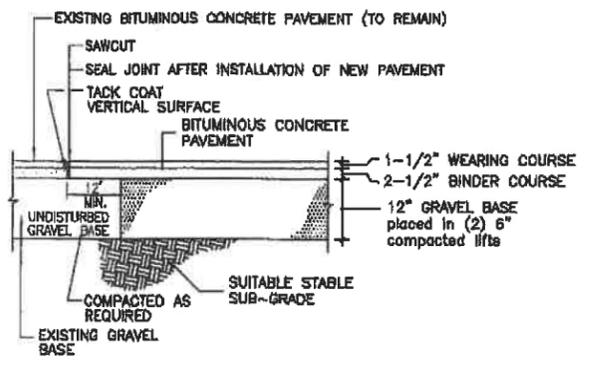


**CONSTRUCTION ENTRANCE  
CRUSHED STONE APRON**  
NOT TO SCALE

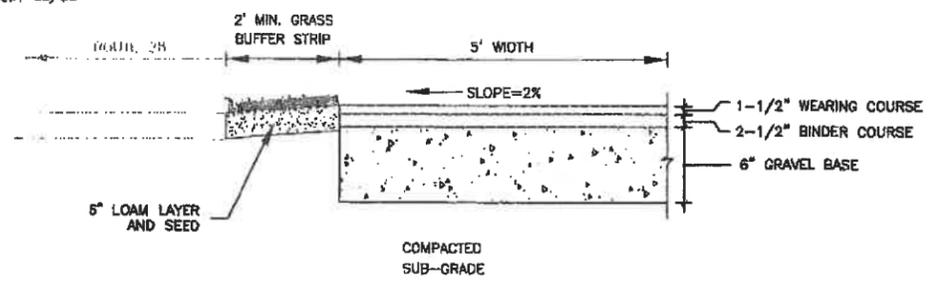


- NOTES:**
1. STONES SHALL REST DIRECTLY UPON ONE ANOTHER TO MAXIMIZE BEARING CAPACITY
  2. STONES SHALL BE PLACED TO FORM A WELL GRADED MASS WITH A MINIMUM OF VOIDS.
  3. BACKFILL LAYER SHALL BE MINIMUM OF 1-1/2\"/>

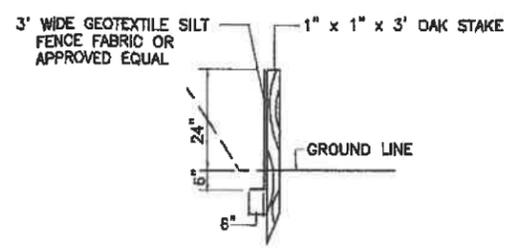
**BOULDER RETAINING  
WALL DETAIL**  
NOT TO SCALE



**PAVING PROFILE**  
NOT TO SCALE



**ASPHALT SIDEWALK SECTION**  
NOT TO SCALE



**SILT FENCE  
BARRIER DETAIL**  
NOT TO SCALE

**SITE NOTES:**

1. ALL WORK SHALL CONFORM TO THE TOWN OF DENNIS AND THE COMMONWEALTH OF MASSACHUSETTS CONSTRUCTION STANDARDS AND REGULATIONS.
2. ALL BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY DIGSAFE PRIOR TO COMMENCING ANY CONSTRUCTION
4. ALL UTILITIES ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PIPING, ETC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF DENNIS' REQUIREMENTS
6. IN THE CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE ALL OTHER DRAWINGS
7. REFERENCE GRADING PLANS, UTILITY PLANS AND DETAILS FOR ADDITIONAL NOTES.
8. ALL HANDICAPPED AREAS SHALL CONFORM TO A.D.A. STANDARDS AND MASSACHUSETTS ARCHITECTURAL ACCESS BOARD REQUIREMENTS.

**AJM**  
SITE DESIGN, LLC  
Residential Site Design and Permitting  
4 CRESTVIEW DRIVE  
EAST SANDWICH, MA 02537  
PHONE: (508) 400-2365

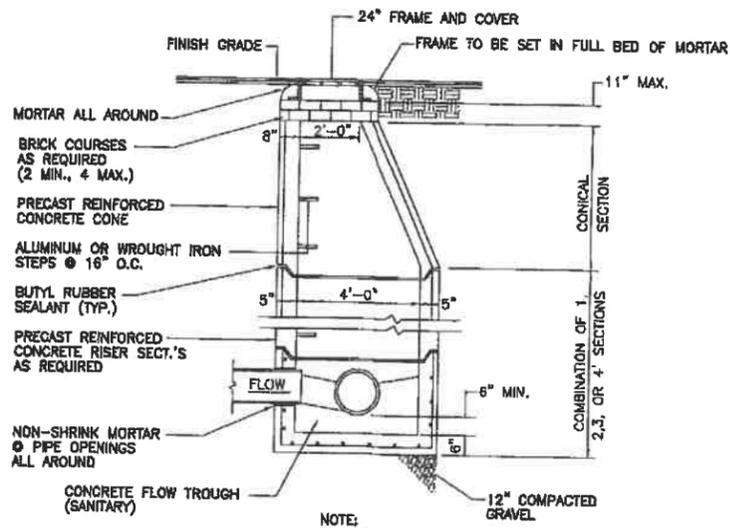
**LOCATION:**  
209 MAIN STREET  
WEST DENNIS, MA 02670

