

149 OLD WHARF ROAD, DENNISPORT ZBAS-25-60: Michael R Banas ET UX, 63 Main Street, Easthampton, MA, 01027 C/O Kieran Healy of BSC Group, is seeking a Special Permit to Raze and replace of a single-family dwelling with new dwelling elevated on piles, of a non-conforming structure on a non-conforming lot. Located on a property in the RR Zoning District at 149 Old Wharf Road, Dennis Port MA (Assessor's Map 18, Parcel 183). **Continued without Testimony 01-23-2026**

Find Properties

Owner:

Parcel ID:

Address: Clear

Condo/Cottage Colony:

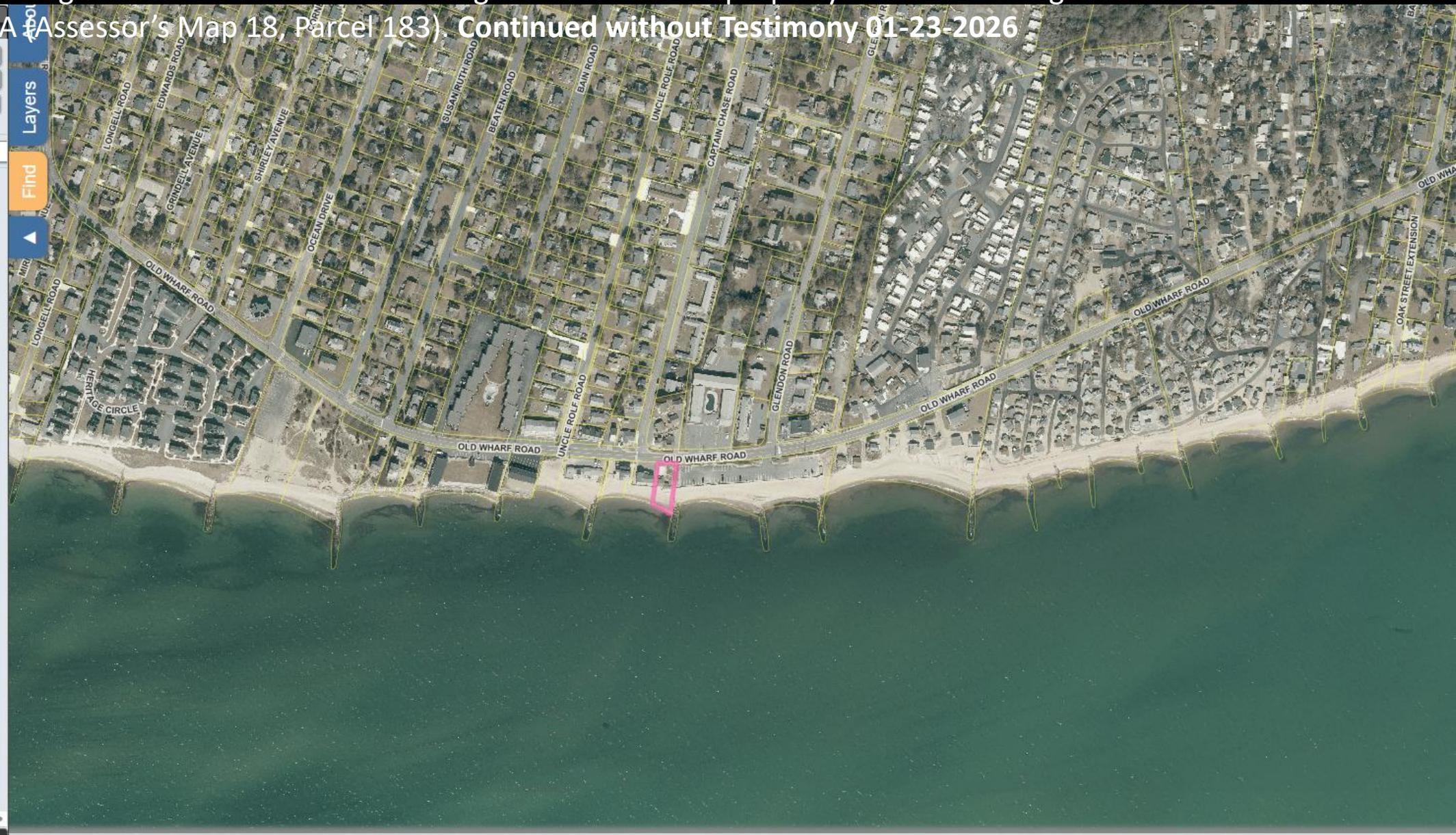
Results Summary

Parcels

Parcel ID	Address	Village	Owner
18-183-0	149 OLD WHA	DP	BANAS MICHA

Detail Information Zoom To

CAMA ID	18-183-0
MapPar	18-183
Key	688
Fiscal Year	2027
Extension	0
Address	149 OLD WHARF ROAD
Village	DP
Property Type	R
Owner	BANAS MICHAEL R ET UX
Co-Owner	CHEN-BANAS QIUHUI
Owner Address	63 MAIN STREET
Owner City	EASTHAMPTON
Owner State	MA
Owner Zip	01027
Owner Country	
State Class #	1010
State Class Desc	SINGLE FAMILY
Deed Date	03/09/21 00:00:00
Book	N/A
Page	N/A
Certificate	225555
Last Sale Price	0.0000
Total Value	\$1,291,600.00
Land Value	\$1,291,600.00
Building Value	\$0.00
Detached Building Value	\$0.00
Acres	0.14
Prev Year Total Value	\$1,038,500.00



149 OLD WHARF ROAD, DENNISPORT ZBAS-25-60: Michael R Banas ET UX, 63 Main Street, Easthampton, MA, 01027 C/O Kieran Healy of BSC Group, is seeking a Special Permit to Raze and replace of a single-family dwelling with new dwelling elevated on piles, of a non-conforming structure on a non-conforming lot. Located on a property in the RR Zoning District at 149 Old Wharf Road, Dennis Port MA (Assessor's Map 18, Parcel 183). Continued without Testimony 01-23-2026

Find Properties

Owner:

Parcel ID:

Address: [Clear](#)

Condo/Cottage Colony:

Results Summary

Parcels

Parcel ID	Address	Village	Owner
18-183-0	149 OLD WHA	DP	BANAS MICHA

Detail Information [Zoom To](#)

Key	688
Fiscal Year	2027
Extension	0
Address	149 OLD WHARF ROAD
Village	DP
Property Type	R
Owner	BANAS MICHAEL R ET UX
Co-Owner	CHEN-BANAS QIUHUI
Owner Address	63 MAIN STREET
Owner City	EASTHAMPTON
Owner State	MA
Owner Zip	01027
Owner Country	
State Class #	1010
State Class Desc	SINGLE FAMILY
Deed Date	03/09/21 00:00:00
Book	N/A
Page	N/A
Certificate	225555
Last Sale Price	0.0000
Total Value	\$1,291,600.00
Land Value	\$1,291,600.00
Building Value	\$0.00
Detached Building Value	\$0.00
Acres	0.14
Prev Year Total Value	\$1,038,500.00
Property Card	PK Field Card



149 OLD WHARF ROAD, DENNISPORT ZBAS-25-60: Michael R Banas ET UX, 63 Main Street, Easthampton, MA, 01027 C/O Kieran Healy of BSC Group, is seeking a Special Permit to Raze and replace of a single-family dwelling with new dwelling elevated on piles, of a non-conforming structure on a non-conforming lot. Located on a property in the RR Zoning District at 149 Old Wharf Road, Dennis Port MA (Assessor's Map 18, Parcel 183). **Continued without Testimony 01-23-2026**

