

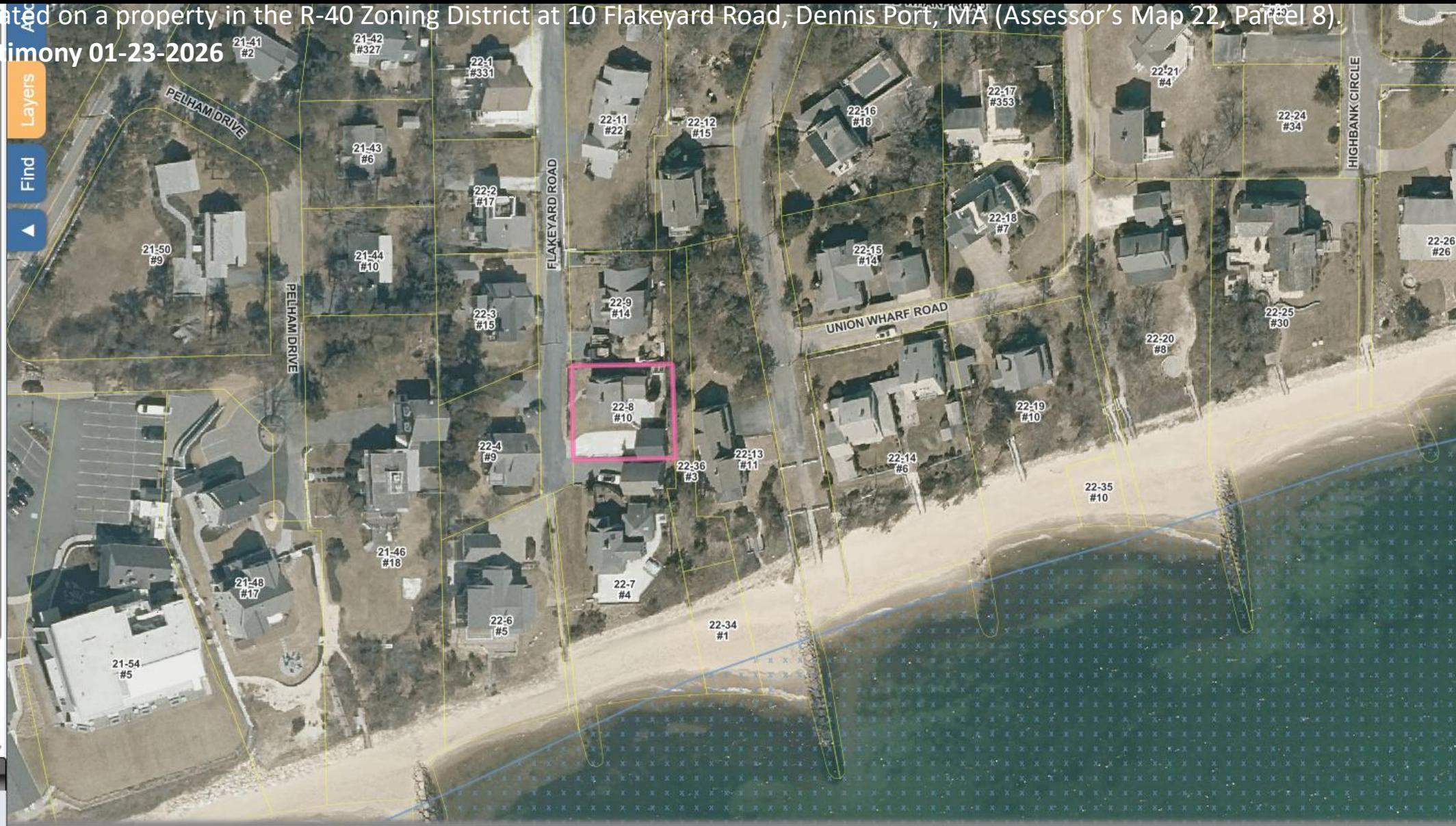
10 FLAKEYARD ROAD, DP (ZBAS-25-63): Jeffrey J Robinson ET UX, 729 Park Avenue, Terrace Park, OH, 45174-1020, C/O Adam Schroth of AGS Architecture is seeking a Special Permit to allow demolition and construction of a new single-family residence on the existing footprint with a modified roofline, and demolition and construction of a new detached garage with a modified footprint and roofline, on a pre-existing

nonconforming lot. Located on a property in the R-40 Zoning District at 10 Flakeyard Road, Dennis Port, MA (Assessor's Map 22, Parcel 8).

Continued without Testimony 01-23-2026

Layers

- Parcels
- Dennis Administrative Boundaries
- MassGIS Census Data
- MassGIS Coastal Features
 - MassDMF Designated Shellfish Growing Areas
 - Approved
 - Conditionally Approved
 - Restricted
 - Conditionally Restricted
 - Prohibited
 - MassDMF Shellfish Suitability Area
 - American Oyster
 - Bay Scallop
 - Blue Mussell
 - Ocean Quahog
 - European Oyster
 - Quahog
 - Razor Clam
 - Sea Scallop
 - Soft-shelled Clam
 - Surf Clam
 - USACE Hurricane Surge Inundation Zone
 - Category 1
 - Category 2
 - Category 3
 - Category 4
- MassGIS Conservation
- MassGIS Inland Water
- MassGIS Regulated Areas
- Places of Interest
- Assessing Maps
- Hiking/Walking Trailways
- Condo and Cottage Colonies



10 FLAKEYARD ROAD, DP (ZBAS-25-63): Jeffrey J Robinson ET UX, 729 Park Avenue, Terrace Park, OH, 45174-1020, C/O Adam Schroth of AGS Architecture is seeking a Special Permit to allow demolition and construction of a new single-family residence on the existing footprint with a modified roofline, and demolition and construction of a new detached garage with a modified footprint and roofline, on a pre-existing non-conforming lot. Located on a property in the R-40 Zoning District at 10 Flakeyard Road, Dennis Port, MA (Assessor's Map 22, Parcel 8).

Comprehensive testimony 01-23-2026

5

Zoning Overlay Districts

- Medium Wind Facility Overlay District
- Large Wind Facility Overlay District
- Med. & Large Wind Facility Overlay Distr
- Scenic Corridor

Zoning

- Residential 40
- Residential 60
- General Commercial I, II, or III
- Limited or Extensive Business
- Industrial
- Resort Areas
- Dennis Port Village Center Areas
- West Dennis Village Center District
- West Dennis Village Center Support Dist
- West Dennis Marine Open Space District
- West Dennis Mixed Use Marine District
- West Dennis Residential-Commercial
- Quivet Neck-Crowes Pasture Resource Protection District

MassGIS Census Data

MassGIS Coastal Features

MassGIS Conservation

MassGIS Inland Water

MassGIS Regulated Areas

Places of Interest

Assessing Maps

Hiking/Walking Trailways

Condo and Cottage Colonies

Land Use

CCC 2020 Planimetrics

Elevation

Basemap - 2023 MassGIS Orthos

Base Maps

- 2023 MassGIS Orthos
- Town Basemap



10 FLAKEYARD ROAD, DP (ZBAS-25-63): Jeffrey J Robinson ET UX, 729 Park Avenue, Terrace Park, OH, 45174-1020, C/O Adam Schroth of AGS Architecture is seeking a Special Permit to allow demolition and construction of a new single-family residence on the existing footprint with a modified roofline, and demolition and construction of a new detached garage with a modified footprint and roofline, on a pre-existing nonconforming lot. Located on a property in the R-40 Zoning District at 10 Flakeyard Road, Dennis Port, MA (Assessor's Map 22, Parcel 8).