**CLIENT:**  
SERPONE INNOVATIONS, LLC  
21G FRUEAN WAY  
SOUTH YARMOUTH, MA 02664

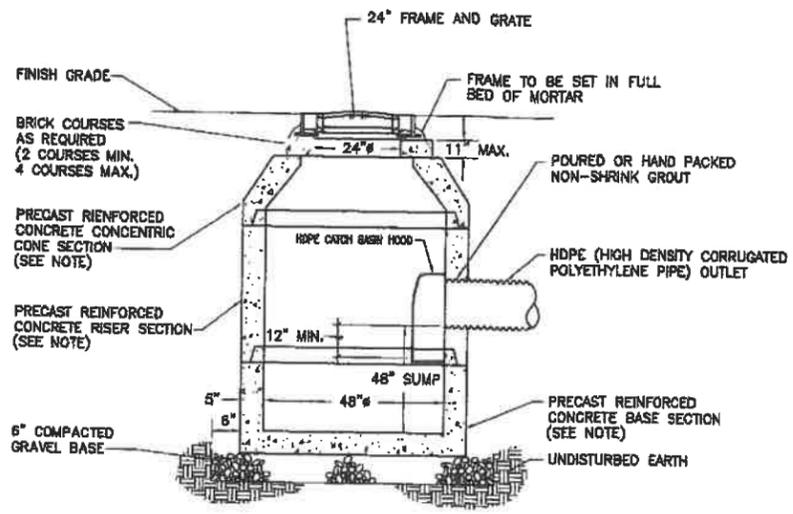
**DRAWING TITLE:**  
PROPOSED GRADING PLAN