Labels

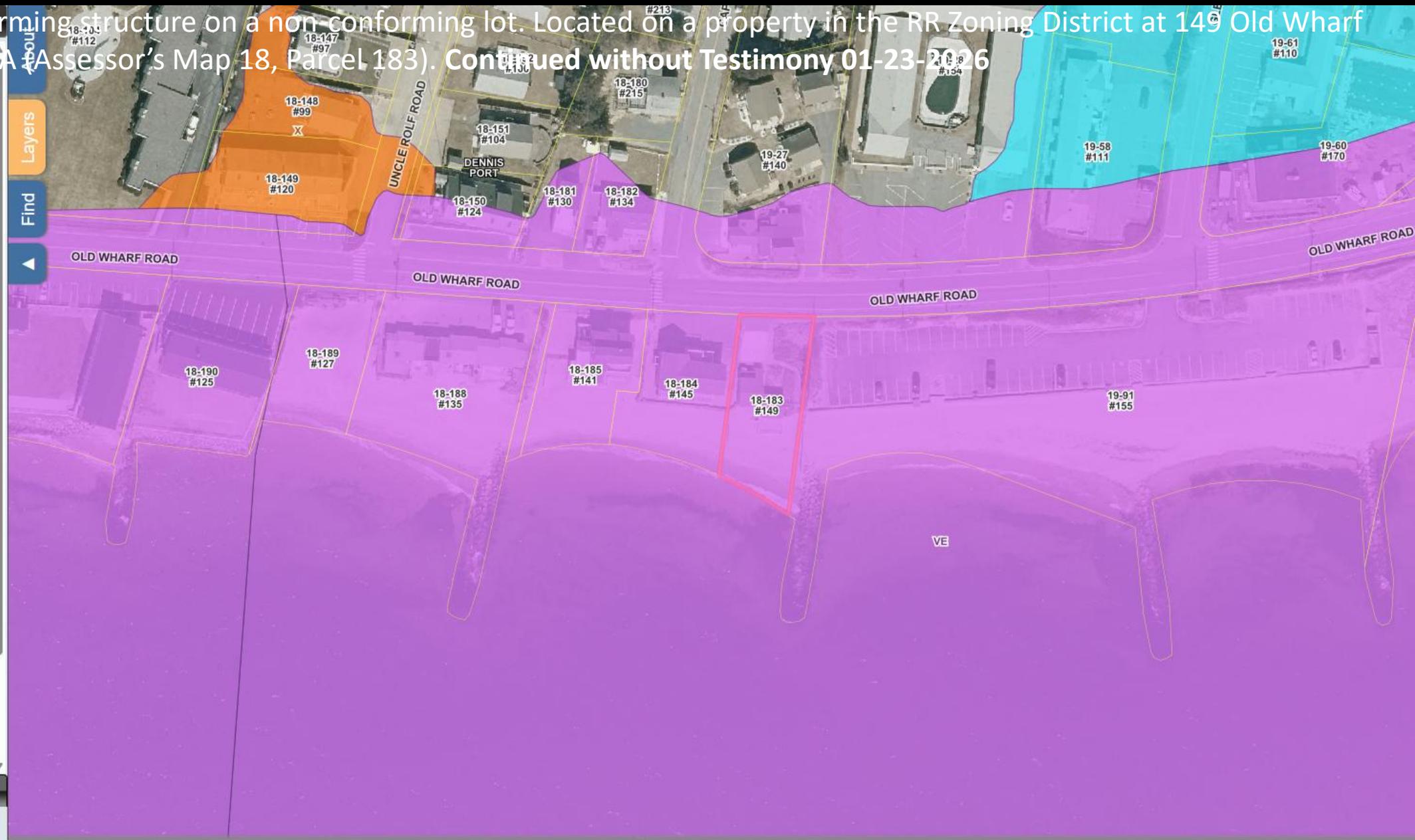
- Parcel and Address Numbers
- Parcel Numbers
- Address Numbers (MAT points)
- Village Names
- Waterbody Names
- Road Names

Layers

- Parcels
- Dennis Administrative Boundaries
- MassGIS Census Data
- MassGIS Coastal Features
- MassGIS Conservation
- MassGIS Inland Water
- MassGIS Regulated Areas
 - FEMA National Flood Hazard Layer
 - 1% Annual Chance Flood Hazard (VE)
 - 1% Annual Chance Flood Hazard (AE)
 - 0.2% Annual Chance Flood Hazard (X)
 - Area Not Included
 - MassDEP AUL Sites
 - Activity and Use Limitations
 - MassDEP Chapter 21E Sites
 - Tier I
 - Tier II
 - Tier 1D
 - MassDEP Wellhead Protection - Zone I
 - Zone I
 - MassDEP Wellhead Protection - Zone II
 - Zone II
 - MassDEP Wellhead Protection - IWPA
 - IWPA
- Places of Interest
- Assessing Maps
- Hiking/Walking Trailways
- Condo and Cottage Colonies

Base Maps

- 2023 MassGIS Orthos
- Town Basemap



149 OLD WHARF ROAD, DENNISPORT ZBAS-25-60: Michael R Banas ET UX, 63 Main Street, Easthampton, MA, 01027 C/O Kieran Healy of BSC Group, is seeking a Special Permit to Raze and replace of a single-family dwelling with new dwelling elevated on piles, of a non-conforming structure on a non-conforming lot. Located on a property in the RR Zoning District at 149 Old Wharf Road, Dennisport MA (Assessor's Map 18, Parcel 183). Continued without Testimony 01-23-2026

Labels

- Parcel and Address Numbers
- Parcel Numbers
- Address Numbers (MAT points)
- Village Names
- Waterbody Names
- Road Names

Layers

- Parcels
- Dennis Administrative Boundaries
- MassGIS Census Data
- MassGIS Coastal Features
- MassGIS Conservation
- MassGIS Inland Water
 - MassDEP Wetlands (line)
 - Shoreline
 - Hydrologic Connection
 - Mean Low Water Line
 - Wetland Limit
 - Closure Line
 - MassDEP Wetlands
 - Marsh / Bog
 - Wooded Marsh
 - Cranberry Bog
 - Salted Marsh
 - Tidal Flat
 - Beach / Dune
- MassGIS Regulated Areas
- Places of Interest
- Assessing Maps
- Hiking/Walking Trailways
- Condo and Cottage Colonies
- Land Use
- CCC 2020 Planimetrics
- Elevation
- Base Maps**
 - 2023 MassGIS Orthos
 - Town Basemap





FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

EXISTING EXTERIOR
ELEVATIONS

AT

#149
OLD WHARF ROAD
DENNISPORT
MASSACHUSETTS

PREPARED FOR:

MICHAEL BANAS
63 MAIN STREET
EASTHAMPTON
MA 01027

REV. 1: -



349 Route 28
West Yarmouth, Massachusetts

02673
© 2025 BSC Group, Inc. 508-778-8919

Scale: NONE Date: DEC. 22, 2025

File: P:\Prj\CAD\149

Dwg. No:	Filed:	Sheet
Job No.: 0101010.01	FF-	1 of 1

149 OLD WHARF ROAD, DENNISPORT ZBAS-25-60: Michael R Banas ET UX, 63 Main Street, Easthampton, MA, 01027 C/O Kieran Healy of BSC Group, is seeking a Special Permit to Raze and replace of a single-family dwelling with new dwelling elevated on piles, of a non-conforming structure on a non-conforming lot. Located on a property in the RR Zoning District at 149 Old Wharf Road, Dennis Port MA (Assessor's Map 18, Parcel 183). **Continued without Testimony 01-23-2026**



FRONT ELEVATION



RIGHT ELEVATION

149 OLD WHARF ROAD, DENNISPORT ZBAS-25-60: Michael R Banas ET UX, 63 Main Street, Easthampton, MA, 01027 C/O Kieran Healy of BSC Group, is seeking a Special Permit to Raze and replace of a single-family dwelling with new dwelling elevated on piles, of a non-conforming structure on a non-conforming lot. Located on a property in the RR Zoning District at 149 Old Wharf Road, Dennis Port MA (Assessor's Map 18, Parcel 183). **Continued without Testimony 01-23-2026**



