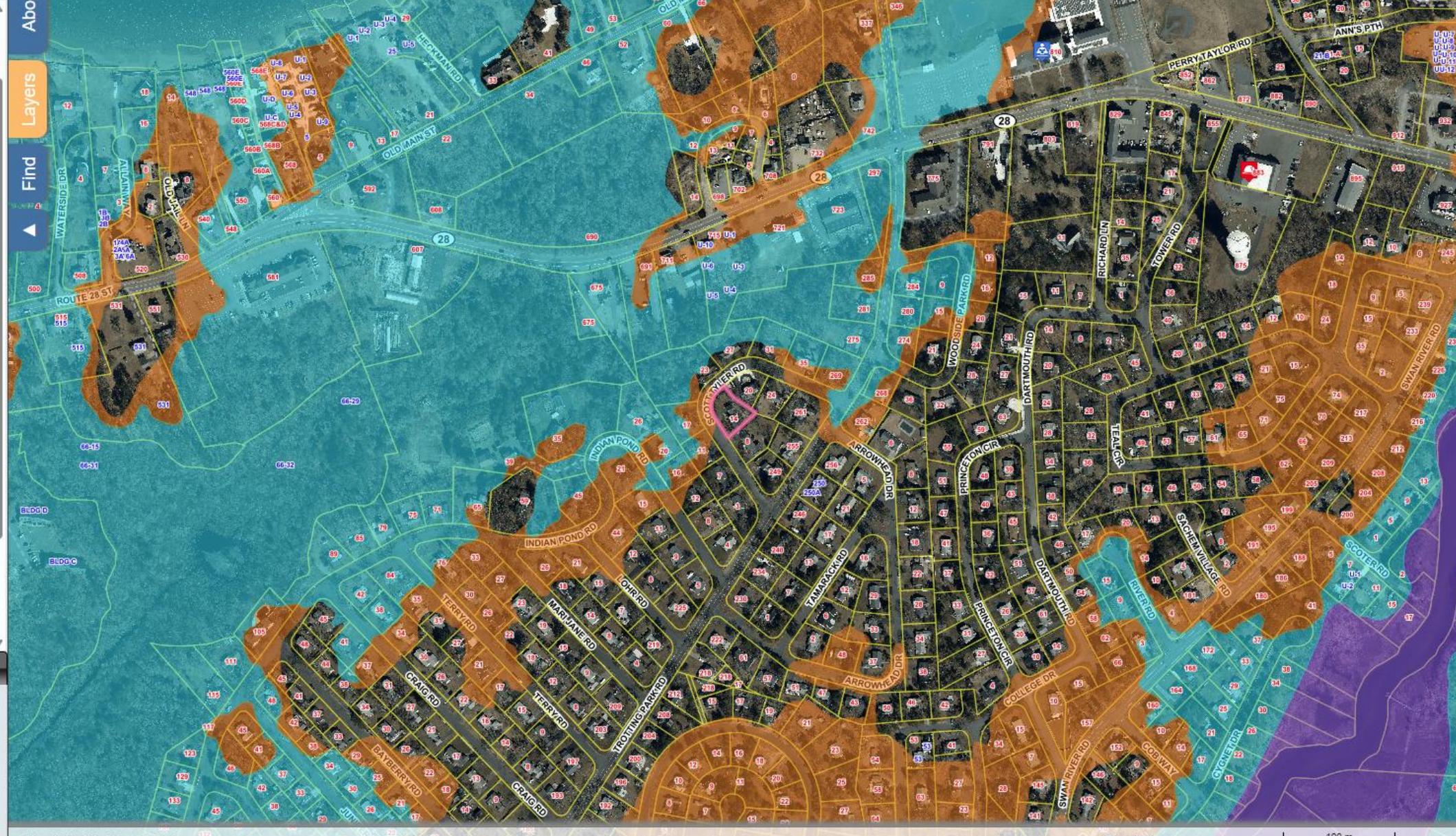


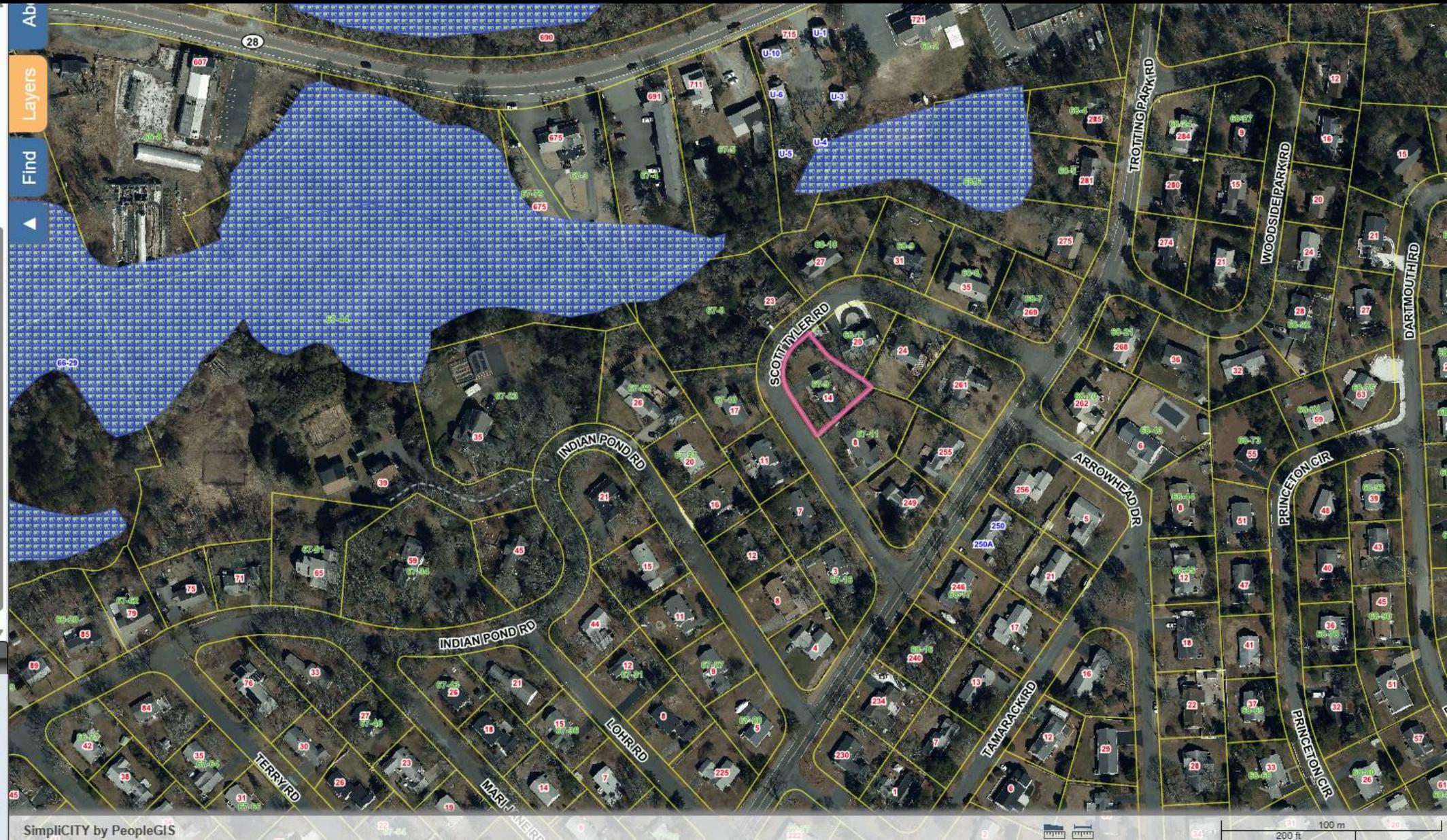
# 14 SCOTT TYLER ROAD, WD (ZBAS-26-2): Glen D. & Darlene M. Townsend C/O Matthew Fitzsimmons of Fitzsimmons Law Office is seeking a Special Permit to add a garage dormer to a previously approved Special Permit. On a property located in the R-40 Zoning District at 14 Scott Tyler Road, West Dennis (Assessor's Map 67, Parcel 9).