**SCALE:** 1"=20'    **DATE:** 6/17/2019    **DRAWING NO.:** 4 of 7

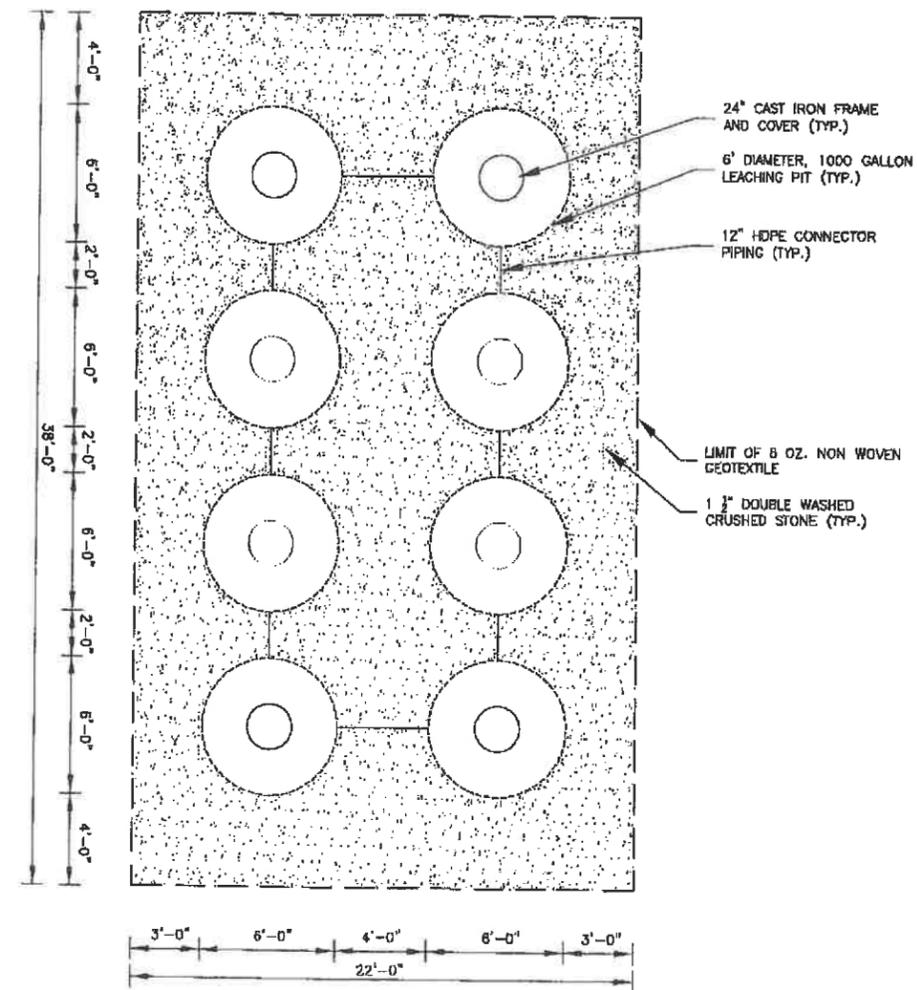
REVISIONS		
NO.	DATE	DESCRIPTION



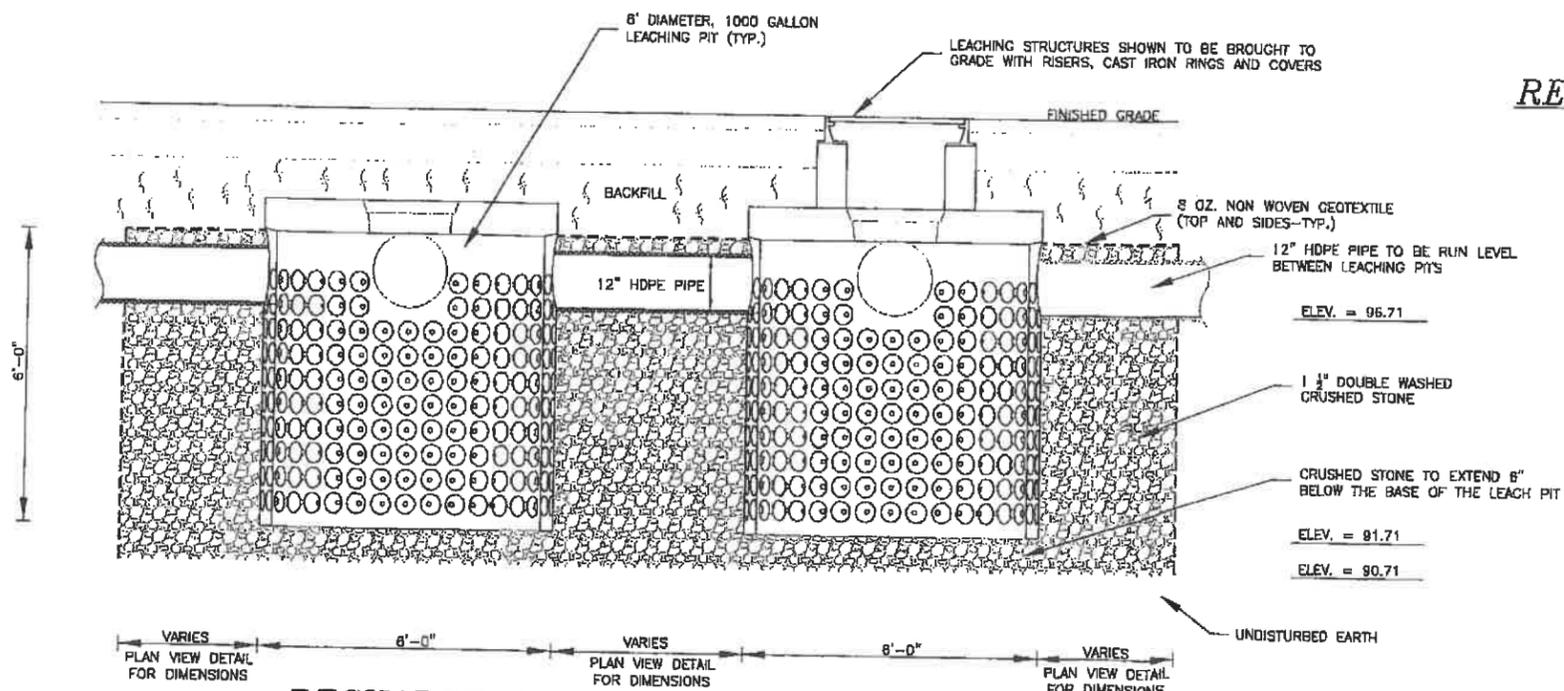
**48" MANHOLE DETAIL**  
NOT TO SCALE



**48" CATCH BASIN DETAIL**  
NOT TO SCALE



**RECHARGE AREA DETAIL (PLAN VIEW)**  
SCALE: 1"=5'



**RECHARGE AREA ELEVATION DETAIL**  
NOT TO SCALE

**A M**  
**SITE DESIGN, LLC**  
Residential Site Design and Permitting

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EAST SANDWICH, MA 02537  
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208 MAIN STREET WEST DENNIS, MA 02670		
CLIENT:		
SERPONE INNOVATIONS, LLC 216 FRUEAN WAY SOUTH YARMOUTH, MA 02664		
DRAWING TITLE:		
DRAINAGE DETAILS		
SCALE:	DATE:	DRAWING NO.:
1"=20'	6/17/2019	6 of 7

REVISIONS		
NO.	DATE	DESCRIPTION

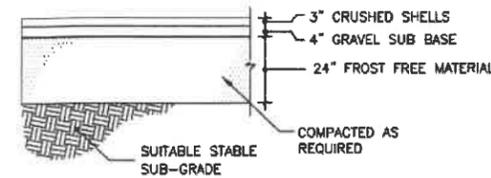


**BENCHMARK**

TOP OF CORNER BOUND  
ELEVATION = 99.21

**LEGEND**

- UP EXISTING UTILITY POLE
- PROPERTY LINE
- 15.3 EXISTING CONTOUR
- EXISTING OVERHEAD WIRES
- WG EXISTING WATER GATE VALVE
- WG PROPOSED WATER GATE
- EXISTING UTILITY POLE
- TP-2 SITE OF OBSERVATION HOLE/PERC TEST
- LP PROPOSED LIGHT POLE
- EDGE OF PROPOSED BUILDING
- 15'R RADIUS OF CURB OR BERM
- CB PROPOSED CATCH BASIN
- MH RIM AND COVER TO GRADE
- DLT PROPOSED LIGHT PACK
- PROPOSED CANOPY TREE
- PROPOSED LEYLAND CYPRESS
- PROPOSED EMERALD ARBORVITAE
- PROPOSED HYDRANGEA
- PROPOSED EVERGREEN
- PROPOSED KNOCK OUT ROSE
- PROPOSED HAMELN GRASS