REAR ELEVATION

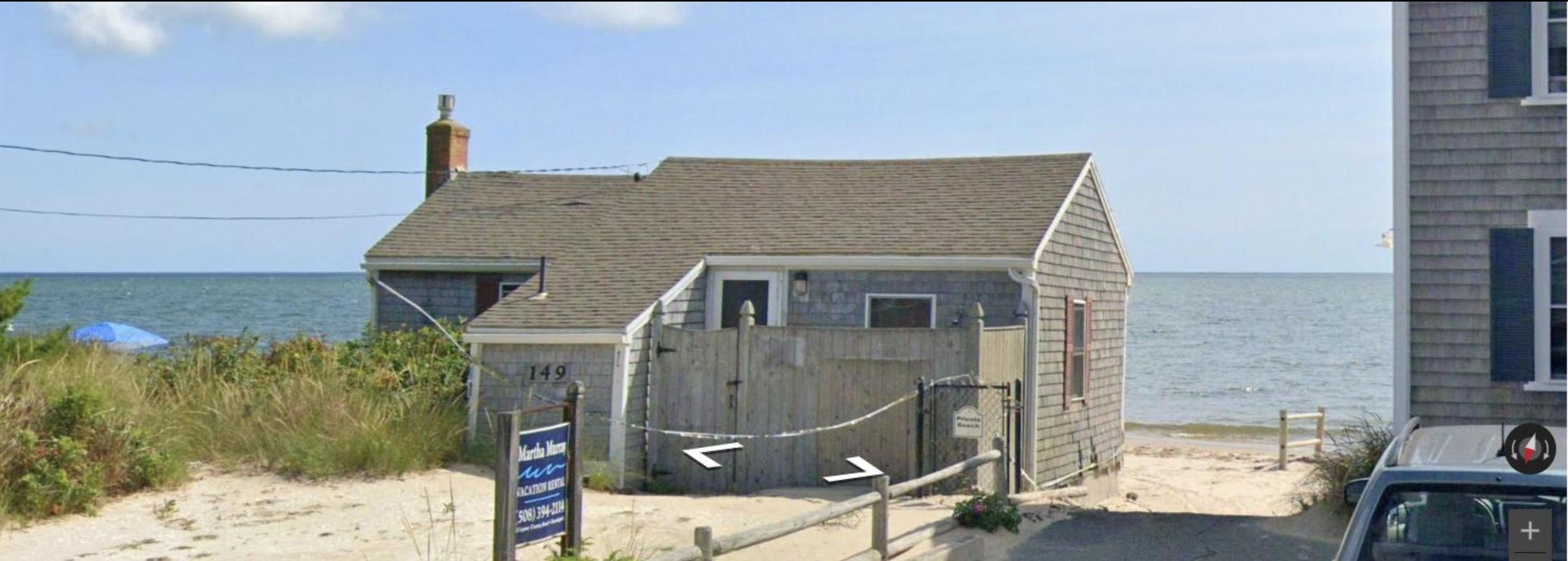


LEFT ELEVATION

149 OLD WHARF ROAD, DENNISPORT ZBAS-25-60: Michael R Banas ET UX, 63 Main Street, Easthampton, MA, 01027 C/O Kieran Healy of BSC Group, is seeking a Special Permit to Raze and replace of a single-family dwelling with new dwelling elevated on piles, of a non-conforming structure on a non-conforming lot. Located on a property in the RR Zoning District at 149 Old Wharf Road, Dennis Port MA (Assessor's Map 18, Parcel 183). **Continued without Testimony 01-23-2026**



149 OLD WHARF ROAD, DENNISPORT ZBAS-25-60: Michael R Banas ET UX, 63 Main Street, Easthampton, MA, 01027 C/O Kieran Healy of BSC Group, is seeking a Special Permit to Raze and replace of a single-family dwelling with new dwelling elevated on piles, of a non-conforming structure on a non-conforming lot. Located on a property in the RR Zoning District at 149 Old Wharf Road, Dennis Port MA (Assessor's Map 18, Parcel 183). **Continued without Testimony 01-23-2026**



BASIC SITE DATA	REQ/ALLOWED	EXISTING	PROPOSED
FRONTAGE	150'	56.70'	56.70'
FRONT SETBACK	25'	33.5'	28.8'
RIGHT SETBACK (WEST)	15'	2.0'	2.2'
EAST SETBACK (EAST)	15'	14.1'	10.8'
REAR SETBACK	25'	34.0'	44.0'
LOT AREA	40,000	3,832± S.F.	3,832± S.F.
LOT WIDTH	100'	56.37'	56.37'
NON CONFORMING FLOOR SPACE WITHIN SETBACK	0	258± S.F.	337± S.F.
INCREASE IN NEW-NONCONFORMING FLOOR SPACE BY MORE THAN 40% WITHIN 10 YEARS	0	0	31%
BUILDING COVERAGE	575 S.F.	782± S.F.	1,044± S.F.
BUILDING COVERAGE	10%	19%	27.2%
FLOOR SPACE OF ALL STRUCTURES	1,149± S.F.	684± S.F.	910± S.F.
FLOOR SPACE TO LOT AREA % ALL STRUCTURES	30%	17.9%	23.8%

NOTES.

- THIS PLAN IS BASED ON AN ON THE GROUND SURVEY BY BSC GROUP INC.
- ELEVATIONS DEPICTED ON THIS PLAN ARE ON NAVD 83 DATUM.
- THERE MAY BE UNDERGROUND UTILITIES THAT ARE NOT DEPICTED ON THIS PLAN
- THE FLOOD ZONE LINE DEPICTED ON THIS PLAN IS COMPILED FROM THE CURRENT FEMA PUBLICATION.
- THE ENTIRE PROPERTY IS WITHIN FLOOD ZONE VE, ELEVATION 13.
- THERE IS ONE STRUCTURE ON THE PROPERTY THAT IS TO BE REMOVED AND REPLACED WITH ONE NEW STRUCTURE.

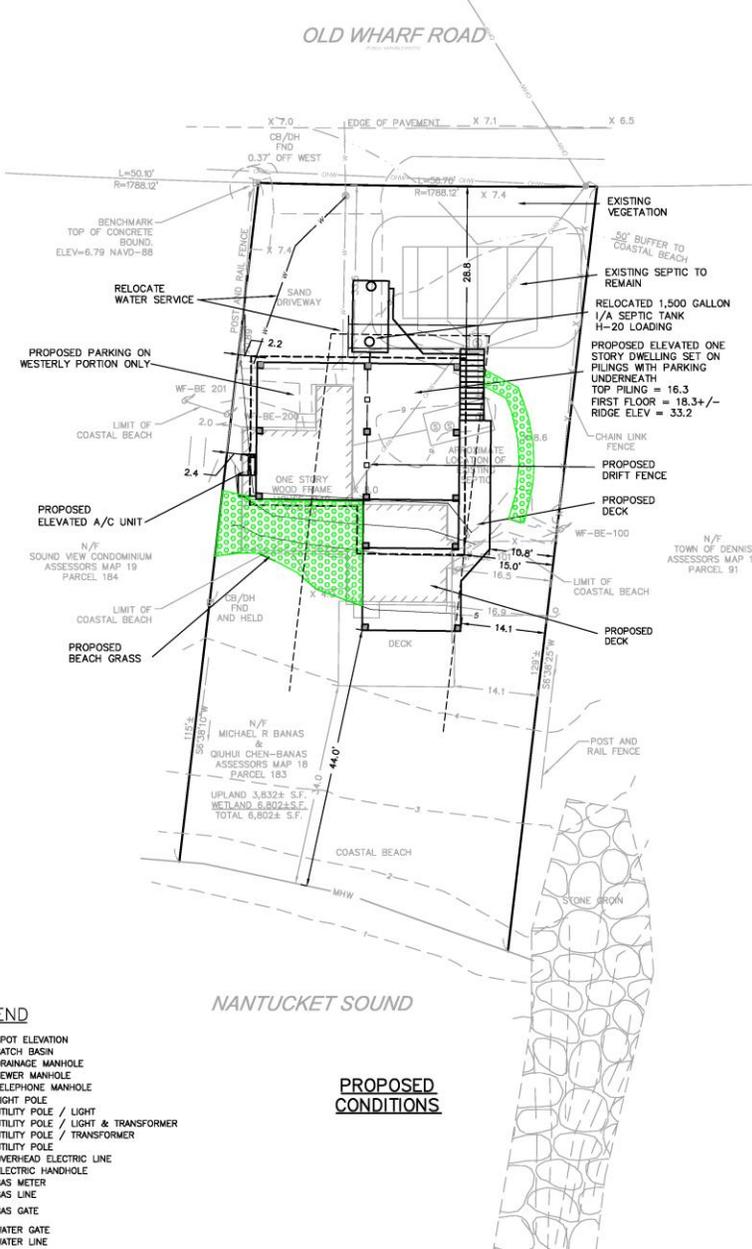
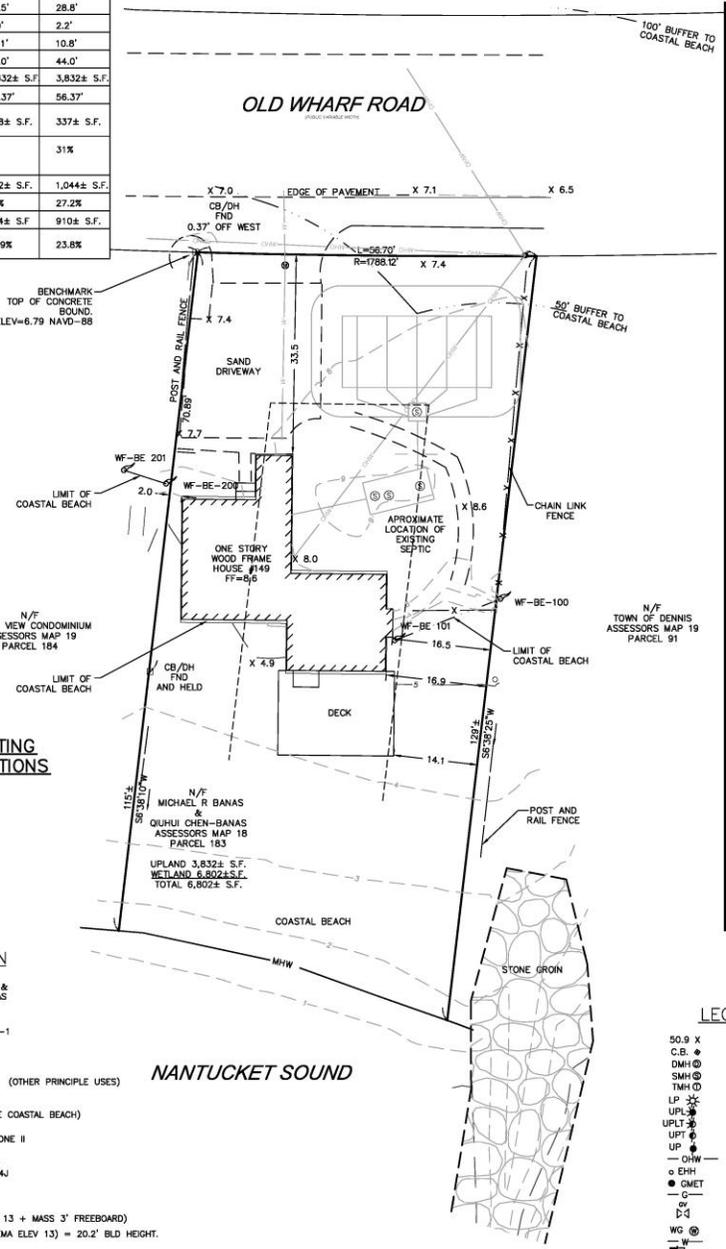
BENCHMARK
TOP OF CONCRETE
BOUND.
ELEV=6.79 NAVD-88