- Village Boundaries (updated 2025)
- Hiking/Walking Trailways
- Environmental Justice 2020 (updated 2021)
- Zoning
- Historic Districts
- Condo and Cottage Colonies
- Infrastructure Points
- 2020 Aerial Planimetrics
- Hurricane SLOSH
- FEMA Flood Zones
  - FEMA Flood Zone 2014 - 0.2%
    - 0.2% Chance
  - FEMA Flood Zone 2014 - AE
    - AE
  - FEMA Flood Zone 2014 - VE
    - VE
- Voting Precincts
- Elevation
- MassDEP Regulated Areas
- MA NHESP Certified Vernal Pools
- MA NHESP Potential Vernal Pools
- NHESP 8-1-2021 Estimated Habitat Rare Species Dennis
- NHESP 8-1-2021 Priority Habitat Rare Spec Dennis
- Land Use (Last Update 2013)
- Base Maps**
  - Google Hybrid Map
  - Google Street Map
  - 2023 MassGIS Orthos
  - CCC 2020 Aerial Imagery
  - MassGIS 2014 Orthos
  - MassGIS 2005 Orthos
  - MassGIS 1994 Orthos
  - Town Base Map





- Voting Precincts
- Elevation
- MassDEP Regulated Areas
  - Activity and Use Limitations Sites
  - Tier Classified Oil and/or Hazardous Material - 21E Sites
  - DWD Zone II - Sept. 29 2005 - June 10 2022
    - Zone II Area - Old
    - DEP Zone II - June 10 2022
      - Zone II Area (New)
  - MA DEP Wetlands
    - Marsh/Bog
    - Wooded Swamp
    - Salt Marsh
- MA NHESP Certified Vernal Pools
- MA NHESP Potential Vernal Pools
- NHESP 8-1-2021 Estimated Habitat Rare Species Dennis
- NHESP 8-1-2021 Priority Habitat Rare Spec Dennis
- Land Use (Last Update 2013)
- Private Access Ways
- Parcels
- Parcels w/Aerials
- Basemap - CCC 2020 Aerial Imagery
- Base Maps
  - Google Hybrid Map
  - Google Street Map
  - 2023 MassGIS Orthos
  - CCC 2020 Aerial Imagery
  - MassGIS 2014 Orthos
  - MassGIS 2005 Orthos
  - MassGIS 1994 Orthos
  - Town Base Map



Find Properties

Owner:

Parcel ID:

Address:   [Clear](#)

Condo/Cottage Colony:

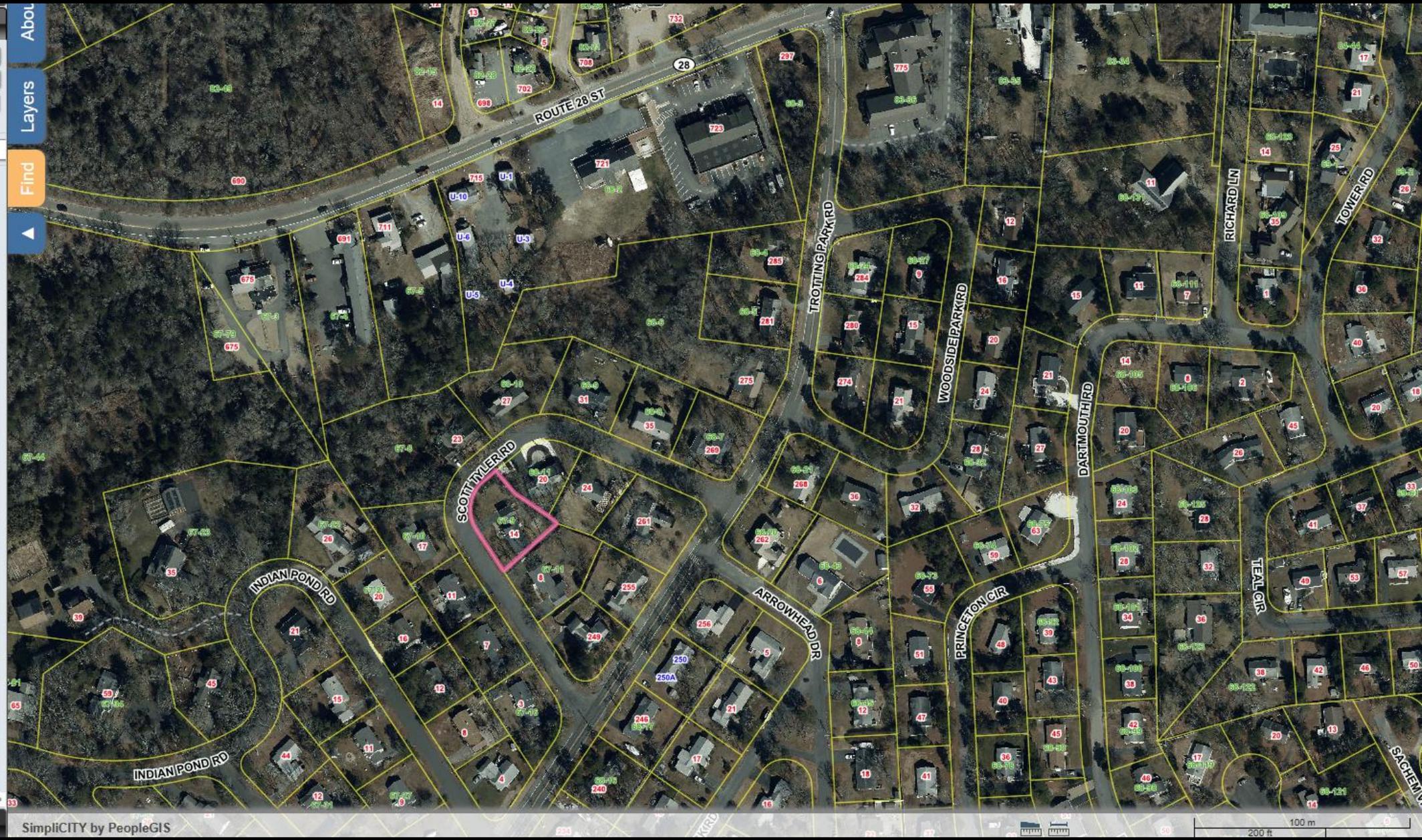
Results Summary

Parcels

Parcel ID	Address	Village	Owner
67-9-0	14 SCOTT TYL	WD	TOWNSEND G

Detail Information [Zoom To](#)

CAMA ID	67-9-0
MapPar	67-9
Key	5237
Fiscal Year	2026
Extension	0
Address	14 SCOTT TYLER ROAD
Village	WD
Property Type	R
Owner	TOWNSEND GLEN D
Co-Owner	TOWNSEND DARLENE M
Owner Address	4 LEDGEWOOD DRIVE
Owner City	WESTFORD
Owner State	MA
Owner Zip	01896
Owner Country	
State Class #	1010
State Class Desc	SINGLE FAMILY
Deed Date	08/19/20 00:00:00
Book	N/A
Page	N/A
Certificate	223418
Last Sale Price	423000.0000
Total Value	\$567,000.00
Land Value	\$229,700.00
Building Value	\$337,300.00
Detached Building Value	\$0.00
Acres	0.24
Prev Year Total Value	\$527,400.00



Find Properties

Owner:

Parcel ID:

Address:   [Clear](#)

Condo/Cottage Colony:

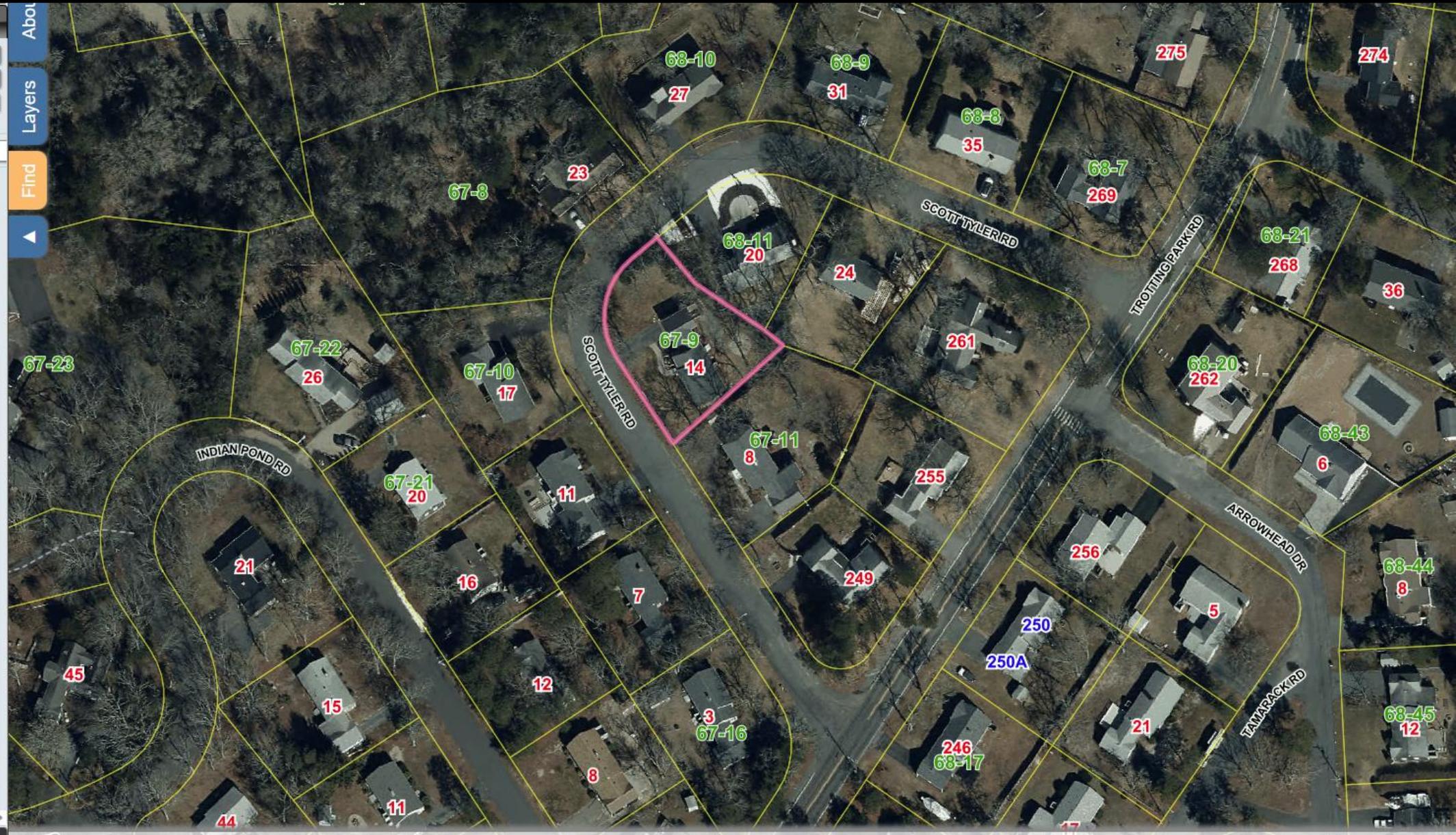
Results Summary

Parcels

Parcel ID	Address	Village	Owner
67-9-0	14 SCOTT TYL	WD	TOWNSEND G

Detail Information [Zoom To](#)

Key	5237
Fiscal Year	2026
Extension	0
Address	14 SCOTT TYLER ROAD
Village	WD
Property Type	R
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Co-Owner	TOWNSEND DARLENE M
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Owner City	WESTFORD
Owner State	MA
Owner Zip	01886
Owner Country	
State Class #	1010
State Class Desc	SINGLE FAMILY
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Book	N/A
Page	N/A
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Building Value	\$337,300.00
Detached Building Value	\$0.00
Acres	0.24
Prev Year Total Value	\$527,400.00
Property Card	PK Field Card