**CRUSHED SHELL  
AREA PROFILE**

NOT TO SCALE

**PARKING REQUIREMENTS:**

RESIDENTIAL USES:	2 SPACES PER UNIT
PARKING REQUIRED	16 (8 UNITS)
PARKING PROVIDED	22

**ZONING INFORMATION**

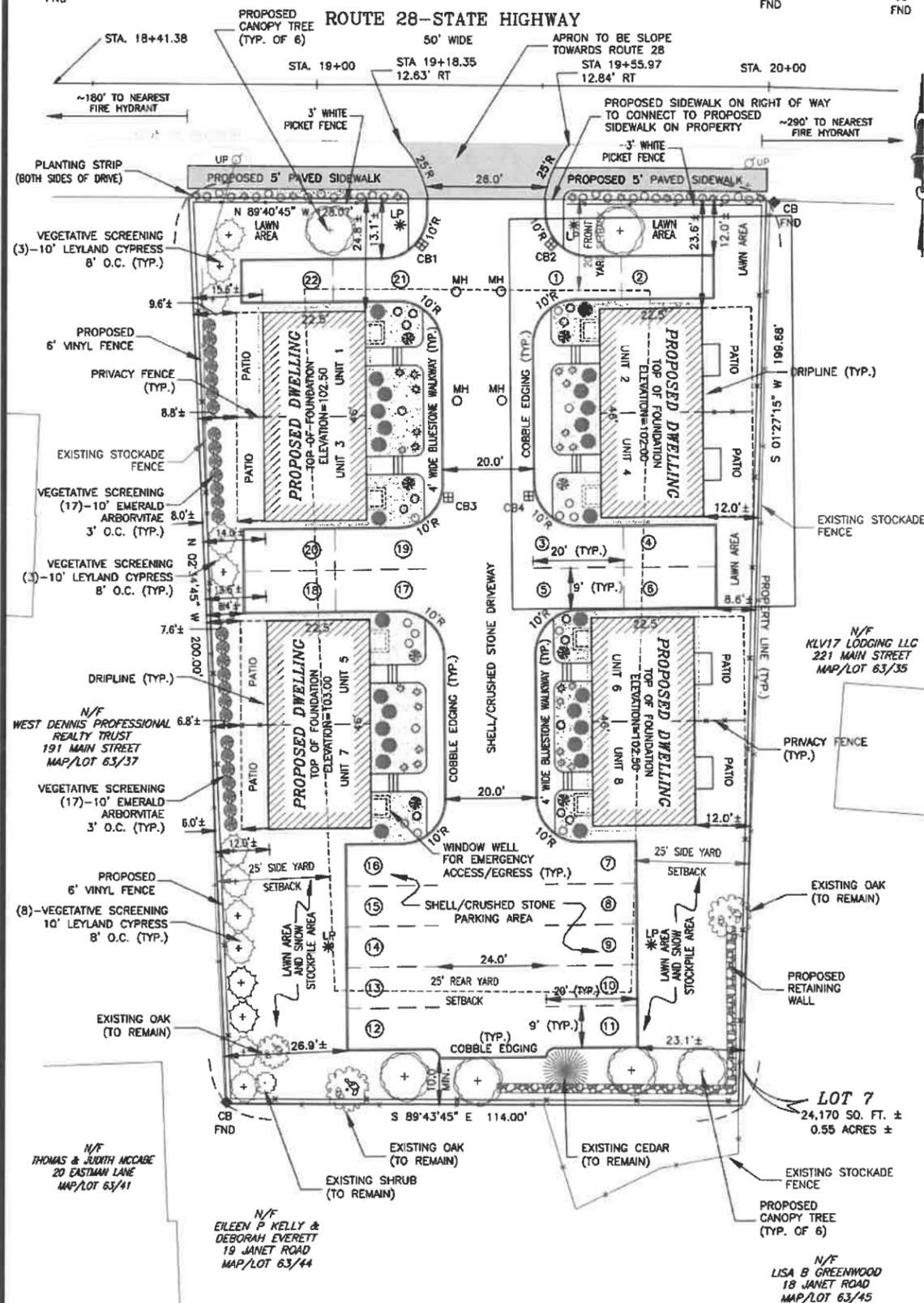
**PROVIDED INTENSITY OF USE SCHEDULE - MIXED USE MARINE**

	REQUIRED	PROVIDED
LOT AREA	40,000 S.F.	24,170 S.F.
FRONTAGE	150.00'	128.07'
FRONT YARD SETBACK	20.0'	23.6'
SIDE YARD SETBACK	25.0'	12.0' (L AND R)
REAR YARD SETBACK	25.0'	60.6'
TOTAL AREA OF LOT COVERED <sup>1</sup>	----	14,547 S.F.
TOTAL LOT COVERAGE	70.0%	59.8%
TOTAL AREA OF BUILDING COVERAGE <sup>2</sup>	----	4,140 S.F.
TOTAL BUILDING COVERAGE	20.0%	19.4%