Find Properties

Owner:

Parcel ID:

Address:

Condo/Cottage Colony:

Results Summary

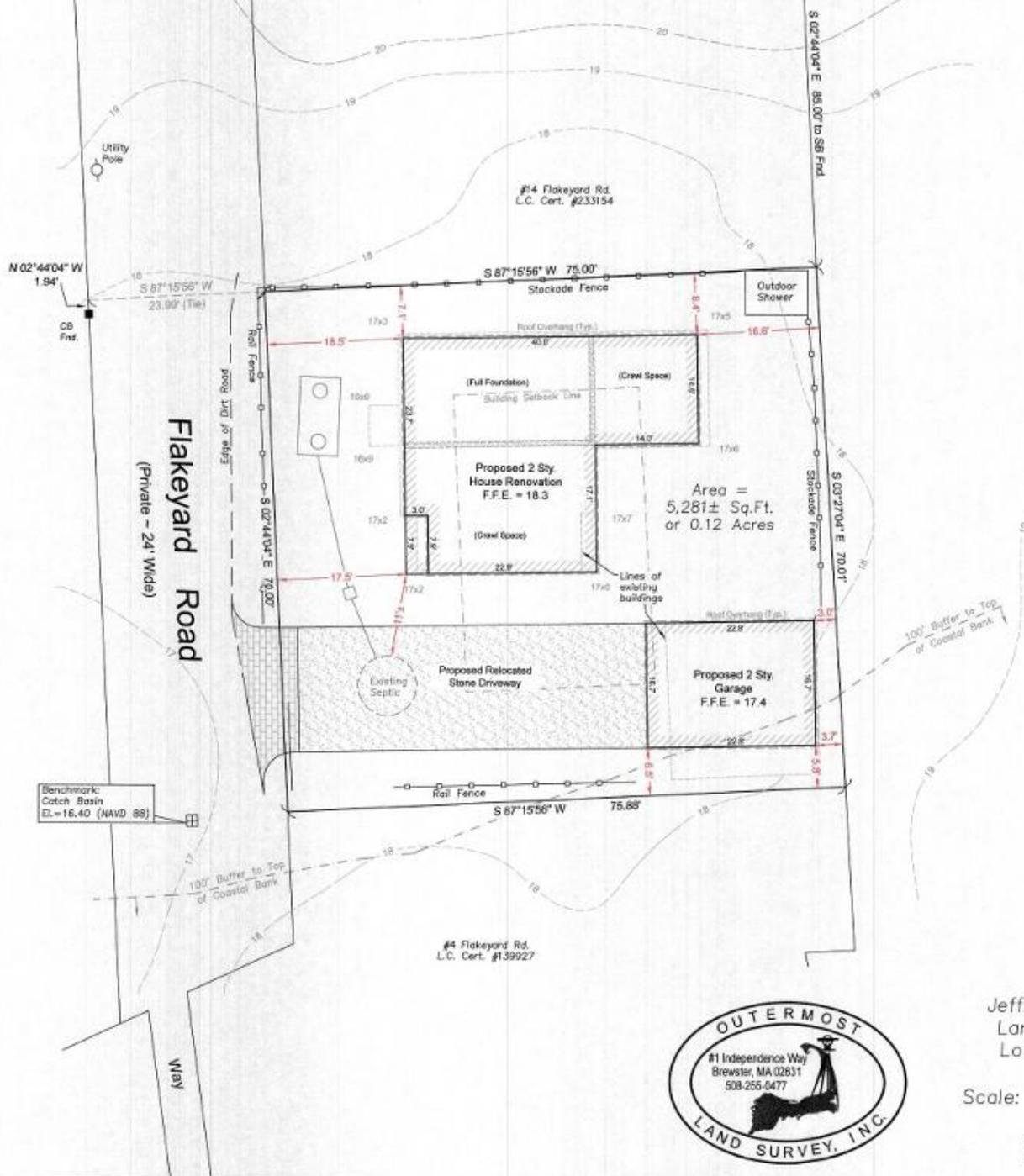
Parcels

Parcel ID	Address	Village	Owner
22-8-0	10 FLAKEYARD	DP	ROBINSON JEF

Detail Information

Key	1126
Fiscal Year	2027
Extension	0
Address	10 FLAKEYARD ROAD
Village	DP
Property Type	R
Owner	ROBINSON JEFFREY J ET UX
Co-Owner	ROBINSON KATHLEEN M
Owner Address	729 PARK AVENUE
Owner City	TERRACE PARK
Owner State	OH
Owner Zip	45174-1020
Owner Country	
State Class #	1010
State Class Desc	SINGLE FAMILY
Deed Date	04/20/07 00:00:00
Book	N/A
Page	N/A
Certificate	182867
Last Sale Price	875000.0000
Total Value	\$1,069,100.00
Land Value	\$646,600.00
Building Value	\$413,400.00
Detached Building Value	\$9,100.00
Acres	0.13
Prev Year Total Value	\$1,038,200.00
Property Card	PK Field Card





- Notes
1. Assessors Parcel 22-B-0
 2. Zone: Residential 40 (R-40)
 Front Yard Setback: 25'
 Side Yard Setback: 15'
 Rear Yard Setback: 25'
 Max. Building Coverage: 15%
 Max Height (Stories): 2 1/2
 Existing Building Coverage:
 1,552 s.f./5,281 s.f. = 29.4%
 Proposed Building Coverage:
 1,484 s.f./5,281 s.f. = 28.1%
 3. Structures do not fall in a special flood hazard zone as shown on F.E.M.A. FIRM map No. 25001C0594J effective 7/16/2014
 4. Septic system shown from Board of Health "As-Built" Plans
 5. Mean Average Grade = 17.3
 6. Coastal bank derived from GIS and topographic information

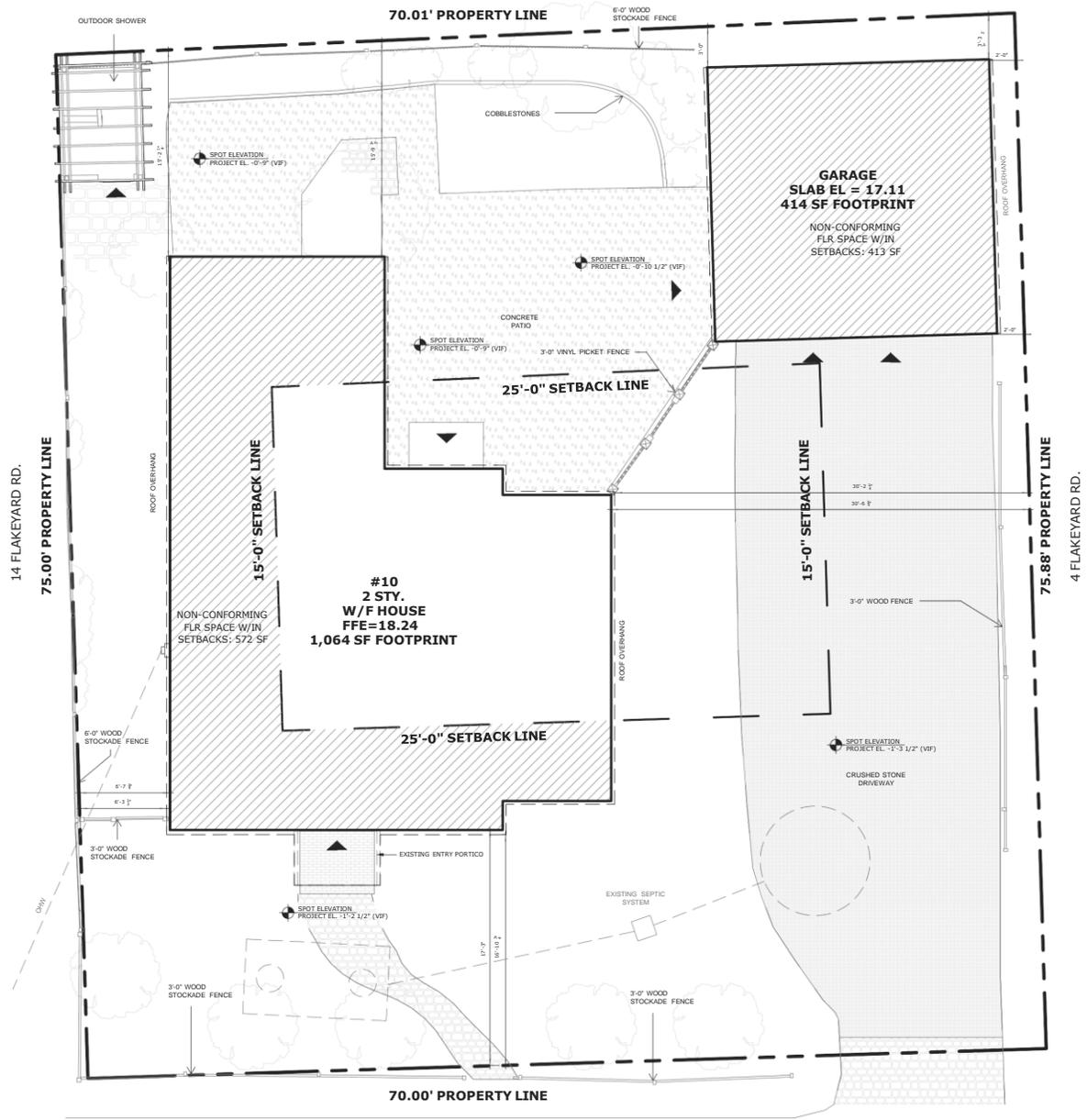
I hereby certify that the structures shown hereon are located as they exist on the ground