EXISTING CONDITIONS

LOCUS INFORMATION

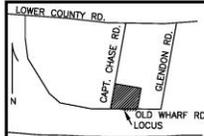
CURRENT OWNER: MICHAEL R BANAS & QIUHUI CHEN-BANAS
 TITLE REFERENCE: CERT #225555
 PLAN REFERENCE: L.C. 17718-A, SH-1
 ASSESSORS MAP: 18, 183
 ZONING DISTRICT: RR (RESIDENTIAL) (OTHER PRINCIPLE USES)
 MINIMUM LOT SIZE: 40,000±S.F.
 EXISTING LOT SIZE: 3,832±S.F. (ABOVE COASTAL BEACH)
 NITROGEN SENSITIVE ZONE: NOT IN A 1995 ZONE II
 FEMA FLOOD ZONE DISTRICT: ZONE "VE" EL=13 PANEL 25001C0594J 7/16/14
 OVERLAY DISTRICT: NONE
 MIN. LOWEST HORIZONTAL STRUCTURAL: ELEVATION 16 (EL 13 + MASS 3' FREEBOARD)
 PROPOSED BUILDING HEIGHT: RIDGE 33.2± (-FEMA ELEV 13) = 20.2' BLD HEIGHT.



LEGEND

- 50.9 X SPOT ELEVATION
- CB/DH CATCH BASIN
- SMH SEWER MANHOLE
- TMH TELEPHONE MANHOLE
- LP LIGHT POLE
- UPLT UTILITY POLE / LIGHT
- UPLT UTILITY POLE / LIGHT & TRANSFORMER
- UPT UTILITY POLE / TRANSFORMER
- UP OVERHEAD ELECTRIC LINE
- OHW OVERHEAD ELECTRIC LINE
- EHH ELECTRIC HANDHOLE
- GMET GAS METER
- GL GAS LINE
- GG GAS GATE
- WG WATER GATE
- WL WATER LINE
- TP TEST PIT

PROPOSED CONDITIONS



LOCUS MAP

I CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THAT THE LOT CORNERS, DIMENSIONS AND SETBACKS TO THE STRUCTURE AS DETERMINED BY INSTRUMENT SURVEY AND AS SHOWN ON THIS PLAN ARE CORRECT.



Kieran J. Healy
 KIERAN J. HEALY
 FOR THE BSC GROUP
 1/8/2026
 DATE

PLAN OF LAND

149 OLD WHARF ROAD
 IN
 DENNISPORT
 MASSACHUSETTS
 (BARNSTABLE COUNTY)

PROPOSED CONDITIONS PLAN

JANUARY 8, 2026

REVISIONS:

NO.	DATE	DESC.

PREPARED FOR:
 MICHAEL R BANAS
 63 MAIN ST
 EASTHAMPTON, MA 01027
 MB@BANASINSURANCE.COM

BSC GROUP
 BUILD | SUPPORT | CONNECT
 349 Route 28, Main Street
 West Yarmouth, MA
 02673
 508 778-8919

© 2025 BSC Group, Inc.
 SCALE: 1" = 10'

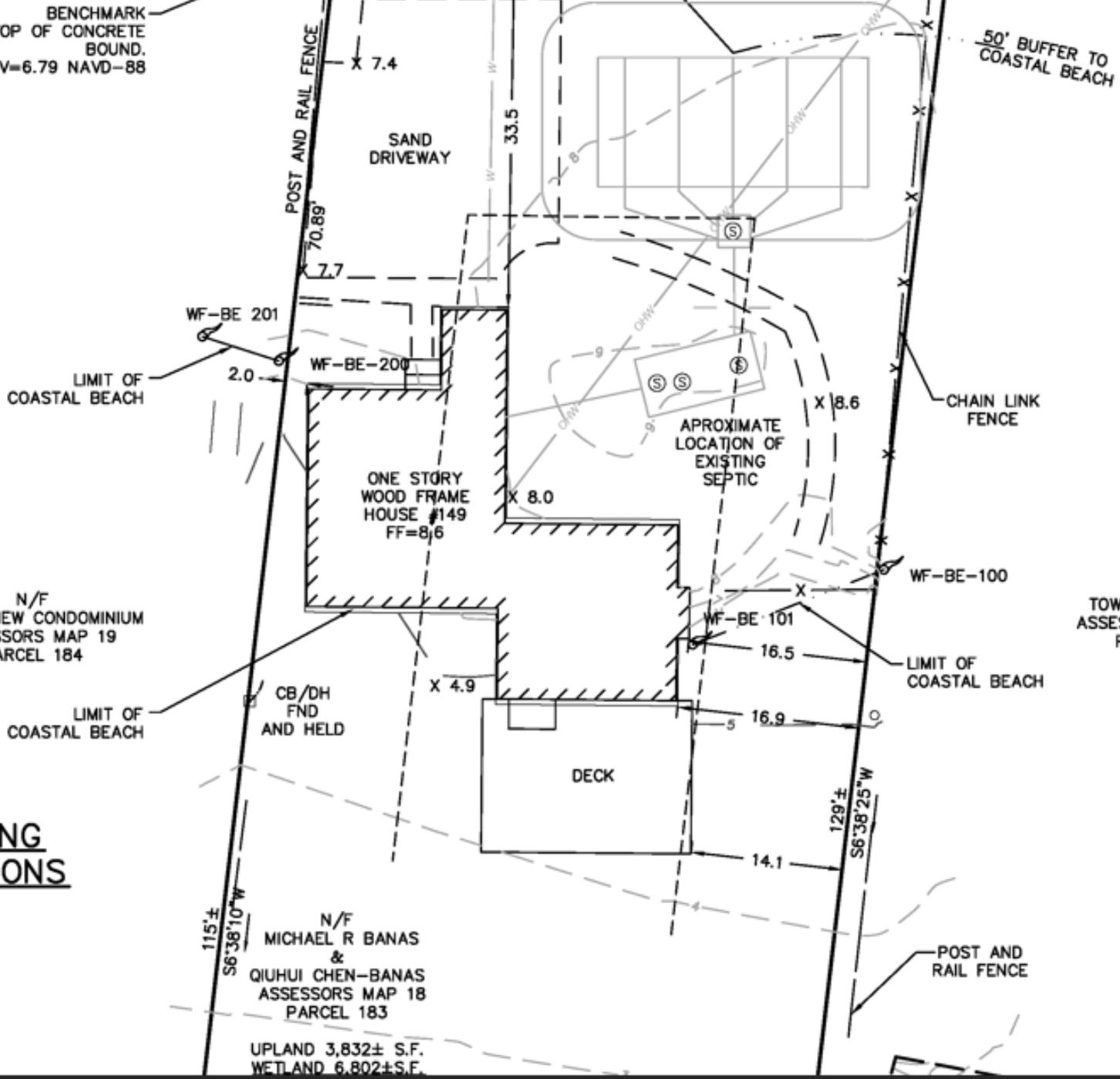
FILE: 01010101\CIVIL_D\0101010-SP.dwg
 DWG.:
 JOB. NO: 01010101 SHEET 1 OF 1

File Name: P:\01010101\Civil\0101010-SP.dwg - Tab: 26a - Printed On: January 8, 2026 - 2:46 PM by: KIERAN J. HEALY. Saved on 1/8/2026 8:05 AM by: KIEALY

THE INC.
LAN ARE
UTILITIES
S PLAN
ON THIS
URRENT
FLOOD
HE
ED AND
TURE.

BENCHMARK
TOP OF CONCRETE
BOUND.
ELEV=6.79 NAVD-88

**EXISTING
CONDITIONS**

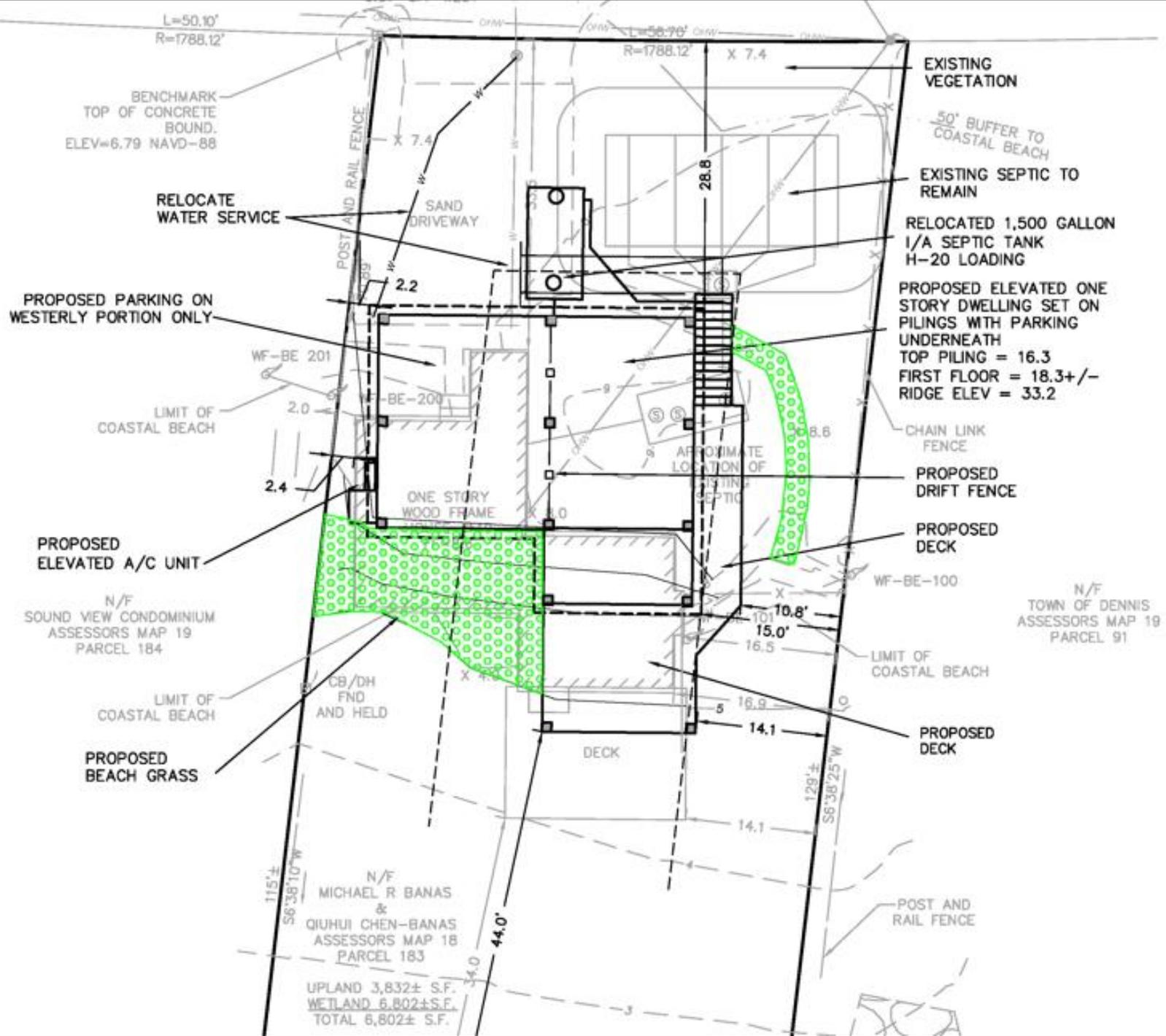


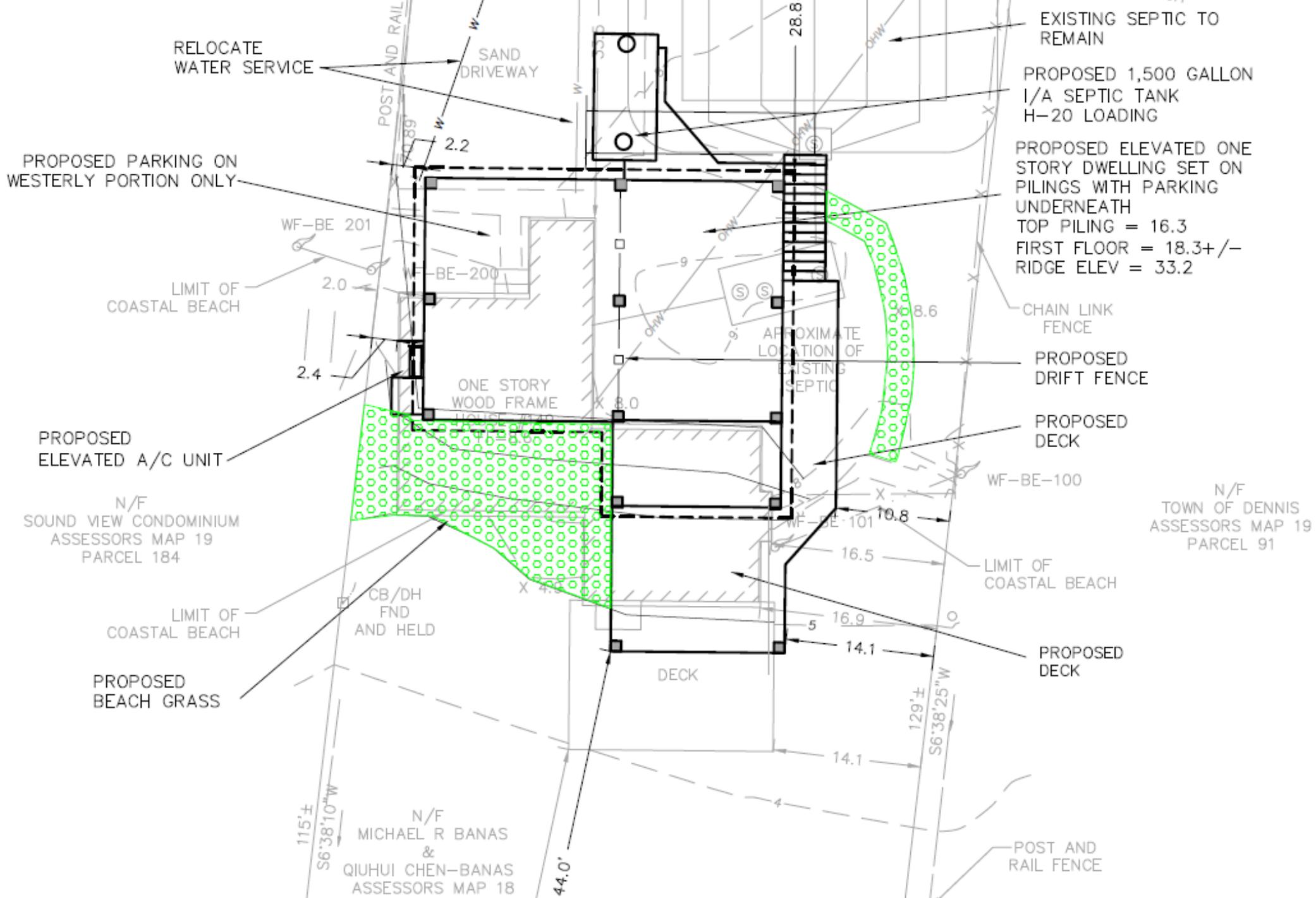
N/F
SOUND VIEW CONDOMINIUM
ASSESSORS MAP 19
PARCEL 184

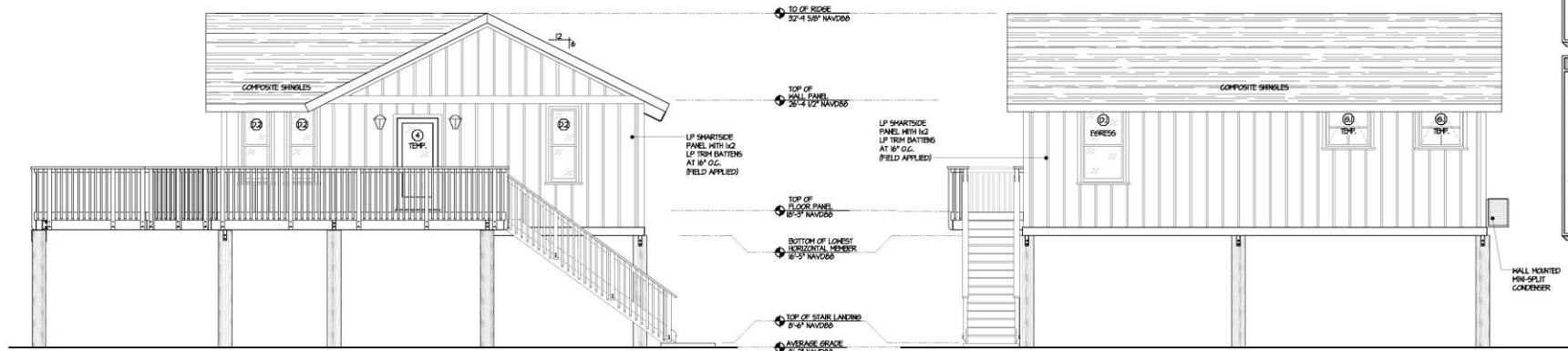
N/F
TOWN OF DENNIS
ASSESSORS MAP 19
PARCEL 91

N/F
MICHAEL R BANAS
&
QIUHUI CHEN-BANAS
ASSESSORS MAP 18
PARCEL 183

UPLAND 3,832± S.F.
WETLAND 6,802± S.F.

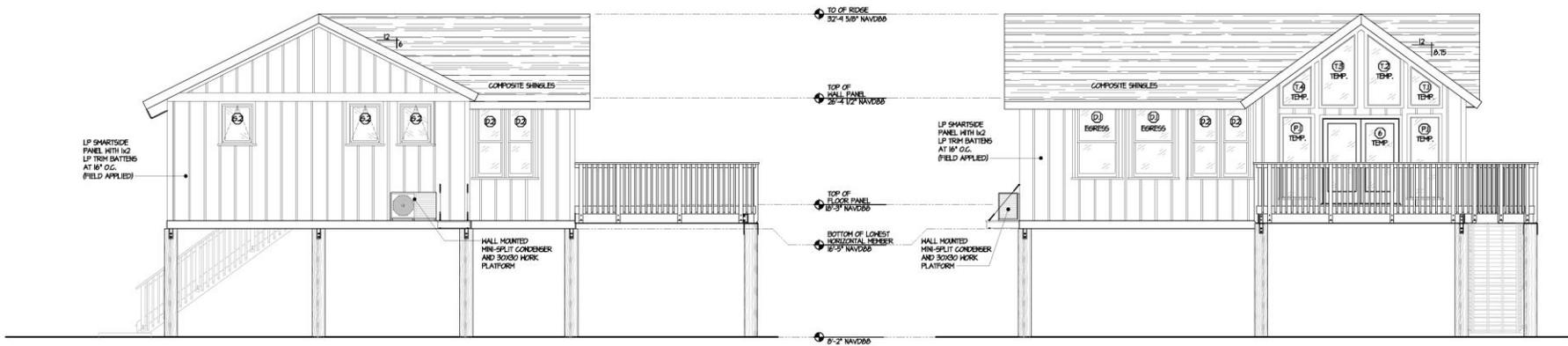






EAST ELEVATION
A-2
1/4" = 1'-0"

NORTH ELEVATION
A-3
1/4" = 1'-0"



WEST ELEVATION
A-2
1/4" = 1'-0"

SOUTH ELEVATION
A-3
1/4" = 1'-0"

ELEVATION NOTES

1. ELEVATIONS RELATIVE TO 0'-0" ARE PLAIN ELEVATIONS AND FOR REFERENCE ONLY. SEE SITE PLAN SURVEY OR TOPOGRAPHY MAP FOR THE SITE ELEVATION ABOVE MEAN SEA LEVEL.
2. MAXIMUM HEIGHTS ARE TO BE IN ACCORDANCE WITH THE SPECIFIED CODE. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO VERIFY THAT ELEVATIONS MEET THE REQUIREMENTS OF LOCAL ORDINANCES, ARCHITECTURAL REVIEW BOARDS AND HOME OWNERS ASSOCIATION IF APPLICABLE.
3. THE LOWEST HORIZONTAL STRUCTURAL MEMBER AND LOWEST FINISHED FLOOR ELEVATION SHALL MEET OR EXCEED THE REQUIREMENTS OF THE FLOOD ZONE IF APPLICABLE.
4. ROOFING, SIDING, TRIM, OR ANY OTHER ITEM SUPPLIED BY 'TOPSIDER' IS PER CONTRACT.

STAIRWAY AND GUARDRAIL NOTES

1. STAIRWAY SHALL NOT BE LESS THAN 36" IN CLEAR HEIGHT AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT.
2. THE MINIMUM HEADROOM IN ALL PORTIONS OF THE STAIRWAY SHALL NOT BE LESS THAN 6'-6".
3. THE MAXIMUM RISER HEIGHT SHALL BE 7 1/4".
4. THE MINIMUM TREAD DEPTH SHALL BE 10".
5. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS.
6. GUARDRAILS SHALL BE NO LESS THAN 36" HIGH.
7. PICKETS SHALL BE NO MORE THAN 4" APART. BOTTOM GIRD SHALL BE NO MORE THAN 2" FROM THE DECK.
8. TRIANGULAR OPENING FORMED BY A TREAD, RISER AND BOTTOM OF A GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS.

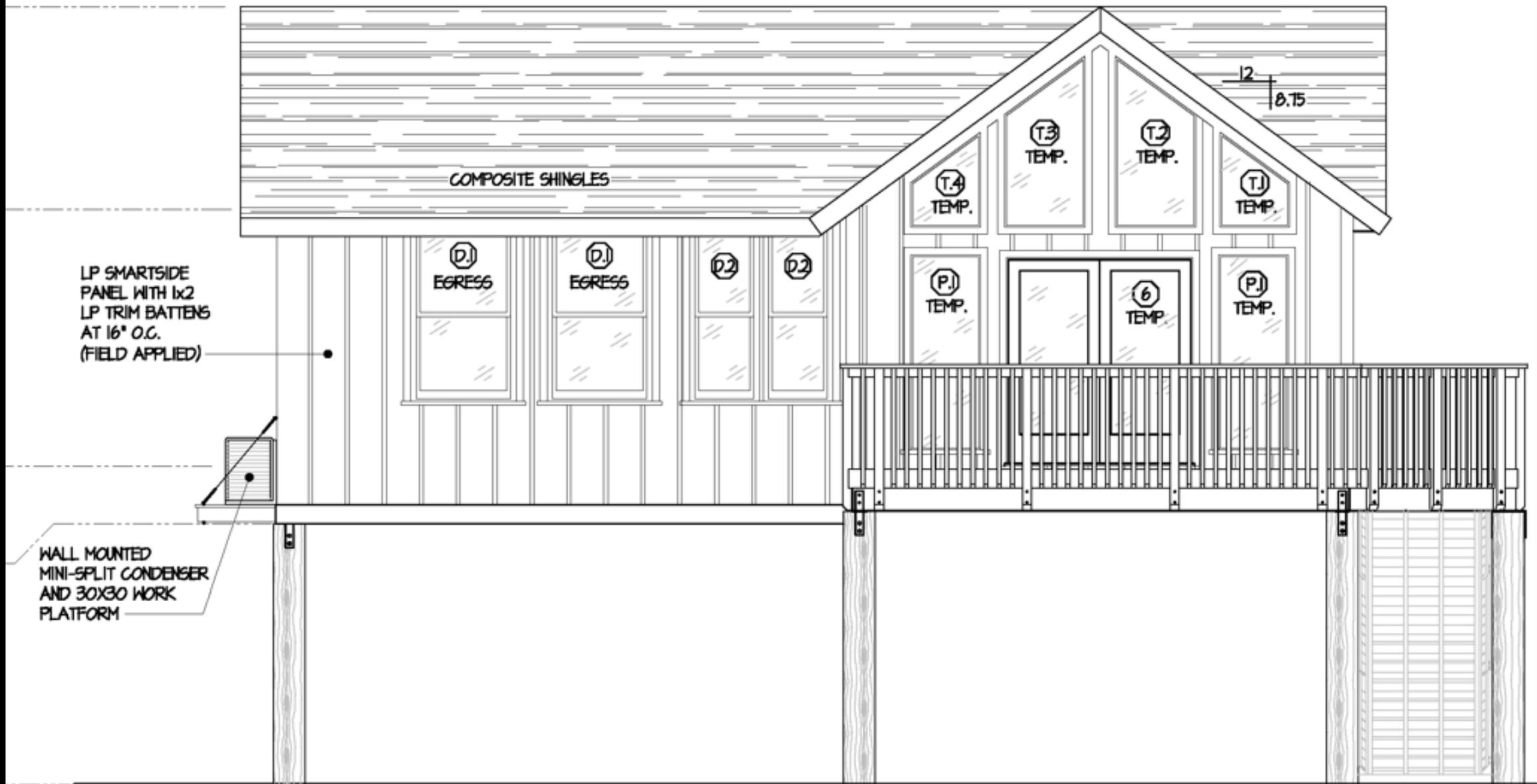


GENERAL NOTES

PROJECT NAME: PERMIT ISSUE
 DRAWN BY: R. RUIZ
 CHECKED BY: J. ISAMAN
 DRAWN DATE: A-2.1

MECHANICAL AND ELECTRICAL NOTES
 PERMITTED BY: [blank]
 PROJECT NO: [blank]

BANAS RESIDENCE ELEVATIONS	
FOUNDATION	CONCRETE
FOUNDED	CONCRETE
REVISIONS	
DATE	
BY	
DATE	
BY	



LP SMARTSIDE
 PANEL WITH 1x2
 LP TRIM BATTENS
 AT 16" O.C.
 (FIELD APPLIED)

WALL MOUNTED
 MINI-SPLIT CONDENSER
 AND 30X30 WORK
 PLATFORM

COMPOSITE SHINGLES

(D.1)
 EGRESS

(D.1)
 EGRESS

(D.2)

(D.2)

(P.1)
 TEMP.

(6)
 TEMP.

(P.1)
 TEMP.

(T.4)
 TEMP.

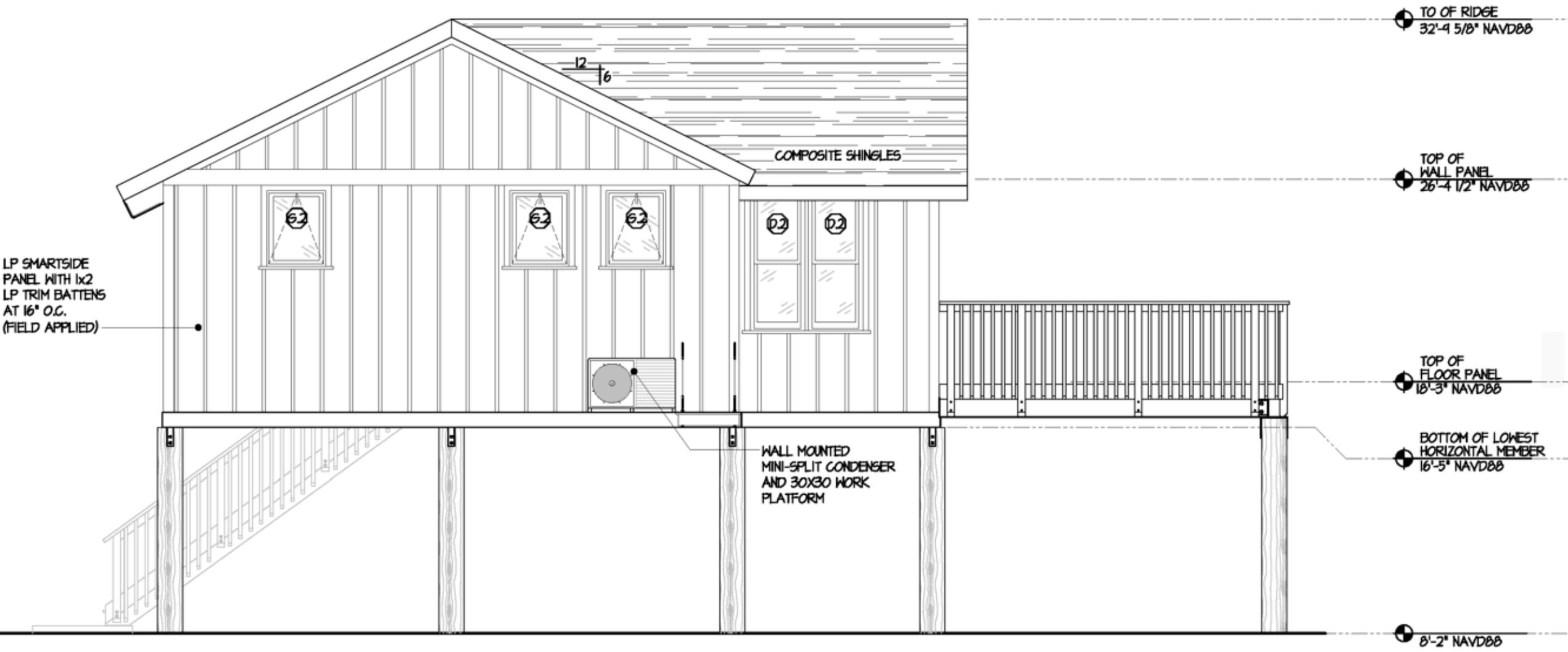
(T.3)
 TEMP.

(T.2)
 TEMP.

(T.1)
 TEMP.

12'
 8.75'

03 SOUTH ELEVATION
 A-21 1/4" = 1'-0"



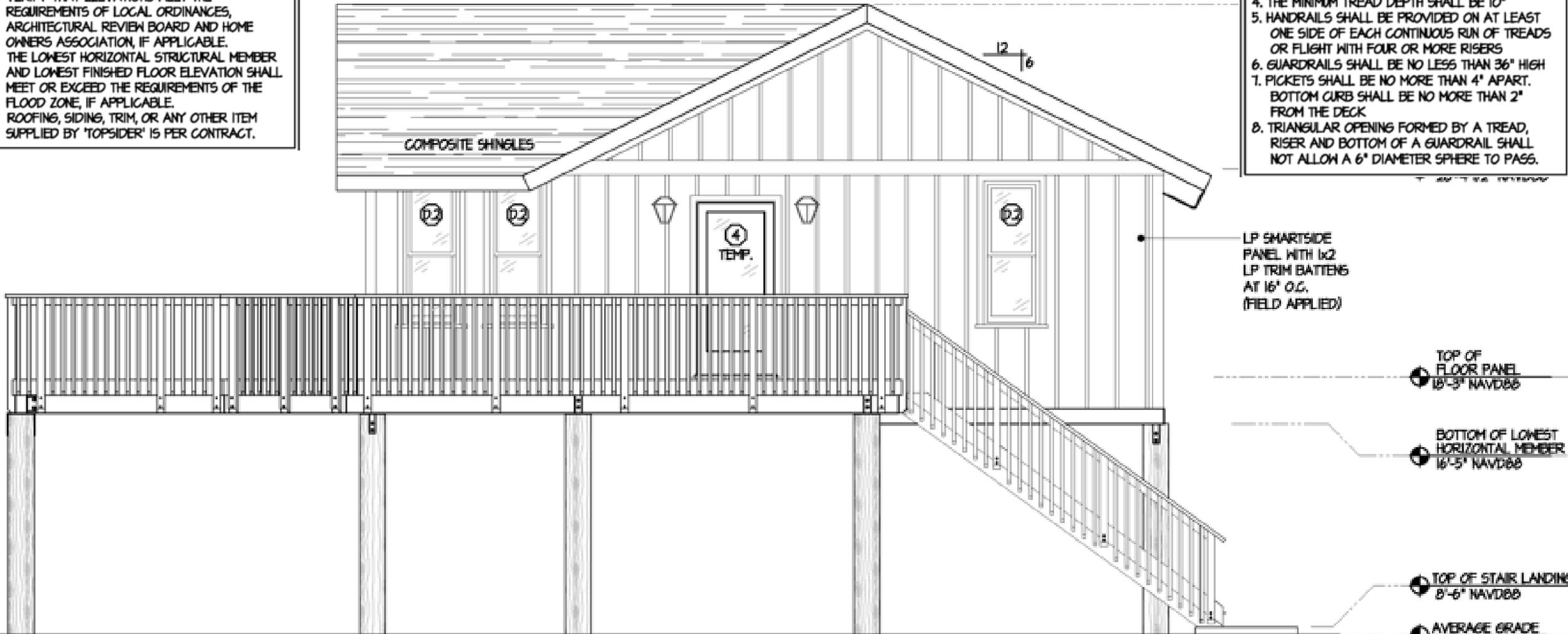
04 WEST ELEVATION
A-21 1/4" = 1'-0"

ELEVATION NOTES

1. ELEVATIONS RELATIVE TO 0'-0" ARE 'PLAN' ELEVATIONS AND FOR REFERENCE ONLY. SEE SITE PLAN, SURVEY OR TOPOGRAPHY MAP FOR THE SITE ELEVATION ABOVE MEAN SEA LEVEL.
2. MAXIMUM HEIGHTS ARE TO BE IN ACCORDANCE WITH THE SPECIFIED CODE. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO VERIFY THAT ELEVATIONS MEET THE REQUIREMENTS OF LOCAL ORDINANCES, ARCHITECTURAL REVIEW BOARD AND HOME OWNERS ASSOCIATION, IF APPLICABLE.
3. THE LOWEST HORIZONTAL STRUCTURAL MEMBER AND LOWEST FINISHED FLOOR ELEVATION SHALL MEET OR EXCEED THE REQUIREMENTS OF THE FLOOD ZONE, IF APPLICABLE.
4. ROOFING, SIDING, TRIM, OR ANY OTHER ITEM SUPPLIED BY 'TOPSIDER' IS PER CONTRACT.