- TOTAL AREA OF DRIVEWAY, PATIOS AND BUILDINGS
- CALCULATED TO THE DRIPLINE OF THE DWELLING

**SITE NOTES:**

- ALL WORK SHALL CONFORM TO THE TOWN OF DENNIS AND THE COMMONWEALTH OF MASSACHUSETTS CONSTRUCTION STANDARDS AND REGULATIONS.
- ALL BITUMINOUS AREAS SHALL MATCH EXISTING TIE IN GRADES
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY DIGSAFE PRIOR TO COMMENCING ANY CONSTRUCTION
- ALL UTILITIES ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PIPING, ETC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF DENNIS' REQUIREMENTS
- IN THE CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE ALL OTHER DRAWINGS
- REFERENCE GRADING PLANS, UTILITY PLANS AND DETAILS FOR ADDITIONAL NOTES.
- ALL SIGNS SHALL CONFORM TO THE LATEST REVISION OF THE TOWN OF DENNIS SIGN CODE
- A TOWN OF DENNIS STORMWATER PERMIT SHALL BE REQUIRED FOR THE PROPOSED WORK.
- A MASSACHUSETTS STATE HIGHWAY ACCESS PERMIT IS REQUIRED FOR THE PROPOSED WORK
- PLANTINGS SHOWN ON THIS PLAN SHALL BE WARRANTED FOR 3 FULL GROWING SEASONS BY THE INSTALLER, AND MAINTAINED, WATERED AND OTHERWISE CARED FOR TO ENSURE HEALTHY PERMANENT GROWTH. THE DEVELOPER, AND THEN THE OWNERS OF THE UNITS, SHALL REPLACE ANY DEAD OR DAMAGED TREES TO ENSURE THE EFFECTIVENESS OF THIS SCREENING VEGETATION.
- THE NEW VINYL PRIVACY FENCE TO BE INSTALLED ALONG THE WESTERN PROPERTY LINE SHALL BE INSTALLED WITHIN TEN (10) DAYS AFTER THE COMPLETION OF ALL DEMOLITION AND CONSTRUCTION WORK. THE EXISTING STOCKADE FENCE ALONG SUCH BOUNDARY WILL BE REMOVED BY THE DEVELOPER AT ITS SOLE COST AFTER COMPLETION OF ALL DEMOLITION AND CONSTRUCTION, INCLUDING ANY PORTION THAT MIGHT BE ON THE ABUTTER'S PROPERTY (AS TO WHICH, THE REMOVAL SHALL BE COORDINATED WITH THE ABUTTER). THE DEVELOPER, AND THEN THE OWNERS OF THE UNITS, WILL KEEP THE VINYL PRIVACY FENCE IN GOOD REPAIR AND WELL MAINTAINED. NO SNOW PILING MAY TAKE PLACE ADJACENT TO THE FENCE.
- CONSTRUCTION REQUIREMENTS: (A) THE PARKING OF CONTRACTOR'S VEHICLES AND EQUIPMENT SHALL BE ON THE SUBJECT PROPERTY; (B) NO EXTERIOR DEMOLITION OR CONSTRUCTION WORK (OTHER THAN LANDSCAPING) SHALL OCCUR BEFORE 8:30AM OR AFTER 6:00PM MONDAY - FRIDAY AND BEFORE 10:00AM AND AFTER 4:30PM ON SATURDAY. THERE SHALL BE NO EXTERIOR DEMOLITION OR CONSTRUCTION WORK ON SUNDAYS OR FEDERAL RECOGNIZED HOLIDAYS.