Find Abutters



14 Scott Tyler Rd  
Dennis, Massachusetts  
[View on Google Maps](#)





THE CAPE TOWNSENDS

*Inverton Scott-Lyles Road*









## LOCUS DATA

CURRENT OWNER DARLENE M. & GLEN D. TOWNSEND  
 PLAN REFERENCE LCP 31156-C  
 DEED REFERENCE CTF. 223418  
 ZONING DISTRICT R-40  
 FLOOD ZONE "X"  
 ASSESSORS MAP 67, PARCEL 9  
 OVERLAY DISTRICT NONE  
 LOT AREA 10,541± S.F.  
 EX. LOT COV. 1,591± S.F.(15.1%)  
 PROP. LOT COV. 1,799± S.F.(17.1%)

### SETBACKS

	ALLOWED	EXIST	PROP.
FRONT/WEST	25'	30.0'	30.2'
FRONT/NORTH	25'	36.6'	30.3'
SIDE/SOUTH	15'	12.7'	12.7'
REAR/EAST	25'	9.8'	20.0'

### F.A.R.

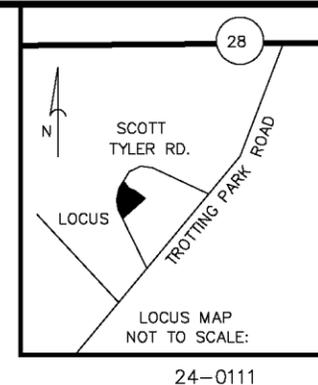
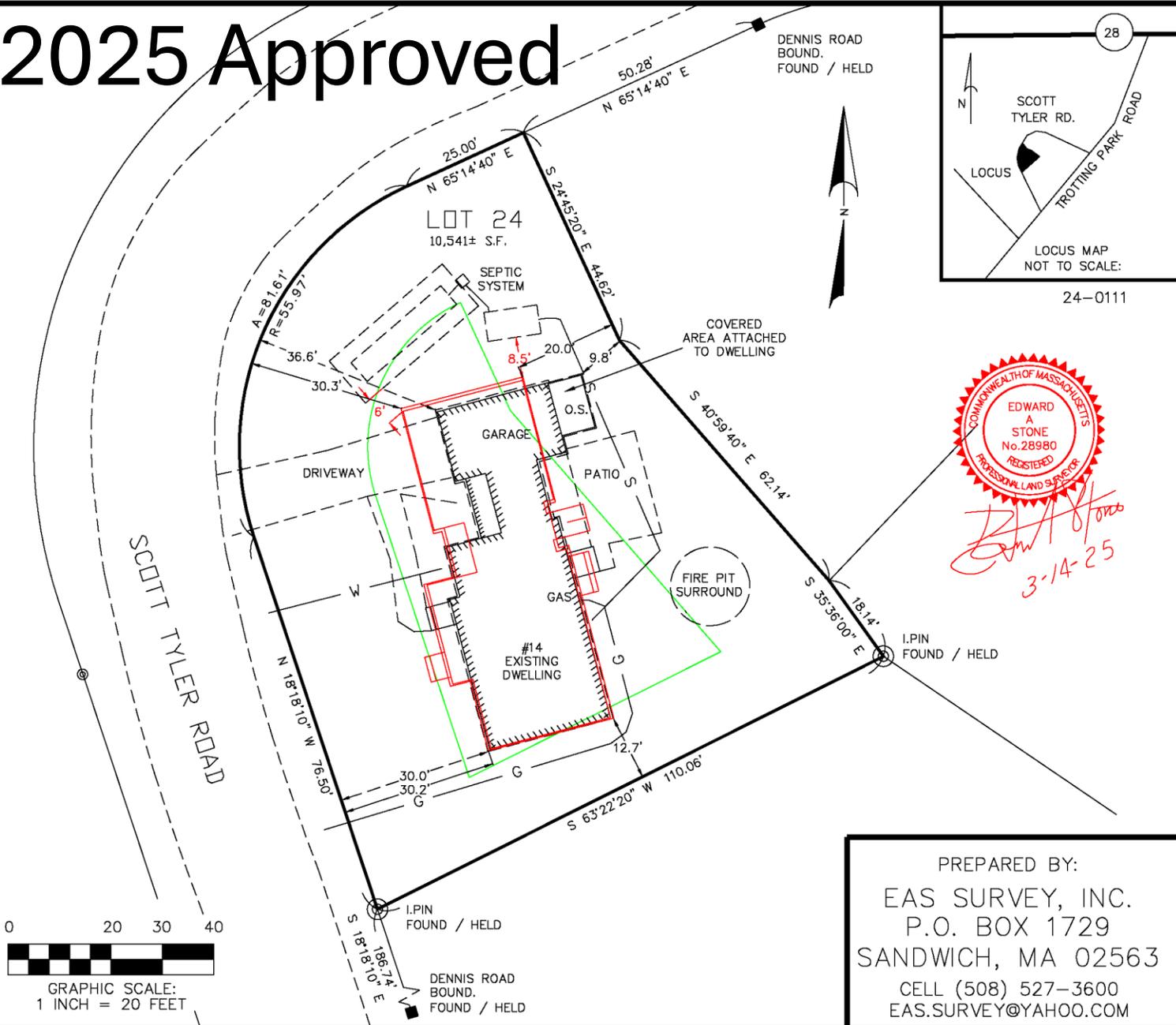
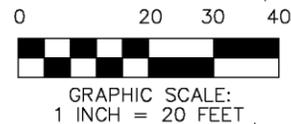
ALLOWED	EXIST	PROP.
30%	1,591± S.F.	2,491± S.F.(24%)

WITHIN SETBACKS

EXIST	PROPOSED	TOTAL
185±S.F.	54± S.F.	70% REDUCTION

CERTIFIED  
 PLOT PLAN  
 #14  
 SCOTT TYLER ROAD  
 IN  
 DENNIS, MASS  
 MARCH 14, 2025  
 OWNER/APPLICANT:  
 GLEN & DARLENE  
 TOWNSEND  
 4 LEDGEWOOD DRIVE  
 WESTBORO, MA 01886

# 2025 Approved



PREPARED BY:  
 EAS SURVEY, INC.  
 P.O. BOX 1729  
 SANDWICH, MA 02563  
 CELL (508) 527-3600  
 EAS.SURVEY@YAHOO.COM

## LOCUS DATA

CURRENT OWNER DARLENE M. & GLEN D. TOWNSEND  
 PLAN REFERENCE LCP 31156-C  
 DEED REFERENCE CTF. 223418  
 ZONING DISTRICT R-40  
 FLOOD ZONE "X"  
 ASSESSORS MAP 67, PARCEL 9  
 OVERLAY DISTRICT NONE  
 LOT AREA 10,541± S.F.  
 EX. LOT COV. 1,591± S.F.(15.1%)  
 PROP. LOT COV. 1,799± S.F.(17.1%)

### SETBACKS

	ALLOWED	EXIST	PROP.
FRONT/WEST	25'	30.0'	27.0'
FRONT/NORTH	25'	36.6'	30.3'
SIDE/SOUTH	15'	12.7'	12.7'
REAR/EAST	25'	9.8'	20.0'

### F.A.R.

ALLOWED	EXIST	PROP.
30%	1,591± S.F.	2,287± S.F.(22%)

### WITHIN SETBACKS

EXIST	PROPOSED	TOTAL
185±S.F.	70± S.F.	/ 62% REDUCTION

CERTIFIED  
 PLOT PLAN  
 #14  
 SCOTT TYLER ROAD  
 IN

DENNIS, MASS

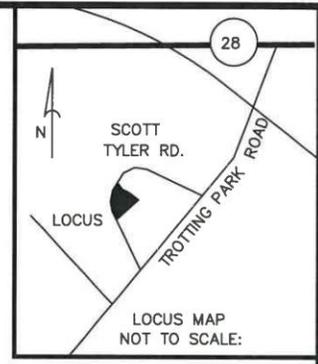
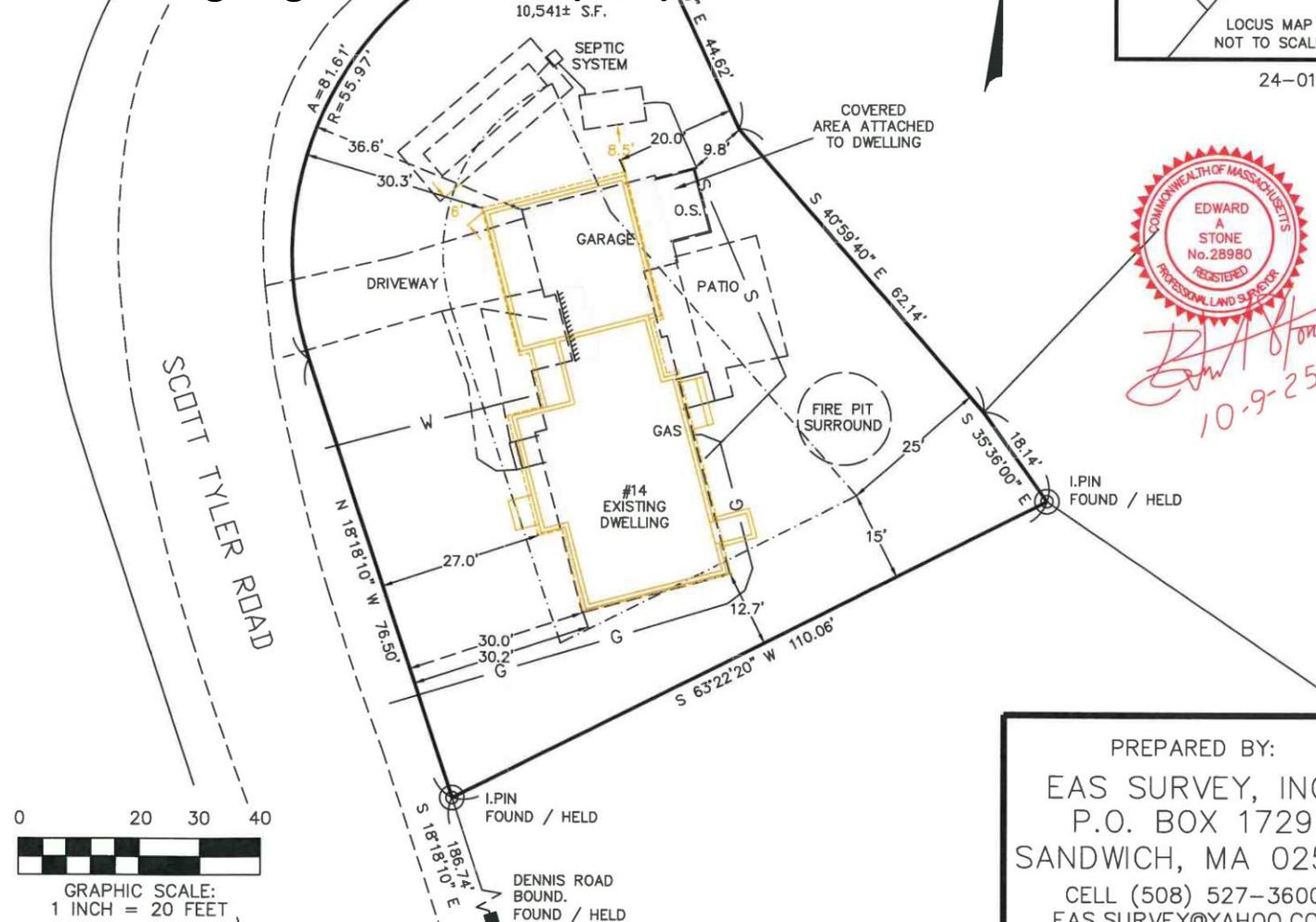
OCTOBER 9, 2025

OWNER/APPLICANT:  
 GLEN & DARLENE  
 TOWNSEND

4 LEDGEWOOD DRIVE  
 WESTBORO, MA 01886

# 2026 Proposed

The approved building has a 2,492 sf (24%) FAR  
 The new plans, which add an approximately 500 sf space  
 above the garage, show 2,287 (22%) FAR.



COMMONWEALTH OF MASSACHUSETTS  
 EDWARD A. STONE  
 No. 28980  
 REGISTERED  
 PROFESSIONAL LAND SURVEYOR  
*Edward A. Stone*  
 10-9-25

PREPARED BY:  
 EAS SURVEY, INC.  
 P.O. BOX 1729  
 SANDWICH, MA 02563  
 CELL (508) 527-3600  
 EAS.SURVEY@YAHOO.COM

# 2025 Approved



E1 Floor #: 3/16 in = 1 ft  
Townsend - 8.1



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Do Not Reproduce

George Davis, Inc.  
33 North Main Street  
South Yarmouth, MA

Elevation

Glen & Darlene Townsend  
14 Scott Tyler Way  
West Dennis, MA 02670

DATE:  
1/31/2025

SCALE:  
AS NOTED

SHEET:

A-4

Do Not Build From These Plans

# 2026 Proposed



E1 Floor #: 3/16 in = 1 ft  
Townsend WORKING Plan



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South Yarmouth, MA

Elevation

Glen & Darlene Townsend  
14 Scott Tjiler Way  
West Dennis, MA 02670

DATE:

12/2/2025

SCALE:

AS NOTED

SHEET:

A-4

# 2025 Approved



E3 Floor #: 3/16 in = 1 ft  
Townsend - 8.1



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Elevation

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14 Scott Tyler Way  
West Dennis, MA 02670

DATE:

1/31/2025

SCALE:

AS NOTED

SHEET:

A-5

Do Not Build From These Plans

# 2026 Proposed



E3 Floor #: 3/16 in = 1 ft  
Townsend WORKING Plan



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33 North Main Street  
South Yarmouth, MA

Elevation

Glen & Darlene Townsend  
14 Scott Tyler Way  
West Dennis, MA 02670

DATE:

12/2/2025

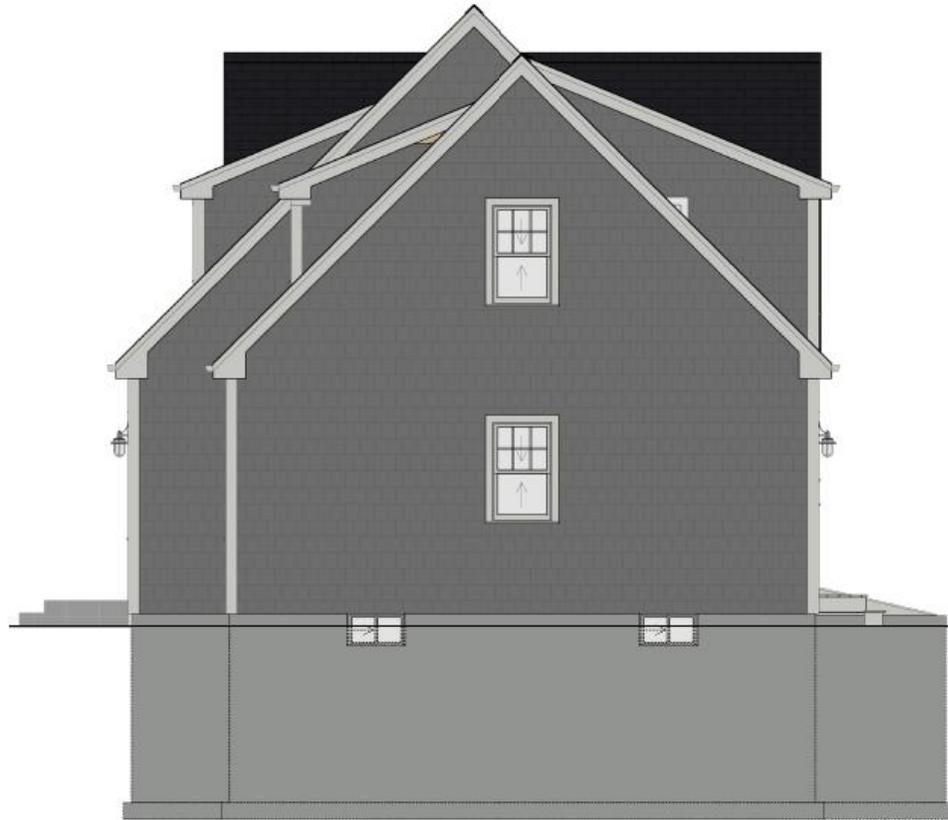
SCALE:

AS NOTED

SHEET:

A-5

# 2025 Approved



E4 Floor #: 3/16 in = 1 ft  
Townsend - 8.1



E2 Floor #: 3/16 in = 1 ft  
Townsend - 8.1



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South Yarmouth, MA

Elevation

Glen & Darlene Townsend  
14 Scott Tyler Way  
West Dennis, MA 02670

DATE:

1/31/2025

SCALE:

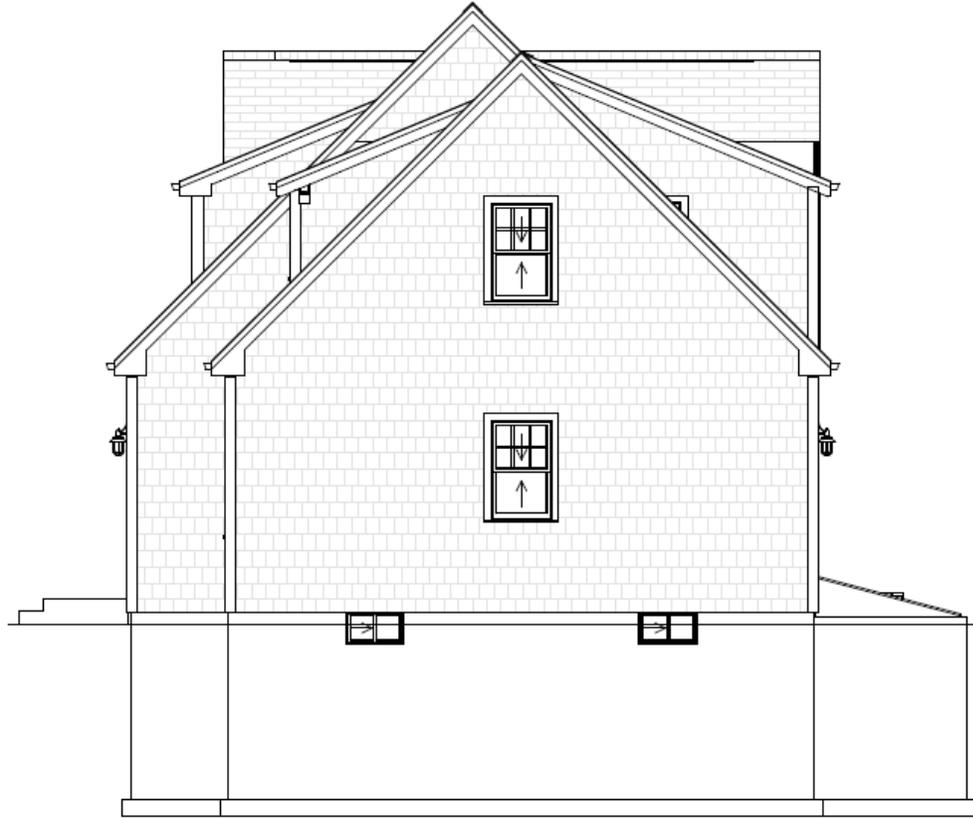
AS NOTED

SHEET:

A-6

Do Not Build From These Plans

# 2026 Proposed



E4 Floor #: 3/16 in = 1 ft  
Townsend WORKING Plan



E2 Floor #: 3/16 in = 1 ft  
Townsend WORKING Plan



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33 North Main Street  
South Yarmouth, MA

Elevation

Glen & Darlene Townsend  
14 Scott Tyler Way  
West Dennis, MA 02670

DATE:

12/2/2025

SCALE:

AS NOTED

SHEET:

A-6



LAYOUT PAGE TABLE		
LABEL	TITLE	DESCRIPTION
T-1	TITLE PAGE	
E-1	EXISTING DWELLING	
A-1	FOUNDATION	
A-2	1ST FLOOR	
A-3	2ND FLOOR & SCHEDULES	
A-4	ELEVATION	
A-5	ELEVATION	
A-6	ELEVATION	
A-7	CROSS SECTIONS	
A-7	MAIN ELEVATION	
A-8	SHEAR WALLS, FASTENING & HOLD DOWNS	
A-9	FLOOR FRAMING PLANS	
A-10	FLOOR FRAMING PLANS	
A-11	ROOF FRAMING PLANS	
K-1	KITCHEN - PROPOSED FLOOR PLAN	
K-2	KITCHEN - PROPOSED ELEVATIONS	
K-3	KITCHEN - PROPOSED ELEVATIONS	
K-4	KITCHEN - PROPOSED ELEVATIONS	
B-1	FIRST FLOOR PRIMARY BATH FLOOR PLAN	
B-2	LAUNDRY AND POWDER BATH FLOOR PLAN	
B-3	2ND FLOOR HALL BATH FLOOR PLAN	
B-4	BATH - 3D PERSPECTIVES	
B-5	BATH - PROPOSED ELEVATIONS	



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South Yarmouth, MA

Title Page

Glen & Darlene Townsend  
14 Scott Tyler Way  
West Dennis, MA 02670

DATE:

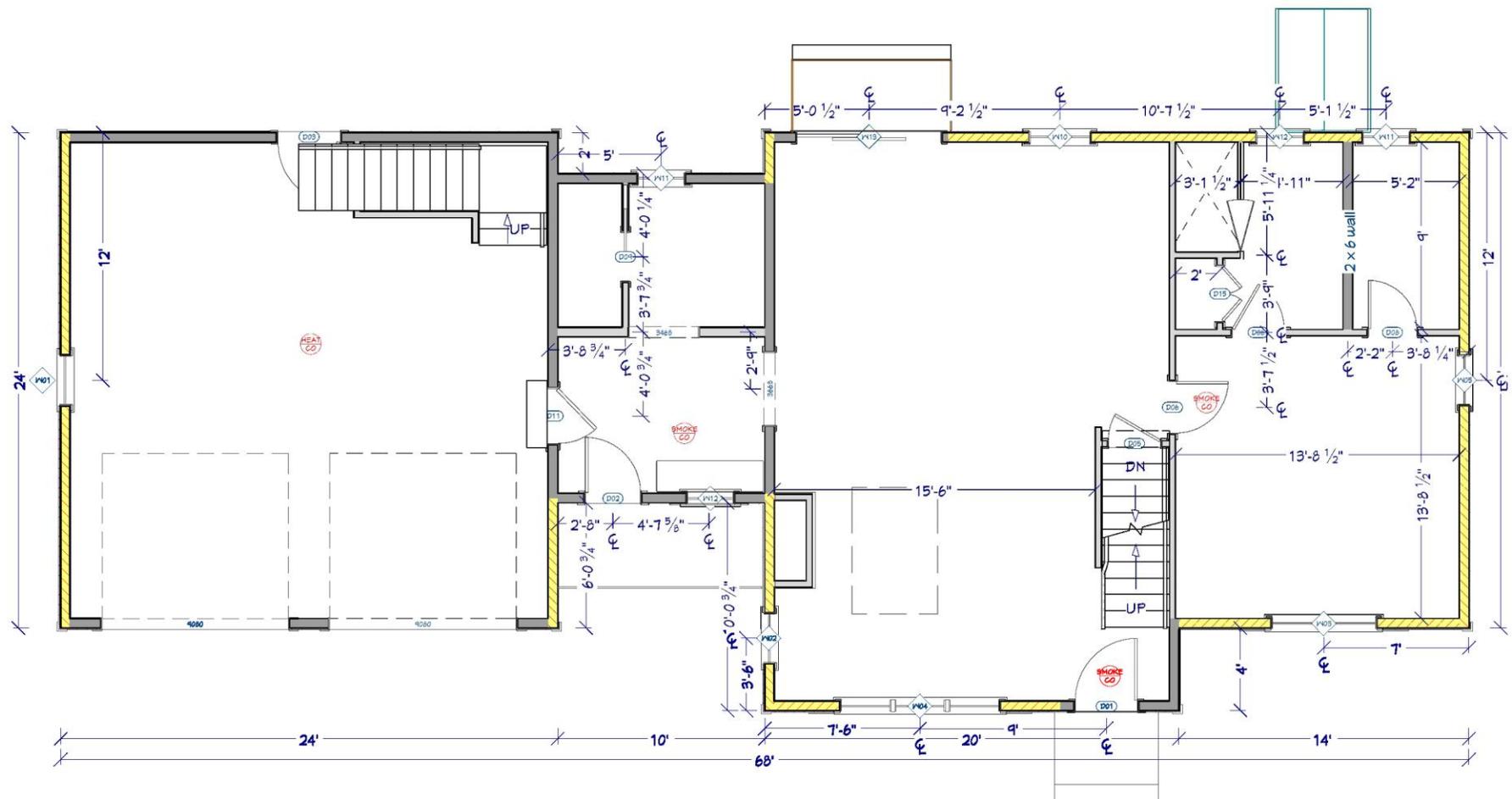
12/2/2025

SCALE:

AS NOTED

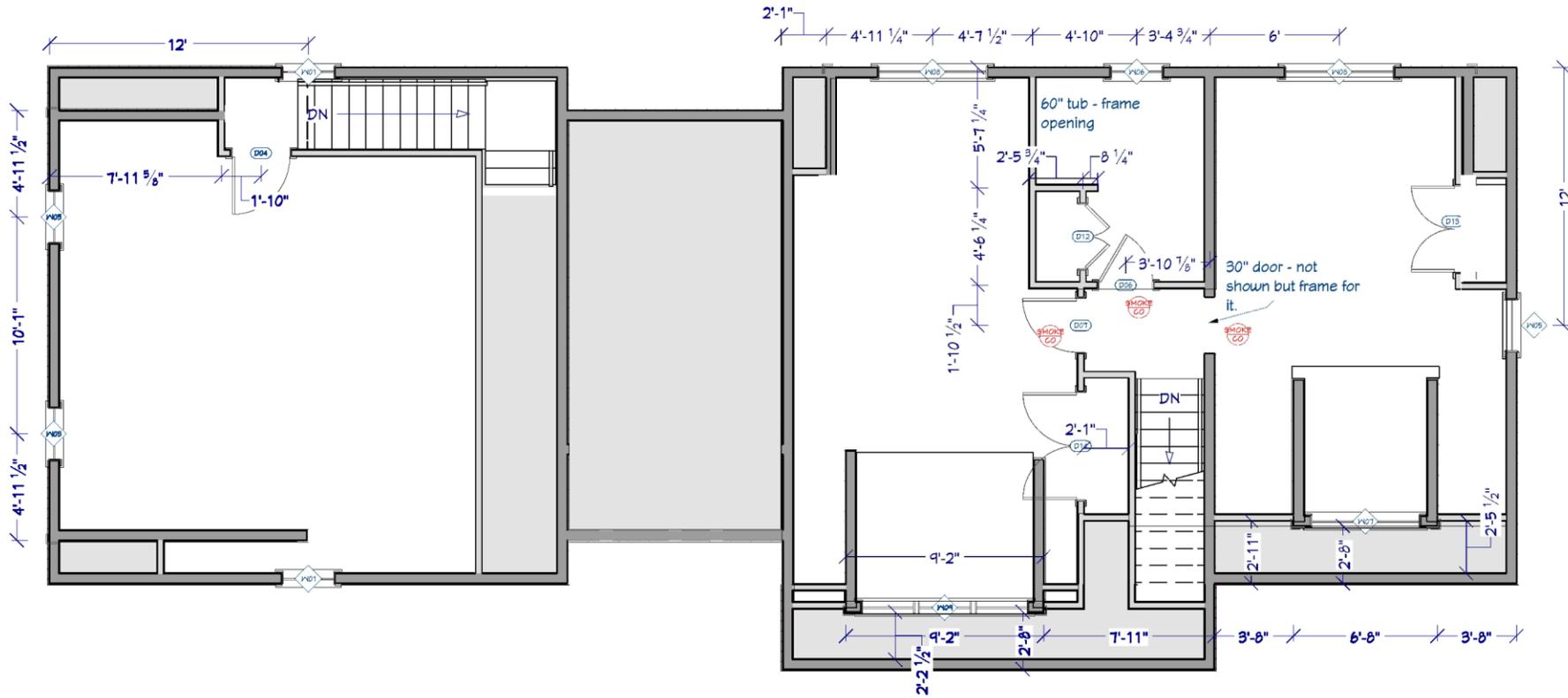
SHEET:

T-1



 Floor #1: 3/16 in = 1 ft  
 Townsend WORKING Plan


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George Davis, Inc. 33 North Main Street South Yarmouth, MA
1st Floor
Glen & Darlene Townsend 14 Scott Tyler Way West Dennis, MA 02670
DATE:
12/2/2025
SCALE:
AS NOTED
SHEET:
<b>A-2</b>



○ Floor #2: 3/16 in = 1 ft  
Townsend WORKING Plan

ANDERSON WINDOW & DOOR SCHEDULE

NUMBER	LABEL	QTY	DESCRIPTION	TEMPERED	EGRESS	MANUFACTURER
W01	TW 2446	3	DOUBLE HUNG			ANDERSON
W02	TW 2446	1	DOUBLE HUNG	YES		ANDERSON
W03	TW 2446-2	1	MULLED UNIT		YES	ANDERSON
W04	TW 2446-3	1	MULLED UNIT			ANDERSON
W05	TW 24310	4	DOUBLE HUNG		YES	ANDERSON
W06	TW 24310	1	DOUBLE HUNG	YES	YES	ANDERSON
W07	TW 24210-2	1	MULLED UNIT			ANDERSON
W08	TW 24310-2	2	MULLED UNIT		YES	ANDERSON
W09	TW 24210-3	1	MULLED UNIT			ANDERSON
W10	A 335	1	SINGLE AWNING			ANDERSON

DOOR SCHEDULE

NUMBER	LABEL	QTY	SIZE	DESCRIPTION	MANUFACTURER	COMMENTS
D01	3068	1	3068 R EX	2-LITE OVER 4-PANEL	THERMA-TRU OR EQUAL	
D02	2868	1	2868 L EX	4 LITE OVER 1 PANEL, 3/4 GLASS	THERMATRU OR EQUAL	
D03	3068	1	3068 L EX	4 LITE OVER 2 PANEL	THERMATRU OR EQUAL	
D04	2868	1	2868 R IN	HINGED-DOOR F03		
D05	2668	1	2668 R IN	2-PANEL SHAKER STYLE		WEATHER STRIPPING APPLIED
D06	2668	4	2668 L IN	2-PANEL SHAKER STYLE		
D07	2668	1	2668 R IN	2-PANEL SHAKER STYLE		
D08	2468	1	2468 L IN	2-PANEL SHAKER STYLE		
D09	2468	1	2468 R	2-PANEL SHAKER STYLE		
D11	2868	1	2868 L EX	2-PANEL SHAKER STYLE		20 MIN. LABEL
D12	3068	1	3068 L/R IN	2 PANEL SHAKER STYLE		CONCEALED MAGN. CATCHES
D13	4068	1	4068 L/R IN	2-PANEL SHAKER STYLE		CONCEALED MAGN. CATCHES
D14	5068	1	5068 L/R IN	2-PANEL SHAKER STYLE		CONCEALED MAGN. CATCHES
D15	2868	1	2868 L/R IN	2-PANEL SHAKER STYLE		



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George Davis, Inc.  
33 North Main Street  
South Yarmouth, MA

2nd Floor & Schedules

Glen & Darlene Townsend  
14 Scott Tyler Way  
West Dennis, MA 02670

DATE:  
12/2/2025

SCALE:  
AS NOTED

SHEET:  
**A-3**

Commonwealth of Massachusetts



**TOWN OF DENNIS  
 BUILDING DEPARTMENT  
 ZONING REFERRAL LETTER  
 685 Route 134, South Dennis, MA 02660  
 (508) 760-6157**

PERMIT NUMBER:  
 ZDET-26-3  
 DATE OF REFERRAL:  
 January 13, 2026  
 FEES PAID:  
 \$50.00

OWNERS NAME: TOWNSEND GLEND  
 PROPERTY ADDRESS OF WORK: 14 SCOTT TYLER ROAD, WEST DENNIS, MA, 02670  
 MAP & PARCEL: 67-9-0  
 DETERMINATION OF REFERRAL: **Special permit for the Increase of height and floor area in a required minimum setback.**

ISSUED BY:

DESCRIPTION OF WORK BY APPLICANT:  
 Add dormer over garage.