STAIRWAY AND GUARDRAIL NOTES

1. STAIRWAY SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT.
2. THE MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6'-8"
3. THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4"
4. THE MINIMUM TREAD DEPTH SHALL BE 10"
5. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS
6. GUARDRAILS SHALL BE NO LESS THAN 36" HIGH
7. PICKETS SHALL BE NO MORE THAN 4" APART. BOTTOM CURB SHALL BE NO MORE THAN 2" FROM THE DECK
8. TRIANGULAR OPENING FORMED BY A TREAD, RISER AND BOTTOM OF A GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS.

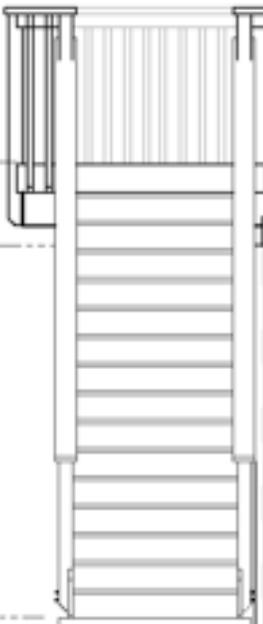


02 EAST ELEVATION
 A-21 1/4" = 1'-0"



COMPOSITE SHINGLES

LP SMARTSIDE
PANEL WITH 1x2
LP TRIM BATTENS
AT 16" O.C.
(FIELD APPLIED)



(D)
EGRESS



(G)
TEMP.



(G)
TEMP.

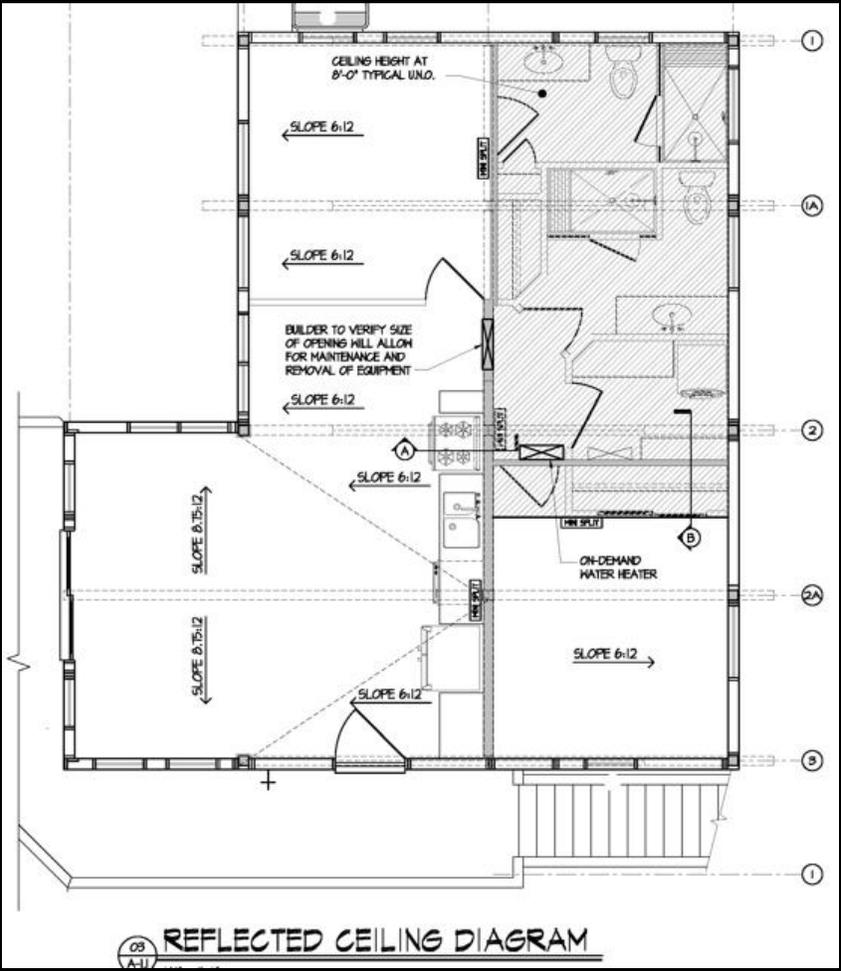


WALL MOUNTED
MINI-SPLIT
CONDENSER

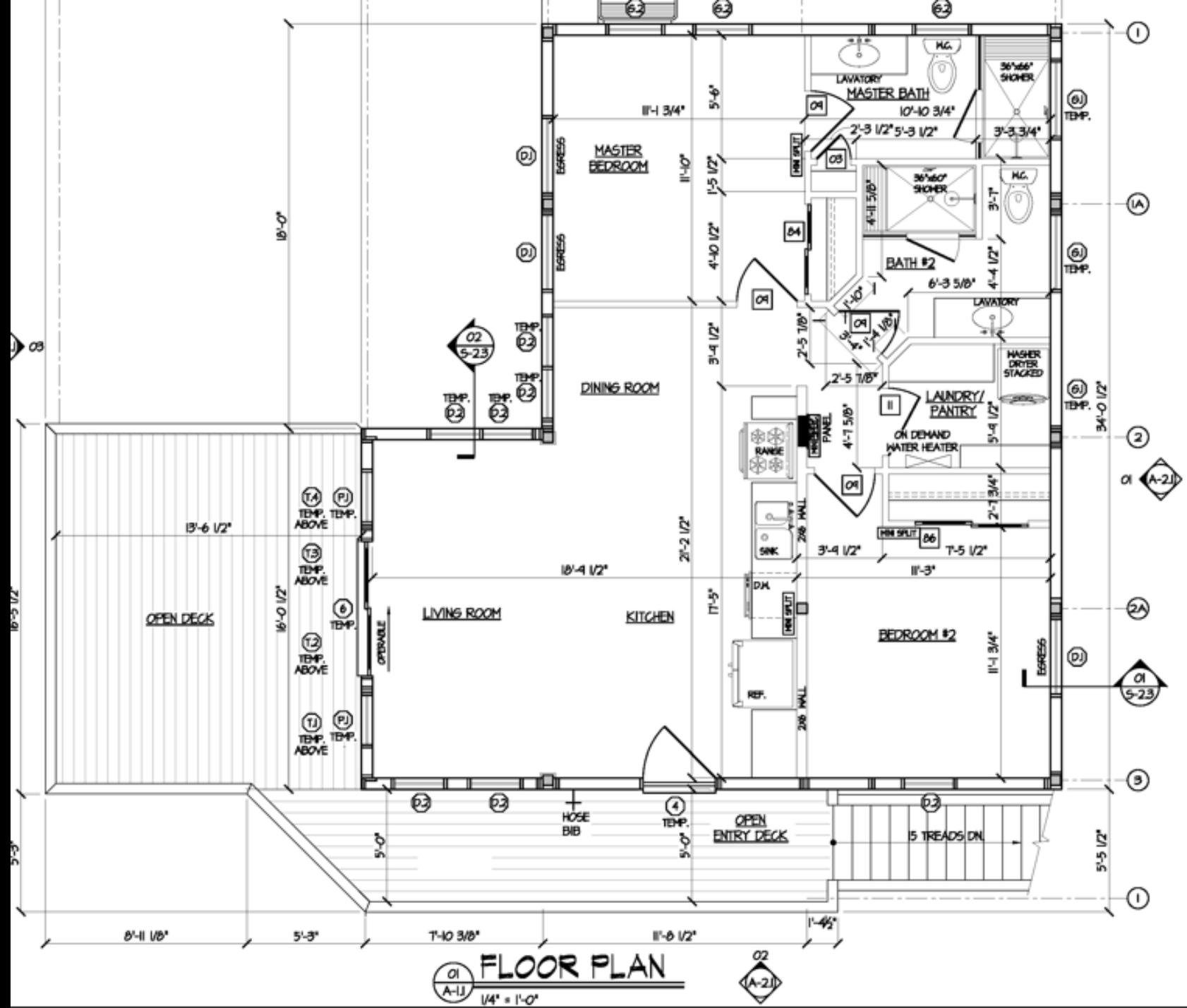
01
A-21

NORTH ELEVATION

1/4" = 1'-0"



REFLECTED CEILING DIAGRAM



FLOOR PLAN
1/4" = 1'-0"

Commonwealth of Massachusetts



TOWN OF DENNIS
BUILDING DEPARTMENT
ZONING REFERRAL LETTER
685 Route 134, South Dennis, MA 02660
(508) 760-6157

PERMIT NUMBER:
ZDET-25-71
DATE OF REFERRAL:
December 1, 2025
FEES PAID:
\$50.00

OWNERS NAME: BANAS MICHAEL R ET UX
PROPERTY ADDRESS OF WORK: 149 OLD WHARF ROAD, DENNIS PORT, MA, 02639
MAP & PARCEL: 18-183-0
DETERMINATION OF REFERRAL: ZBA Special permit required per 2.4.1.2 for the voluntary demolition and replacement of a non-conforming structure on a non conforming lot that will increase height in a setback

ISSUED BY:

DESCRIPTION OF WORK BY APPLICANT:
Raze and replace a damaged building to make it flood zone compliant