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4 CRESTVIEW DRIVE  
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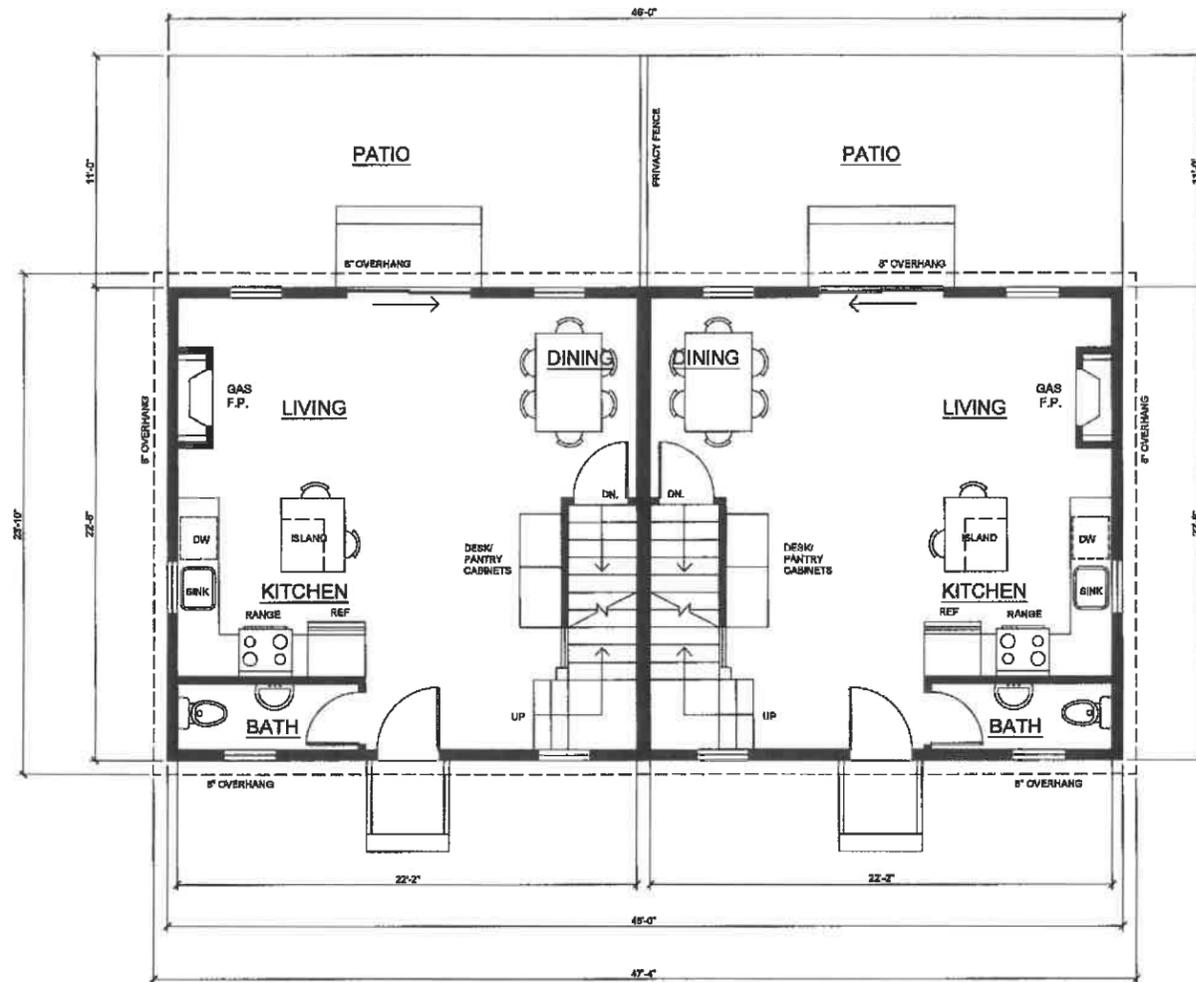
**LOCATION:**  
209 MAIN STREET  
WEST DENNIS, MA 02670

**CLIENT:**  
HEADLEY GRANGE INVESTMENTS, LLC  
21G FRUEAN WAY  
SOUTH YARMOUTH, MA 02664

**DRAWING TITLE:**  
PROPOSED SITE PLAN

**SCALE:** 1"=20'     **DATE:** 7/28/2019     **DRAWING NO.:** 3 of 8

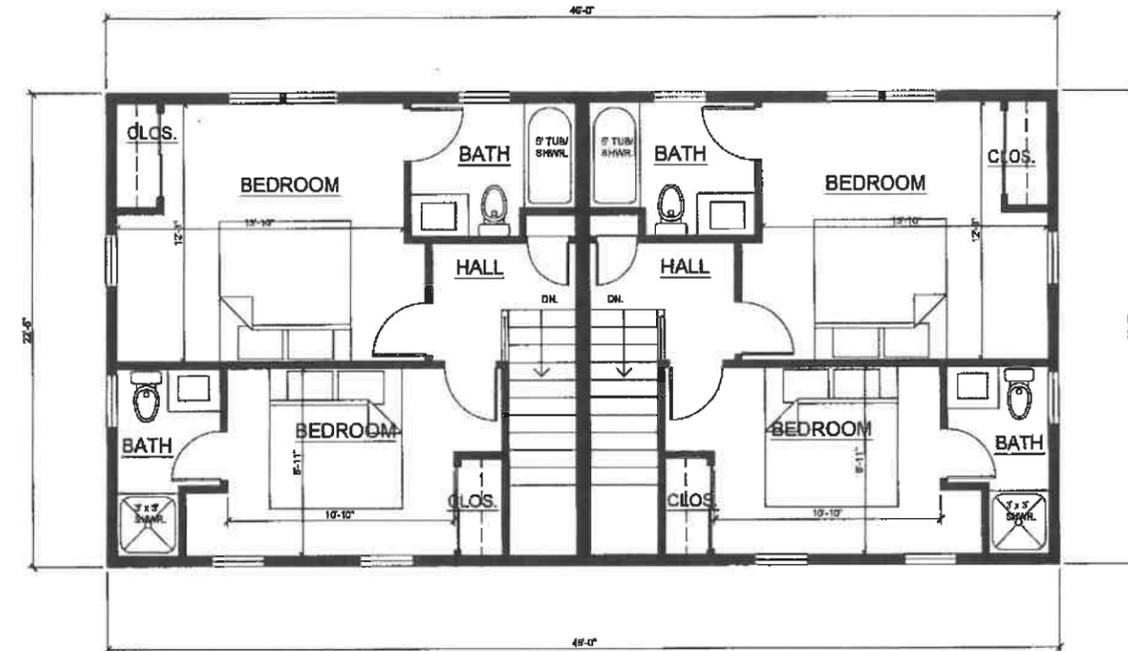
REVISIONS		
NO.	DATE	DESCRIPTION
1	1/14/2020	REVISED PATIO FOOTPRINTS UNITS 1,3,5,7
2	1/29/2020	REVISED PARKING AND ADDED LANDSCAPING
3	3/3/2020	REVISED DRIVEWAY WIDTH, SHIFTED UNITS 1 & 3
		EAST 2'-FEET
4	3/10/2020	ADDED COMPLETE LANDSCAPING