Donald T. Poole
 P.L.S. #32882
 Date: 2/3/2026



Site Plan
 #10 Flakeyard Road
 Dennis, MA
 prepared for
 Jeffrey & Kathleen Robinson
 Land Court Cert. #182867
 Lots 9-A, 10-B, & 11-4
 L.C. Plan 9203-E
 Scale: 1"=10' February 3, 2026
 o/s #1687001





1 EXISTING SITE PLAN
 1/4" = 1'-0" ← FLAKEYARD RD. →

DENNIS PORT ZONING:

ZONING DISTRICT: R-40
 ZONING USE: LOW DENSITY RESIDENTIAL

MIN. FRONTAGE : 50'
 EXISTING FRONTAGE : 70'
 MIN. WIDTH : 100'
 EXISTING WIDTH : 70'
 MIN. LOT AREA : 40,000 SF
 EXISTING LOT AREA : 5,281 SF
 NON-CONFORMING FLR SPACE W/IN SETBACKS: 985 SF

YARD SETBACKS, MAIN HOUSE
 MIN. 25'-0" FRONT (EX. 17'-3" FRONT)
 MIN. 25'-0" REAR (EX. 15'-9 1/2" REAR)
 MIN. 15'-0" SIDES (EX. 6'-7 3/4" LEFT)
 MIN. 15'-0" SIDES (EX. 30'-6 3/4" RIGHT)

EX. CUM. FOOTPRINT ALL STRUCTURES : 1,478 SF
 EX. CUM. FLOOR SPACE ALL STRUCTURES : 2,430 SF
 EX. CUM. FLOOR SPACE TO LOT AREA % : 46%

EX. GREEN AREA : 2,041SF (38.6%)

LOT COVERAGE, REQUIRED: 15%
 LOT COVERAGE, EXISTING: 29.4% (1,552 SF)

MEAN AVE. GRADE EXISTING : 17.26'

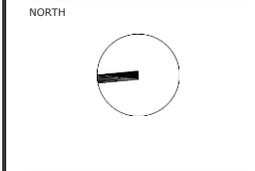
BUILDING HEIGHT MAX: 2 1/2 STORIES

AGS
 ROLE: DESIGNER
 938 Summer St.
 Marshfield, MA 02050
 (E) adam@ags-architecture.com
 (T) 570.614.9423

SURVEYOR
 Outermost Land Survey Inc.
 1 Independence Way
 Brewster, MA, 02631
 (E) dawn@outermostlandsurvey.com
 (T) 508-255-0477

STRUCTURAL ENGINEER
 TBD
 Address
 Town, St, Zip
 (E) TBD
 (T) TBD

BUILDER
 LaBarge Homes
 237 MA-28
 West Harwich, MA, 02671
 (E) Todd@LaBargeHomes.com
 (T) 508-432-6360



ZONING BOARD PACKET

DATE (1/19/2026)

ROBINSON RESIDENCE

KATHLEEN & JEFFREY ROBINSON
 10 FLAKEYARD RD
 DENNIS PORT, MA 02639
 (E) jeffrobinson22@gmail.com
 (T) 774.275.0316

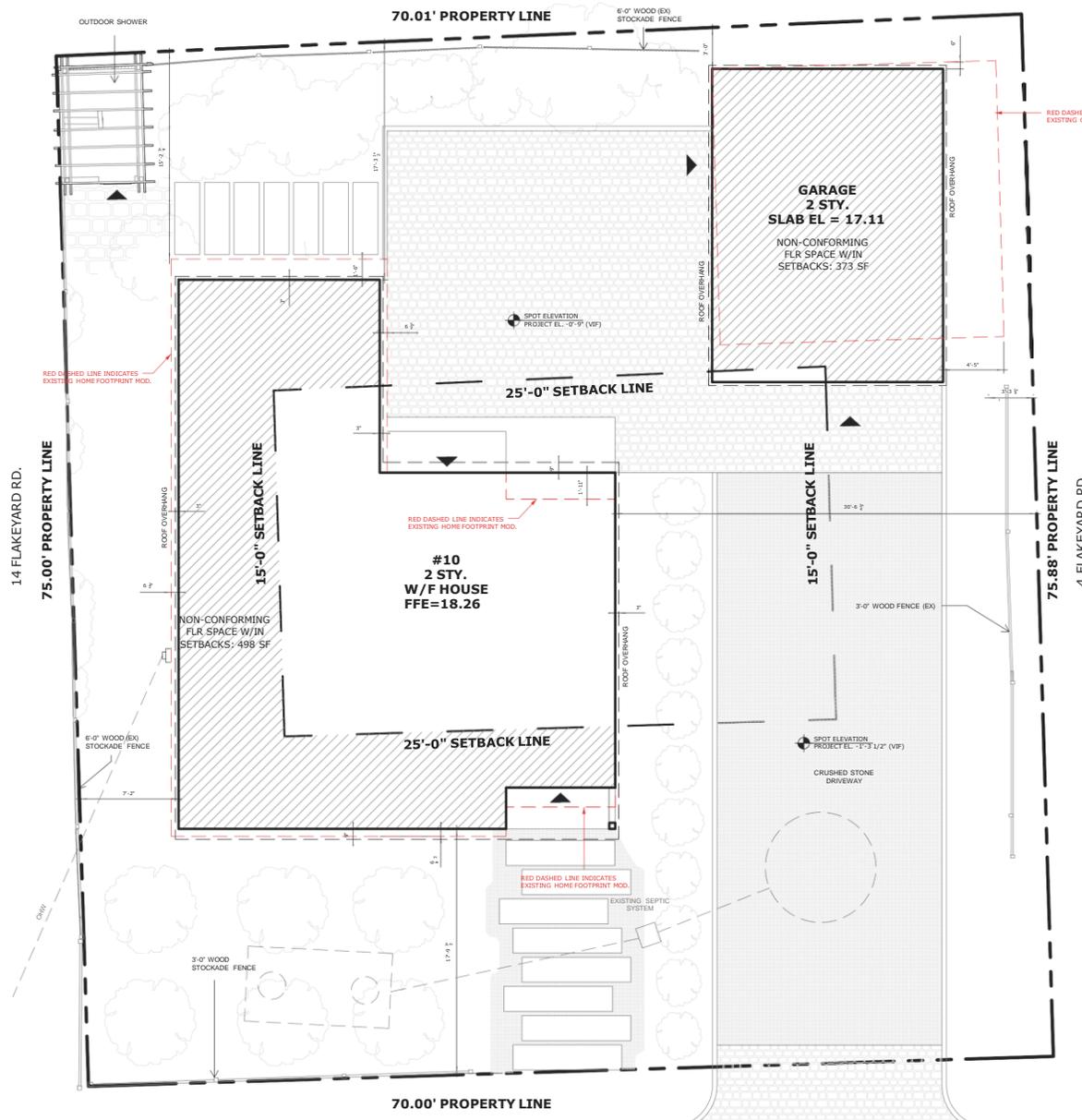
This drawing is the property of Adam Schroth, AIA, and it must not be reproduced, either in whole or in part. It is intended solely for use on this specific project and site and must not be utilized for any other projects.

The contractor will be responsible for managing all aspects of site installation, coordination, and staging.

Additionally, the contractor holds responsibility for materials, details, and accuracy. They are accountable for verifying and correlating all quantities and dimensions. Moreover, the contractor must select appropriate fabrication processes and assembly techniques, ensuring the work is performed safely. They must also coordinate their work with that of all other trades involved in the project, and submit for all required permits to perform the work.

EXISTING SITE PLAN

E001



DENNIS PORT ZONING:

ZONING DISTRICT: R-40
 ZONING USE: LOW DENSITY RESIDENTIAL

MIN. FRONTAGE : 50'
 EXISTING FRONTAGE : 70'
 MIN. WIDTH : 100'
 EXISTING WIDTH : 70'
 MIN. LOT AREA : 40,000 SF
 EXISTING LOT AREA : 5,281 SF
 NON-CONFORMING FLR SPACE W/IN SETBACKS: 985 SF
 PROP. NON-CONF. FLR SPACE W/IN SETBACKS: 871 SF

YARD SETBACKS, MAIN HOUSE
 MIN. 25'-0" FRONT (EX. 17'-3" FRONT)
 PROPOSED = 17'-9 1/2"
 MIN. 25'-0" REAR (EX. 15'-9 1/2" REAR)
 PROPOSED = 17'-3 1/2"
 MIN. 15'-0" SIDE (EX. 6'-7 3/4" LEFT)
 PROPOSED = 7'-2"
 MIN. 15'-0" SIDE (EX. 30'-6 3/4" RIGHT)
 PROPOSED = EXISTING TO REMAIN

EX. CUM. FOOTPRINT ALL STRUCTURES : 1,478 SF
 PROP. CUM. FOOTPRINT ALL STRUCTURES : 1,384 SF
 EX. CUM. FLOOR SPACE ALL STRUCTURES : 2,430 SF
 PROP. CUM. FLOOR SPACE ALL STRUCTURES : 2,418 SF
 EX. CUM. FLOOR SPACE TO LOT AREA % : 46%
 PROP. CUM. FLOOR SPACE TO LOT AREA % : 45.8%

EX. GREEN AREA : 2,041SF (38.6%)
 PROP GREEN AREA : 2,170 SF (41.1%)

LOT COVERAGE, REQUIRED: 15%
 LOT COVERAGE, EXISTING: 29.4% (1,552 SF)
 LOT COVERAGE, PROPOSED: 28.1% (1,487 SF)

MEAN AVE. GRADE EXISTING : 17.26'

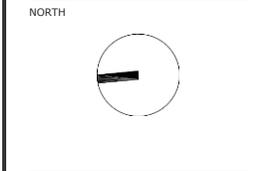
BUILDING HEIGHT MAX: 2 1/2 STORIES

AGS
 ROLE: DESIGNER
 938 Summer St.
 Marshfield, MA 02050
 (E) adam@ags-architecture.com
 (T) 570.614.9423

SURVEYOR
 Outermost Land Survey Inc.
 1 Independence Way
 Brewster, MA, 02631
 (E) dawn@outermostlandsurvey.com
 (T) 508-255-0477

STRUCTURAL ENGINEER
 TBD
 Address
 Town, St, Zip
 (E) TBD
 (T) TBD

BUILDER
 LaBarge Homes
 237 MA-28
 West Harwich, MA, 02671
 (E) Todd@LaBargeHomes.com
 (T) 508-432-6360



ZONING BOARD PACKET

DATE (1/19/2026)

ROBINSON RESIDENCE

KATHLEEN & JEFFREY ROBINSON
 10 FLAKEYARD RD
 DENNIS PORT, MA 02639
 (E) jeffrobinson22@gmail.com
 (T) 774.275.0316

This drawing is the property of Adam Schroth, AIA, and it must not be reproduced, either in whole or in part. It is intended solely for use on this specific project and site and must not be utilized for any other projects.

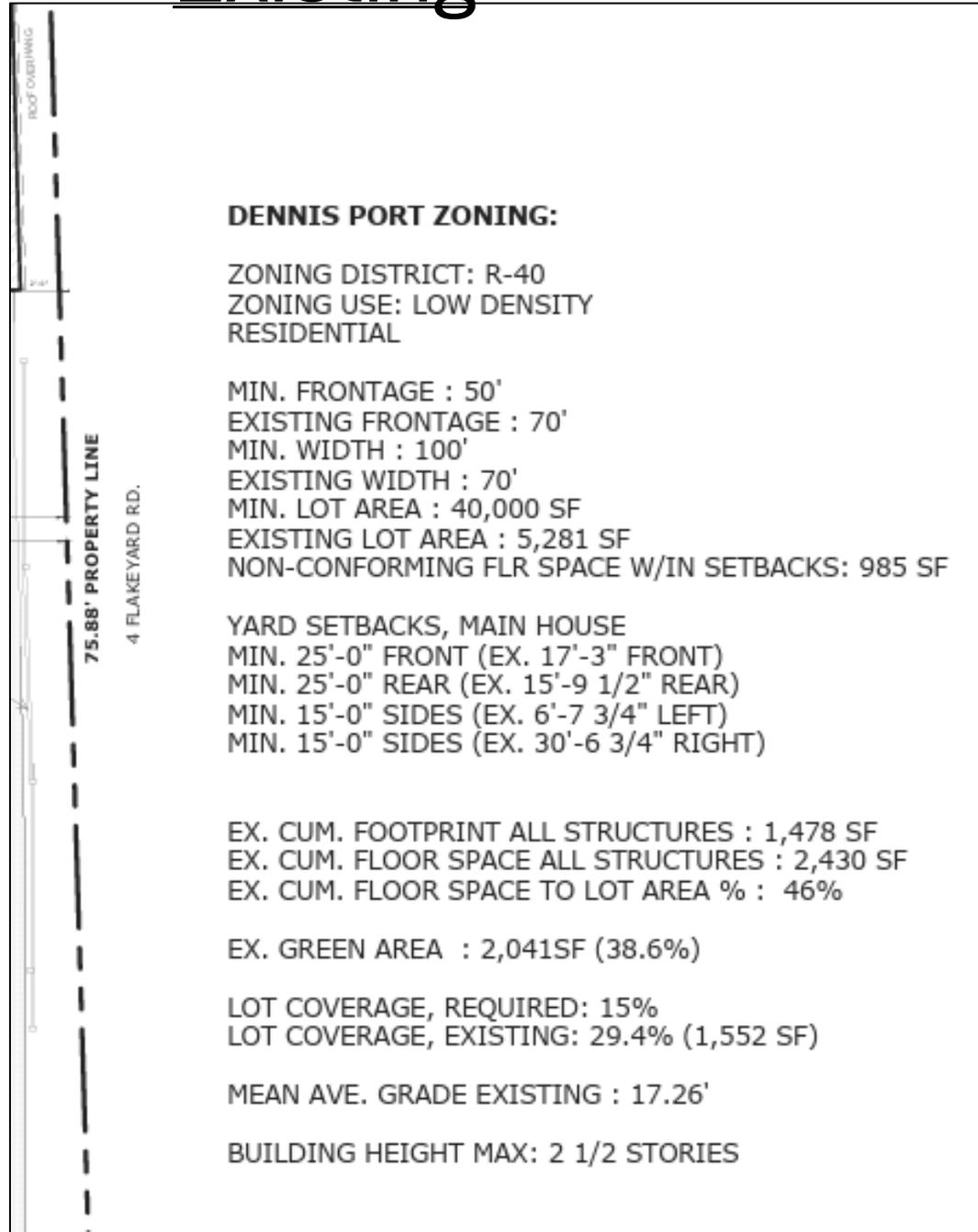
The contractor will be responsible for managing all aspects of site installation, coordination, and staging.

Additionally, the contractor holds responsibility for materials, details, and accuracy. They are accountable for verifying and correlating all quantities and dimensions. Moreover, the contractor must select appropriate fabrication processes and assembly techniques, ensuring the work is performed safely. They must also coordinate their work with that of all other trades involved in the project, and submit for all required permits to perform the work.

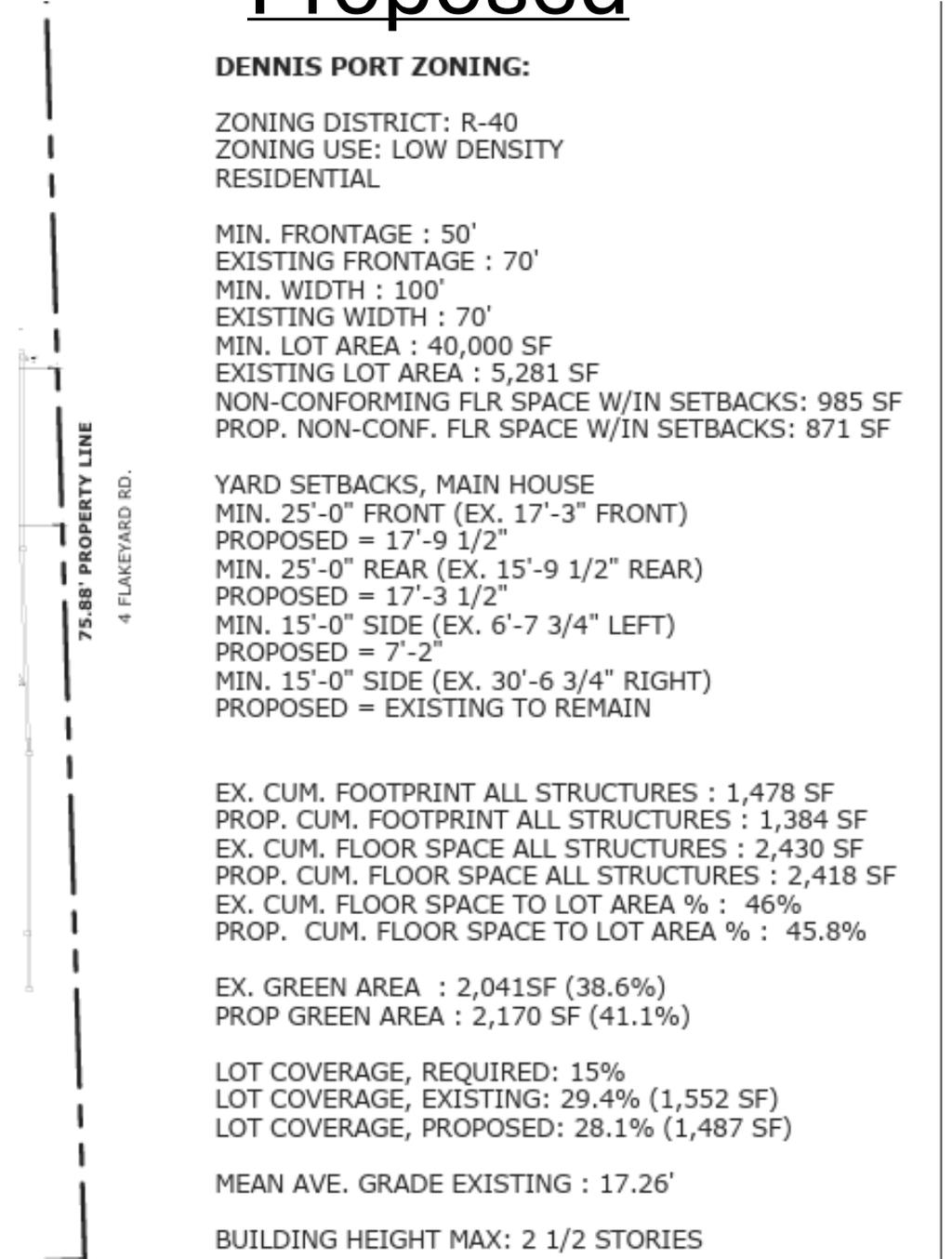
PROPOSED SITE PLAN

A001

Existing



Proposed





1 EXISTING CORNER ELEVATION 02 (RENDERING)
NTS



2 PROPOSED CORNER ELEVATION 02 (RENDERING)
NTS



1 EXISTING FRONT ELEVATION (RENDERING)
NTS



2 PROPOSED FRONT ELEVATION (RENDERING)
NTS



3 EXISTING CORNER ELEVATION 01 (RENDERING)
NTS



4 PROPOSED CORNER ELEVATION 01 (RENDERING)
NTS

ZONING BOARD PACKET

DATE (1/19/2026)

ROBINSON RESIDENCE

KATHLEEN & JEFFREY ROBINSON
10 FLAKEYARD RD
DENNIS PORT, MA 02639

(E) jeffrobinson22@gmail.com
(T) 774.275.0316

This drawing is the property of Adam Schmitt, ESQ., and it must not be reproduced, either in whole or in part. It is intended solely for use on the specific project and site and must not be used for any other project.

The contractor will be responsible for securing all permits, and obtaining all necessary approvals, and obtaining all necessary permits, and obtaining all necessary approvals.

Additionally, the contractor shall be responsible for obtaining, during, and securing. They are responsible for verifying and covering all conditions and approvals. Moreover, the contractor shall obtain appropriate materials, processes and assembly techniques, ensuring the work is performed safely. They shall also coordinate their work with that of all other trades involved in the project, and submit for all required permits to perform the work.

RENDERED
COMPARISONS

A801



3 EXISTING GARAGE ELEVATION (RENDERING)
NTS



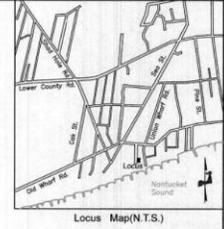
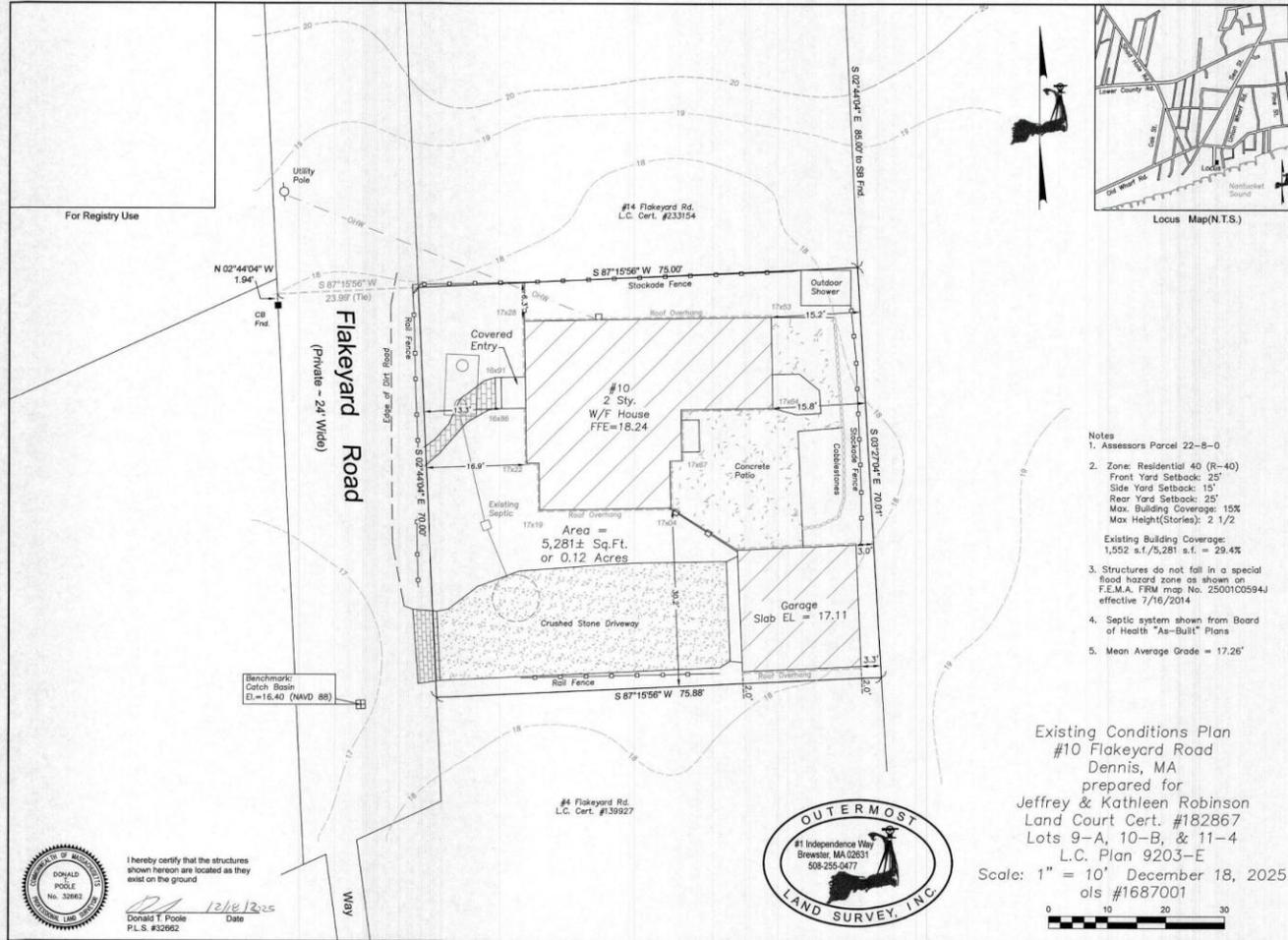
4 PROPOSED GARAGE ELEVATION (RENDERING)
NTS



1 EXISTING FRONT ELEVATION (PHOTO)
NTS



2 EXISTING CORNER ELEVATION 01 (PHOTO)
NTS



- Notes
1. Assessors Parcel 22-8-0
 2. Zone: Residential 40 (R-40)
 Front Yard Setback: 25'
 Side Yard Setback: 15'
 Rear Yard Setback: 25'
 Max. Building Coverage: 15%
 Max Height (Stories): 2 1/2
 Existing Building Coverage:
 1,552 s.f./5,281 s.f. = 29.4%
 3. Structures do not fall in a special flood hazard zone as shown on F.E.M.A. FIRM map No. 25001C0594J effective 7/16/2014
 4. Septic system shown from Board of Health "As-Built" Plans
 5. Mean Average Grade = 17.26'

Existing Conditions Plan
 #10 Flakeyard Road
 Dennis, MA
 prepared for
 Jeffrey & Kathleen Robinson
 Land Court Cert. #182867
 Lots 9-A, 10-B, & 11-4
 L.C. Plan 9203-E
 Scale: 1" = 10' December 18, 2025
 ols #1687001



I hereby certify that the structures shown hereon are located as they exist on the ground.
 Donald T. Foote Date 12/18/2025
 P.L.S. #32662



AGS

ROLE: DESIGNER
938 Summer St.
Marshfield, MA 02050

(E) adam@ags-architecture.com
(T) 570.614.9423

SURVEYOR

Outermost Land Survey Inc.
1 Independence Way
Brewster, MA, 02631

(E) dawn@outermostlandsurvey.com
(T) 508-255-0477

STRUCTURAL ENGINEER

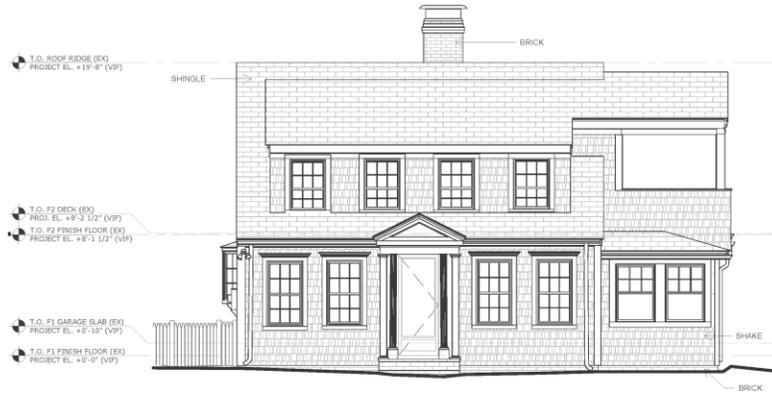
TBD
Address
Town, St, Zip

(E) TBD
(T) TBD

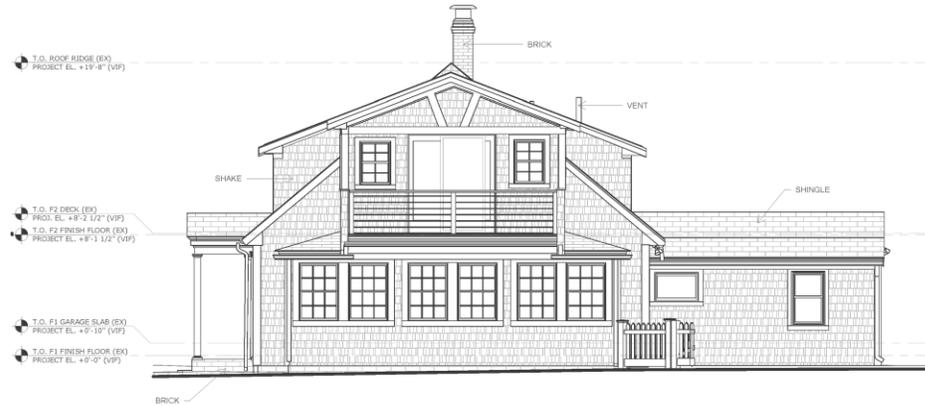
BUILDER

LaBarge Homes
237 MA-28
West Harwich, MA, 02671

(E) Todd@LaBargeHomes.com
(T) 508-432-6360



1 EXISTING FRONT ELEVATION
1/4" = 1'-0"



2 EXISTING SIDE ELEVATION 01
1/4" = 1'-0"



3 EXISTING REAR ELEVATION
1/4" = 1'-0"



4 EXISTING SIDE ELEVATION 02
1/4" = 1'-0"

ZONING BOARD PACKET

DATE (12/22/2025)

ROBINSON RESIDENCE

KATHLEEN & JEFFREY ROBINSON
10 FLAKEYARD RD
DENNIS PORT, MA 02639

(E) jeffrobinson22@gmail.com
(T) 774.275.0316

This drawing is the property of Adam Schrott, AIA, and it must not be reproduced, either in whole or in part. It is intended solely for use on this specific project and site and must not be utilized for any other projects.

The contractor will be responsible for managing all aspects of site installation, coordination, and staging. Additionally, the contractor holds responsibility for materials, details, and accuracy. They are accountable for verifying and certifying all quantities and dimensions. Moreover, the contractor must select appropriate fabrication processes and assembly techniques, ensuring the work is performed safely. They must also coordinate their work with that of all other trades involved in the project, and submit for all required permits to perform the work.

EXISTING ELEVATIONS

E200

AGS

ROLE: DESIGNER
938 Summer St.
Marshfield, MA 02050



(E) adam@ags-architecture.com
(T) 570.614.9423

SURVEYOR
Outermost Land Survey Inc.
1 Independence Way
Brewster, MA, 02631

(E) dawn@outermostlandsurvey.com
(T) 508-255-0477

STRUCTURAL ENGINEER

TBD
Address
Town, St, Zip

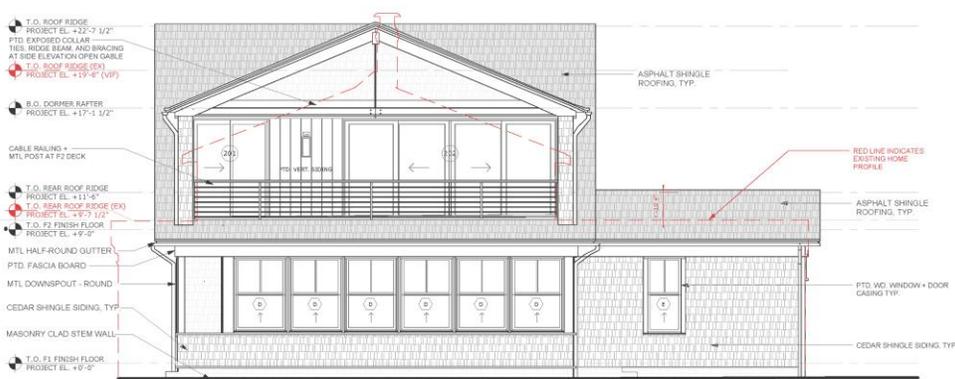
(E) TBD
(T) TBD

BUILDER
LaBarge Homes
237 MA-28
West Harwich, MA, 02671

(E) Todd@LaBargeHomes.com
(T) 508-432-6360



1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION 01
1/4" = 1'-0"



3 PROPOSED REAR ELEVATION
1/4" = 1'-0"



4 PROPOSED SIDE ELEVATION 02
1/4" = 1'-0"

ZONING BOARD PACKET

DATE (12/22/2025)

ROBINSON RESIDENCE

KATHLEEN & JEFFREY ROBINSON
10 FLAKEYARD RD
DENNIS PORT, MA 02639

(E) Jeffrobinson22@gmail.com
(T) 774.275.0316

This drawing is the property of Adam Schroth, AIA, and it must not be reproduced, either in whole or in part. It is intended solely for use on this specific project and site and must not be utilized for any other projects.

The contractor will be responsible for managing all aspects of site installation, coordination, and staging. Additionally, the contractor holds responsibility for materials, details, and accuracy. They are accountable for verifying and certifying all quantities and dimensions. Moreover, the contractor must select appropriate fabrication processes and assembly techniques, ensuring the work is performed safely. They must also coordinate their work with that of all other trades involved in the project, and submit for all required permits to perform the work.

PROPOSED ELEVATIONS

A200

AGS

ROLE: DESIGNER
938 Summer St.
Marshfield, MA 02050

(E) adam@ags-architecture.com
(T) 570.614.9423

SURVEYOR

Outermost Land Survey Inc.
1 Independence Way
Brewster, MA, 02631

(E) dawn@outermostlandsurvey.com
(T) 508-255-0477

STRUCTURAL ENGINEER

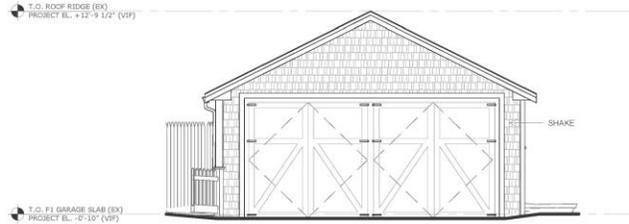
TBD
Address
Town, St, Zip

(E) TBD
(T) TBD

BUILDER

LaBarge Homes
237 MA-28
West Harwich, MA, 02671

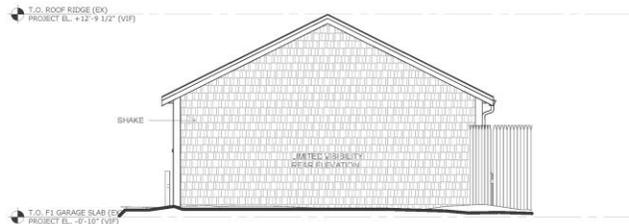
(E) Todd@LaBargeHomes.com
(T) 508-432-6360



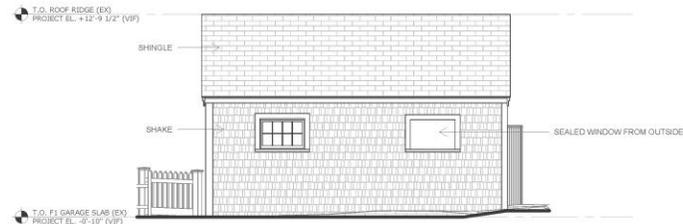
1 **EXISTING GARAGE FRONT ELEVATION**
1/4" = 1'-0"



2 **EXISTING GARAGE SIDE ELEVATION 01**
1/4" = 1'-0"



3 **EXISTING GARAGE REAR ELEVATION**
1/4" = 1'-0"



4 **EXISTING GARAGE SIDE ELEVATION 02**
1/4" = 1'-0"

ZONING BOARD PACKET

DATE (12/22/2025)

ROBINSON RESIDENCE

KATHLEEN & JEFFREY ROBINSON
10 FLAKEYARD RD
DENNIS PORT, MA 02639

(E) Jeffrobinson22@gmail.com
(T) 774.275.0316

This drawing is the property of Adam Schroth, AIA, and it must not be reproduced, either in whole or in part. It is intended solely for use on this specific project and site and must not be utilized for any other projects.

The contractor will be responsible for managing all aspects of site installation, coordination, and staging.

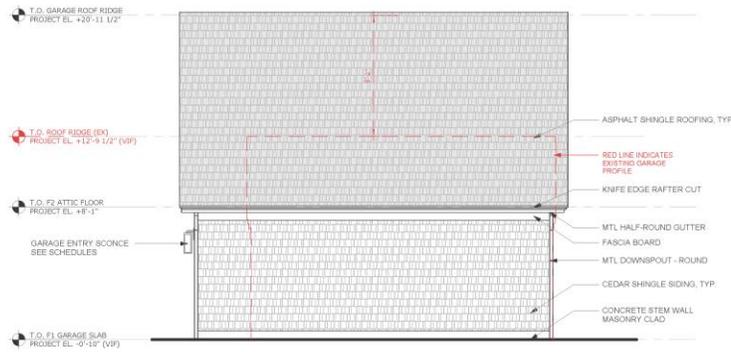
Additionally, the contractor holds responsibility for materials, details, and accuracy. They are accountable for verifying and confirming all quantities and dimensions. Moreover, the contractor must select appropriate fabrication processes and assembly techniques, ensuring the work is performed safely. They must also coordinate their work with that of all other trades involved in the project, and submit for all required permits to perform the work.

EXISTING GARAGE ELEVATIONS

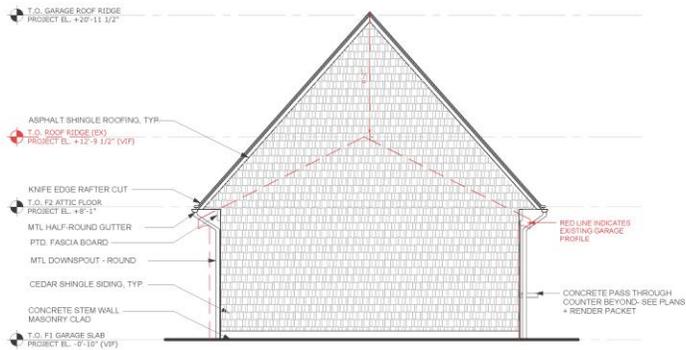
E201



1 PROPOSED GARAGE FRONT ELEVATION
1/4" = 1'-0"



2 PROPOSED GARAGE SIDE ELEVATION 01
1/4" = 1'-0"



3 PROPOSED GARAGE REAR ELEVATION
1/4" = 1'-0"



4 PROPOSED GARAGE SIDE ELEVATION 02
1/4" = 1'-0"

AGS

ROLE: DESIGNER
938 Summer St.
Marshfield, MA 02050

(E) adam@ags-architecture.com
(T) 570.614.9423

SURVEYOR

Outermost Land Survey Inc.
1 Independence Way
Brewster, MA, 02631

(E) dawn@outermostlandsurvey.com
(T) 508-255-0477

STRUCTURAL ENGINEER

TBD
Address
Town, St, Zip

(E) TBD
(T) TBD

BUILDER

LaBarge Homes
237 MA-28
West Harwich, MA, 02671

(E) Todd@LaBargeHomes.com
(T) 508-432-6360



ZONING BOARD PACKET

DATE (12/22/2025)

ROBINSON RESIDENCE

KATHLEEN & JEFFREY ROBINSON
10 FLAKEYARD RD
DENNIS PORT, MA 02639

(E) jeffrobinson22@gmail.com
(T) 774.275.0316

This drawing is the property of Adam Schroit, AIA, and it must not be reproduced, either in whole or in part. It is intended solely for use on this specific project and site and must not be utilized for any other projects.

The contractor will be responsible for managing all aspects of site installation, coordination, and staging. Additionally, the contractor holds responsibility for materials, details, and accuracy. They are accountable for verifying and confirming all quantities and dimensions. Moreover, the contractor must select appropriate fabrication processes and assembly techniques, ensuring the work is performed safely. They must also coordinate their work with that of all other trades involved in the project, and submit for all required permits to perform the work.

PROPOSED ELEVATIONS

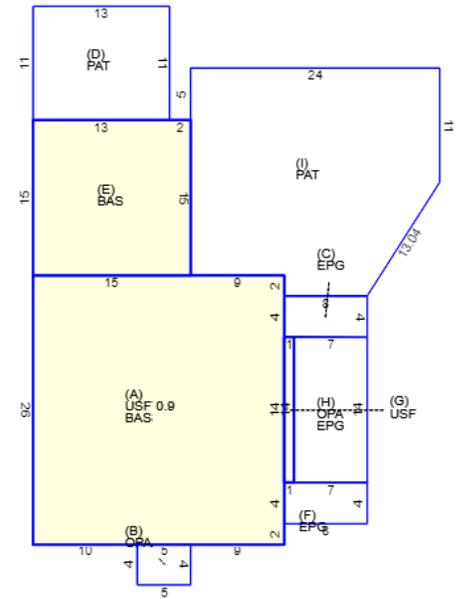
A201

Key: 1126

Town of DENNIS - Fiscal Year 2025

11/12/2024 5:56:51PM SEQ #: 1,526

Assessed Owner Of Record		Parcel ID		Location		Class	Mix%	Description		BLD #	Elda ID	Card									
ROBINSON JEFFREY J ET UX		22-8-0		10 FLAKEYARD ROAD DP.		1010	100	SINGLE FAMILY		1		1 of 1									
CURRENT OWNER		TRANSFER HISTORY		DOS	T	SALE PRICE	BK-PG (Cert)	PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st	%					
ROBINSON JEFFREY J ET UX		ROBINSON JEFFREY J ET UX		04/20/2007	QS	875,000	(182867)		07/20/2022	77	CYCLICAL REV		07/20/2022	KT	100	100					
ROBINSON KATHLEEN M		LABARBA HENRY V ET UX		04/19/1996	QS	250,000	(140359)		06/03/2021	25	RENTAL PERMI		06/03/2021		0	0					
729 PARK AVENUE		SMITH DAVID R JR		05/12/1986	X		(106367)		06/15/2020	25	RENTAL PERMI		06/15/2020		0	0					
TERRACE PARK, OH 45174-1020									06/08/2017	25	RENTAL PERMI		06/08/2017		0	0					
									05/16/2016	25	RENTAL PERMI		05/16/2016	EMZ	0	0					
CD	T	ACRES/SF	Nbhd	FEMA	Int1	ADJ BASE	SAF	Int2	Lpi	Chot	CREDIT AMT	ADJ VALUE									
100	A	0.130	06	1.00	R	1.00	1	1.00	1,162,800	4.15	1	1.00	V18	4.50		627,630					
TOTAL	5,663 SF		WTB; PARTIAL VIEW		LC PLANS 9203A, B, E		Photo Date	08/02/2022		BLDG #	1										
Nbhd	NANT SOUND																				
FEMA	OLD PK CODE																				
Int1	AVERAGE																				
TY	QUAL	COND	DIM NOTE	YB	UNITS	ADJ PRICE	RCNLD														
DGF	A	1.00	A	0.75	20 X 21		420	28.63	9,000												
YrBlt		1930		NET AREA		1,425															
COST MODEL		CURRENT		PREVIOUS																	
SINGLE FAMILY		TAXABLE		TAXABLE																	
BLDG		ADJ		DESC		LAND		627,600		603,600											
STYLE		1.80		CAPE [100%]		BUILD.		401,600		380,900											
QUALITY		1.10		GOOD-/AVE+ [100%]		DETACH		9,000		8,600											
FRAME		1.00		WOOD FRAME [100%]		OTHER		0		0											
TOTAL		1,038,200		993,100																	
BLD#ID	MODEL	YR BLT	EFF YR	DLCU	OVCU	MEASURE	BY	LIST	BY	REVIEW	BY	vw/valHt	NET AREA	SIZE ADJ	ADJ PRICE/SF	RCN	% GD	RCNLD			
1		1930	1996 / 27	1.000	1.750	7/20/2022	KT			7/20/2022	KT	8.0	1,425	1.010	\$370.80	528,396	76	401,600			
CAPACITY		UNITS	ADJ	ELEMENT		CD	DESCRIPTION		ADJ	S	BAT	T	DESCRIPTION		UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	528,396	
STORIES(FAR)		1.9	1.00	FOUNDATION		2	SLAB		0.95	+	BAS	L	BASE AREA		849	1930	309.77	262,991	CONDITION ELEM		CD
ROOMS		10	1.00	EXT. COVER		1	WOOD SHINGLES		1.00	+	USF	L	UPPER STORY FIN		576	1930	247.53	142,578	EXTERIOR		G
BEDROOMS		4	1.00	ROOF SHAPE		1	GABLE		1.00	B	OPA	N	OPF, OPS-OP6		20		160.99	3,220	INTERIOR		G
BATHROOMS		2	1.00	ROOF COVER		1	ASPHALT SHINGLE		1.00	C	EPG	N	ENCLOSED PORCH.		32		336.60	10,771	KITCHEN		G
FIXTURES		7	\$10,500	FLOOR COVER		1	HARDWOOD		1.00	D	PAT	N	PAT		143		17.89	2,559	BATHS		A
RES UNIT CNT		1	1.00	INT. FINISH		1	PLASTER		1.00	F	EPG	N	ENCLOSED PORCH.		32		336.60	10,771	HVAC/ELEC		A
				HEATING/COOLING		1	FORCED AIR		1.00	H	EPG	N	ENCLOSED PORCH.		98		266.96	26,162			
				FUEL SOURCE		2	GAS		1.00	H	OPA	N	OPF, OPS-OP6		98		102.85	10,079			
				SEASONAL		1	PAT		1.00	I	PAT	N	PAT		472		14.31	6,754			
				PRIVATE ROAD		3	PARTIAL		1.00	CRL	N	CRL		364		60.80	22,131				
				HISTORIC DST		1	NO		1.00	FPL	O	FPL, FIREPLACE		1		14,006.40	14,006				
				GENERATOR		1.00	ODS		1.00	ODS	O	OUT DOOR SHOWER		1		4,823.70	4,824				
				USE		1.00			1.00												
EFF.YR./AGE		1996 / 27																			
COND		24 24 %																			
FUNC		0																			
ECON		0																			
DEPR		24 % GD		76																	
RCNLD		\$401,600																			



Commonwealth of Massachusetts



TOWN OF DENNIS
BUILDING DEPARTMENT
ZONING REFERRAL LETTER
685 Route 134, South Dennis, MA 02660
(508) 760-6157

PERMIT NUMBER:
ZDET-25-77

DATE OF REFERRAL:
December 22, 2025

FEES PAID:
\$50.00

ROBINSON JEFFREY J ET UX

OWNERS NAME: 10 FLAKEYARD ROAD, DENNIS PORT, MA, 02639

PROPERTY ADDRESS OF WORK: 22-8-0

MAP & PARCEL:

**DETERMINATION OF
REFERRAL:**

Zoning Board of Appeals (ZBA) Special Permit required per 2.4.1.2. (C.2) for the voluntary demolition and replacement of a non-conforming structure that will increase building height in minimum required setbacks and increase coverage on a non-conforming lot.

ISSUED BY:

DESCRIPTION OF WORK BY APPLICANT:

Request to apply for a Zoning Board of Appeals Special Permit to allow demolition and construction of a new single-family residence on the existing home's footprint with a modified roofline, and demolition and construction of a new detached garage with a modified existing footprint and roofline, on a pre-existing nonconforming lot.