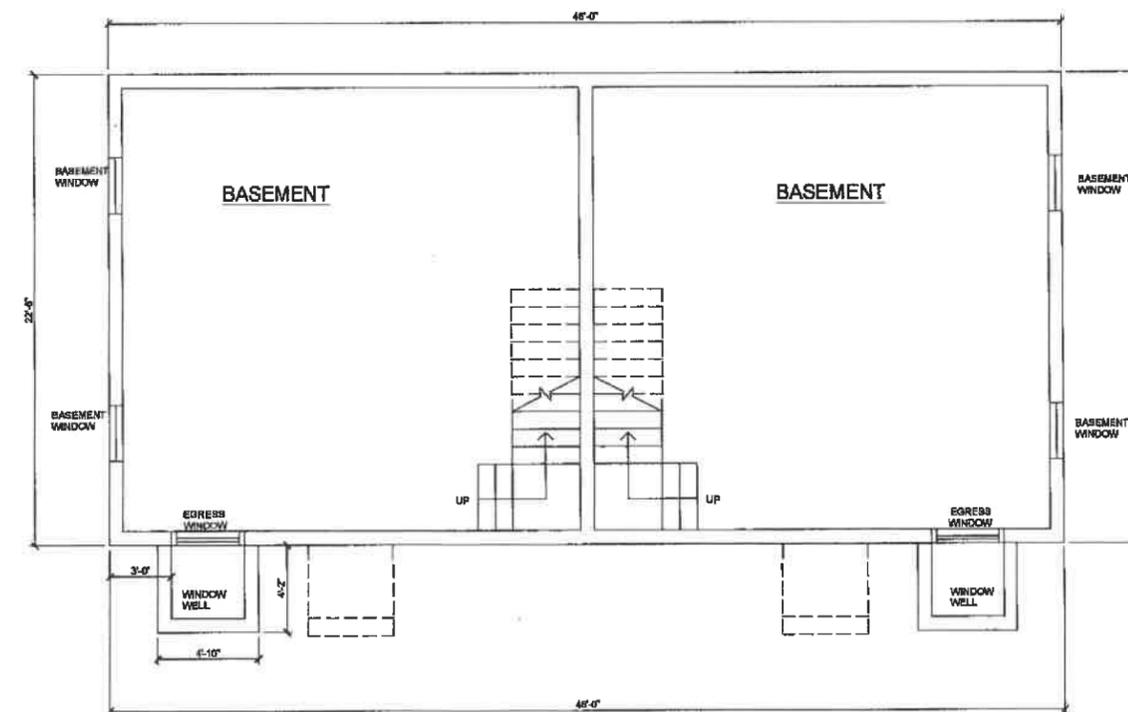
**FIRST FLOOR PLAN**

**UNIT "A"**  
FIRST FLOOR 518 S.F.  
SECOND FLOOR 518 S.F.

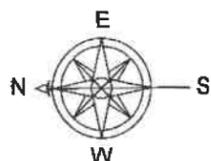
**UNIT "B"**  
FIRST FLOOR 518 S.F.  
SECOND FLOOR 518 S.F.

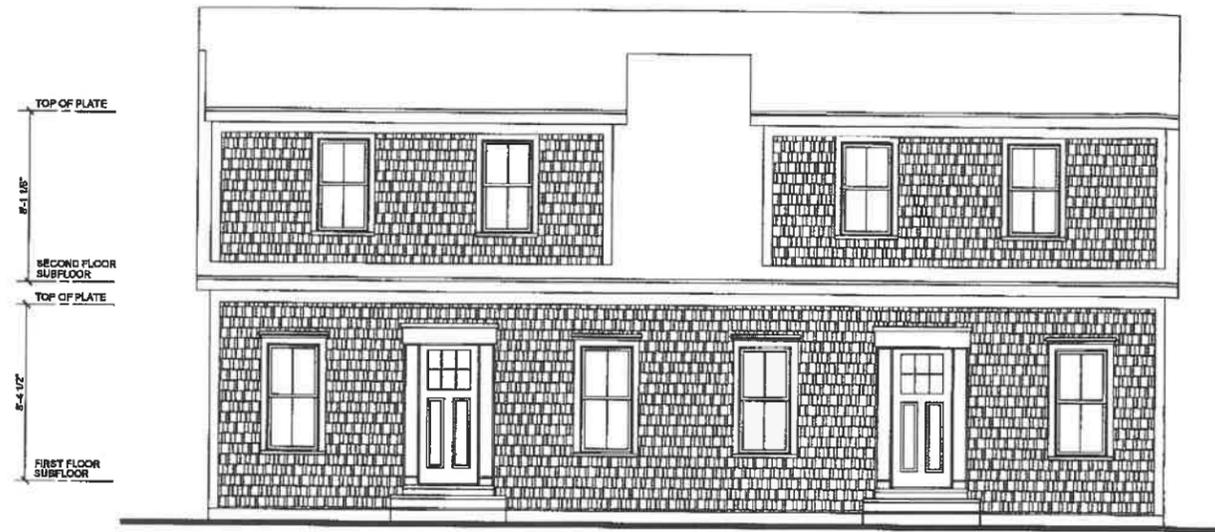


**SECOND FLOOR PLAN**

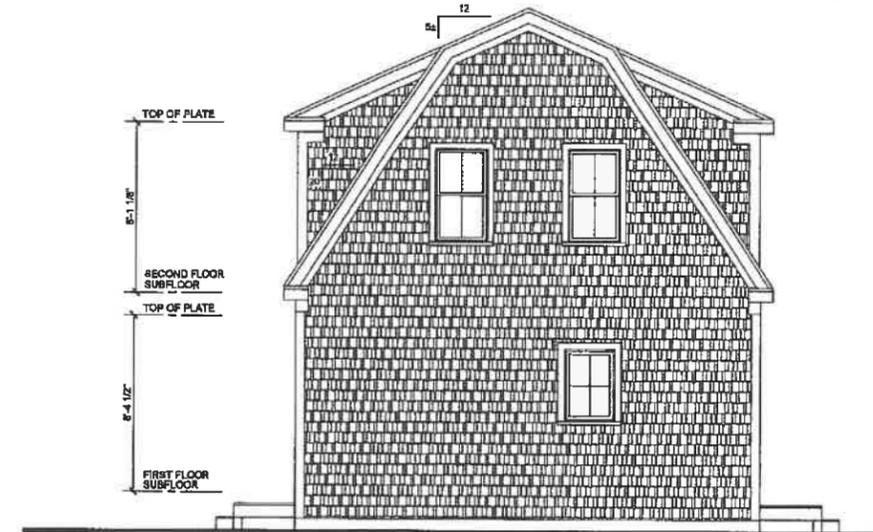


**BASEMENT PLAN**

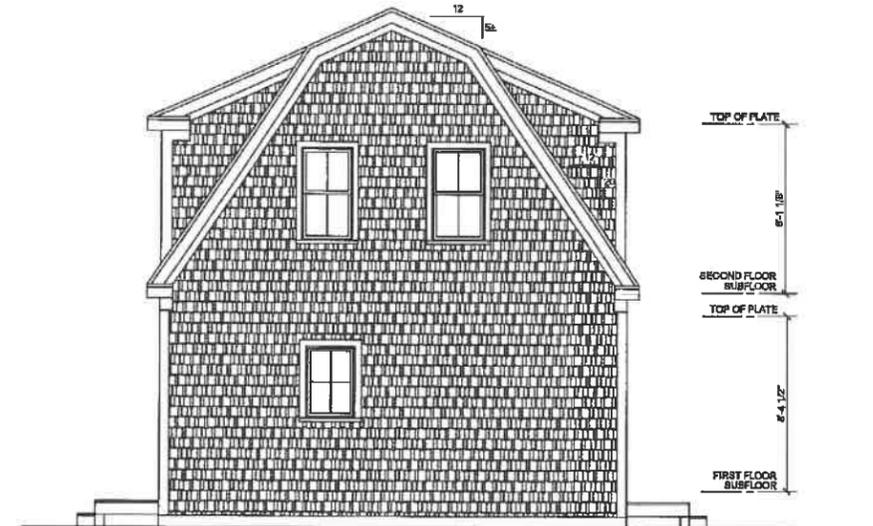
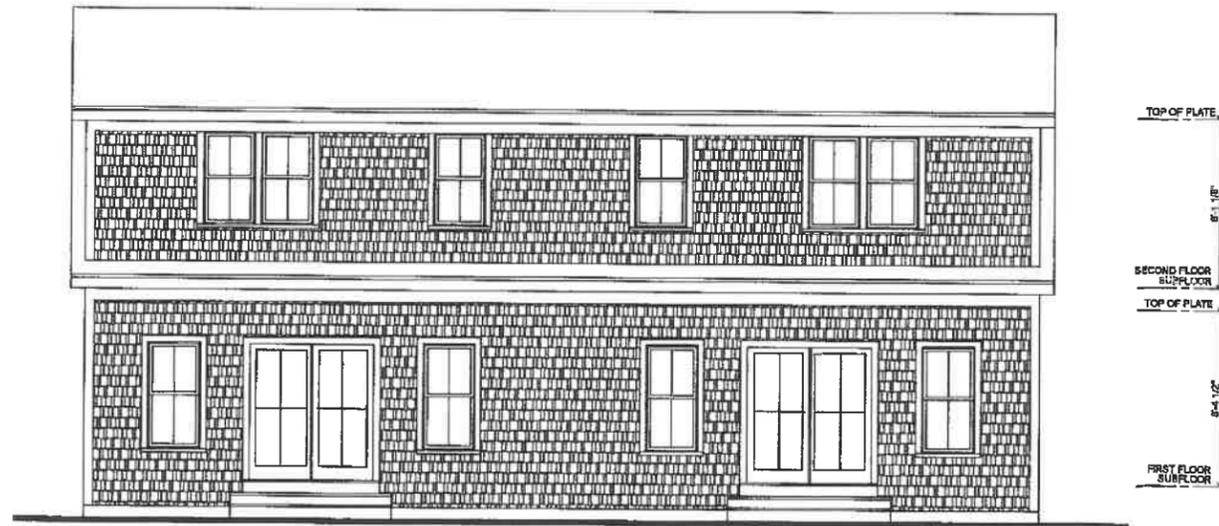




WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION