

23 STEPHEN PHILLIPS ROAD(ZBAS-26-3): Mary Susan Muirhead, 76 DeForest Road, Wilton, CT (06897) C/O Marian Rose of Singer Law is seeking a Special Permit to demolish an existing single-family dwelling built in 1981 that is nonconforming as to front and side setbacks and reconstruct a new single-family dwelling not in the same footprint on a non-conforming lot. Located

on a property in the R-60 Zoning District, at 23 Stephen Phillips Road, Dennis MA (Assessor's Map 408, Parcel 38).

Find Properties

Owner:

Parcel ID:

Address: [Clear](#)

Condo/Cottage Colony:

Results Summary

Parcels

Parcel ID	Address	Village	Owner
408-38-0	23 STEPHEN P	ED	MUIRHEAD MA

Detail Information [Zoom To](#)

CAMA ID	408-38-0
MapPar	408-38
Key	16465
Fiscal Year	2027
Extension	0
Address	23 STEPHEN PHILLIPS ROAD
Village	ED
Property Type	R
Owner	MUIRHEAD MARY SUSAN
Co-Owner	
Owner Address	76 DEFOREST ROAD
Owner City	WILTON
Owner State	CT
Owner Zip	06897
Owner Country	
State Class #	1010
State Class Desc	SINGLE FAMILY
Deed Date	11/21/25 00:00:00
Book	37317
Page	1
Certificate	
Last Sale Price	2385000.0000
Total Value	\$1,594,100.00
Land Value	\$926,300.00
Building Value	\$666,100.00
Detached Building Value	\$1,700.00
Acres	0.47
Prev Year Total Value	\$1,547,900.00

[Find Abutters](#)



23 STEPHEN PHILLIPS ROAD (ZBAS-26-3): Mary Susan Muirhead, 76 DeForest Road, Wilton, CT (06897) C/O Marian Rose of Singer Law is seeking a Special Permit to demolish an existing single-family dwelling built in 1981 that is nonconforming as to front and side setbacks and reconstruct a new single-family dwelling not in the same footprint on a non-conforming lot. Located on a property in the R-60 Zoning District, at 23 Stephen Phillips Road, Dennis MA (Assessor's Map 408, Parcel 38).

Find Properties

Owner:

Parcel ID:

Address: Clear

Condo/Cottage Colony:

Results Summary

Parcels

Parcel ID	Address	Village	Owner
408-38-0	23 STEPHEN P	ED	MUIRHEAD MA

Detail Information Zoom To

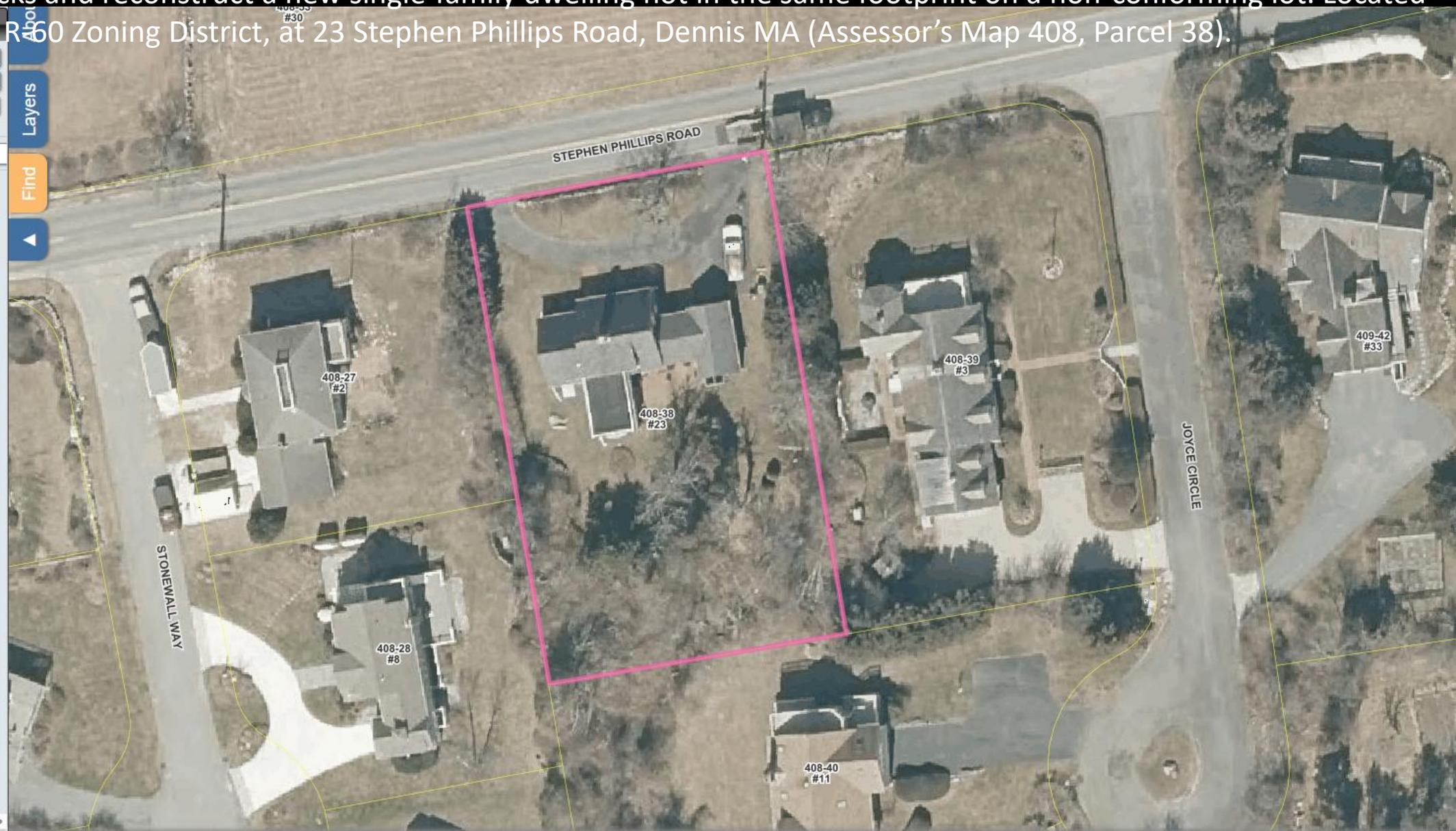
Key	16465
Fiscal Year	2027
Extension	0
Address	23 STEPHEN PHILLIPS ROAD
Village	ED
Property Type	R
Owner	MUIRHEAD MARY SUSAN
Co-Owner	
Owner Address	76 DEFOREST ROAD
Owner City	WILTON
Owner State	CT
Owner Zip	06897
Owner Country	
State Class #	1010
State Class Desc	SINGLE FAMILY
Deed Date	11/21/25 00:00:00
Book	37317
Page	1
Certificate	
Last Sale Price	2385000.0000
Total Value	\$1,594,100.00
Land Value	\$926,300.00
Building Value	\$666,100.00
Detached Building Value	\$1,700.00
Acres	0.47
Prev Year Total Value	\$1,547,900.00
Property Card	PK Field Card

About

Layers

Find

Find Abutters



23 STEPHEN PHILLIPS ROAD (ZBAS-26-3): Mary Susan Muirhead, 76 DeForest Road, Wilton, CT (06897) C/O Marian Rose of Singer Law is seeking a Special Permit to demolish an existing single-family dwelling built in 1981 that is nonconforming as to front and side setbacks and reconstruct a new single-family dwelling not in the same footprint on a non-conforming lot. Located

on a property in the R-60 Zoning District, at 23 Stephen Phillips Road, Dennis MA (Assessor's Map 408, Parcel 38).

Labels

Parcels

Dennis Administrative Boundaries

- Town Boundary
- Village Boundary

Old King's Highway Historic District

South Dennis Historic District

Voting Precincts 2020

- 1
- 2
- 3
- 4
- 5

Zoning Overlay Districts

- Medium Wind Facility Overlay District
- Large Wind Facility Overlay District
- Med. & Large Wind Facility Overlay Distr
- Scenic Corridor

Zoning

- Residential 40
- Residential 60
- General Commercial I, II, or III
- Limited or Extensive Business
- Industrial
- Resort Areas
- Dennis Port Village Center Areas
- West Dennis Village Center District
- West Dennis Village Center Support Dist
- West Dennis Marine Open Space District
- West Dennis Mixed Use Marine District
- West Dennis Residential-Commercial
- Quivet Neck-Crowes Pasture Resource Protection District

MassGIS Census Data

MassGIS Coastal Features

MassGIS Conservation

Base Maps

- 2023 MassGIS Orthos
- Town Basemap



Existing house to be demolished



23 Stephen Phillips Rd
Dennis, Massachusetts
[View on Google Maps](#)

Existing house to be demolished



Existing house to be demolished



ZONING SUMMARY

ZONING DISTRICT: R-60 RESIDENTIAL

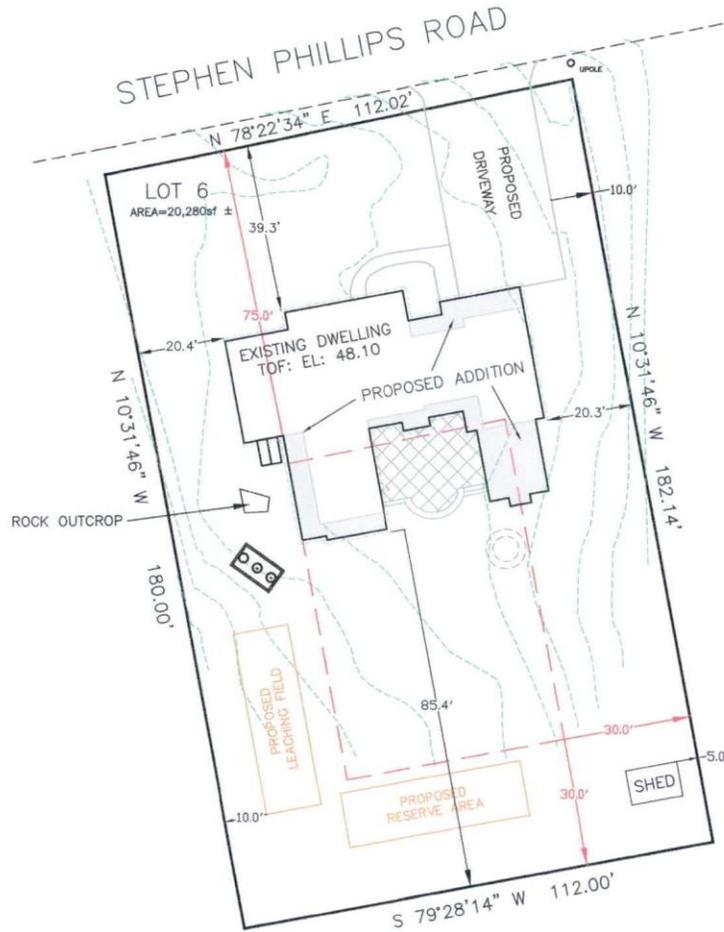
	REQUIRED:	EXISTING:	PROPOSED:
MIN. LOT SIZE:	60,000SF	20,280SF	20,280SF
MIN LOT FRONTAGE:	50'	112'	112'
MIN. LOT WIDTH:	200'	112'	112'
MIN. FRONT SETBACK:	75'	39.3'	39.3'
MIN. SIDE SETBACK:	30'	20.3'	20.3'
MIN. REAR SETBACK:	30'	90.2'	85.4'
MAX. BUILDING COVERAGE:	15%	11%	14.7%
MAX. BUILDING HEIGHT:	35'	24'4"	27'4"

F.A.R

NON-CONFORMING SF: <40% 3963.5 SF 5052.6 SF

% INCREASE:

$$(5052.6 - 3963.5) / 3963.5 * 100 = 27.4\%$$



(IN FEET)
1 inch = 30ft.

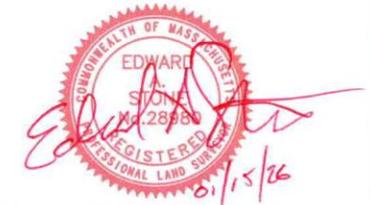


LOCUS INFORMATION

PARCEL ID: MAP 408 PAR. 038
TITLE REF: 9916/119
PLAN REF: 319/56

FLOOD ZONE: NOT IN A FLOOD ZONE
MA DEP ESA/ZONEII: NOT WITHIN
WITHIN 1 MILE WIND DISTRICT: EXPOS. "B"

EXISTING & PROPOSED
CONDITIONS
LOCATED AT:
23 STEPHEN PHILLIPS RD
EAST DENNIS, MA
PREPARED FOR
MUIRHEAD
JANUARY 15, 2026



M MEYER & SONS, INC.
852 MAIN STREET
WEST DENNIS,
MA 02670

PH: (508)362-2922

STEPHEN PHILLIPS

ZONING SUMMARY

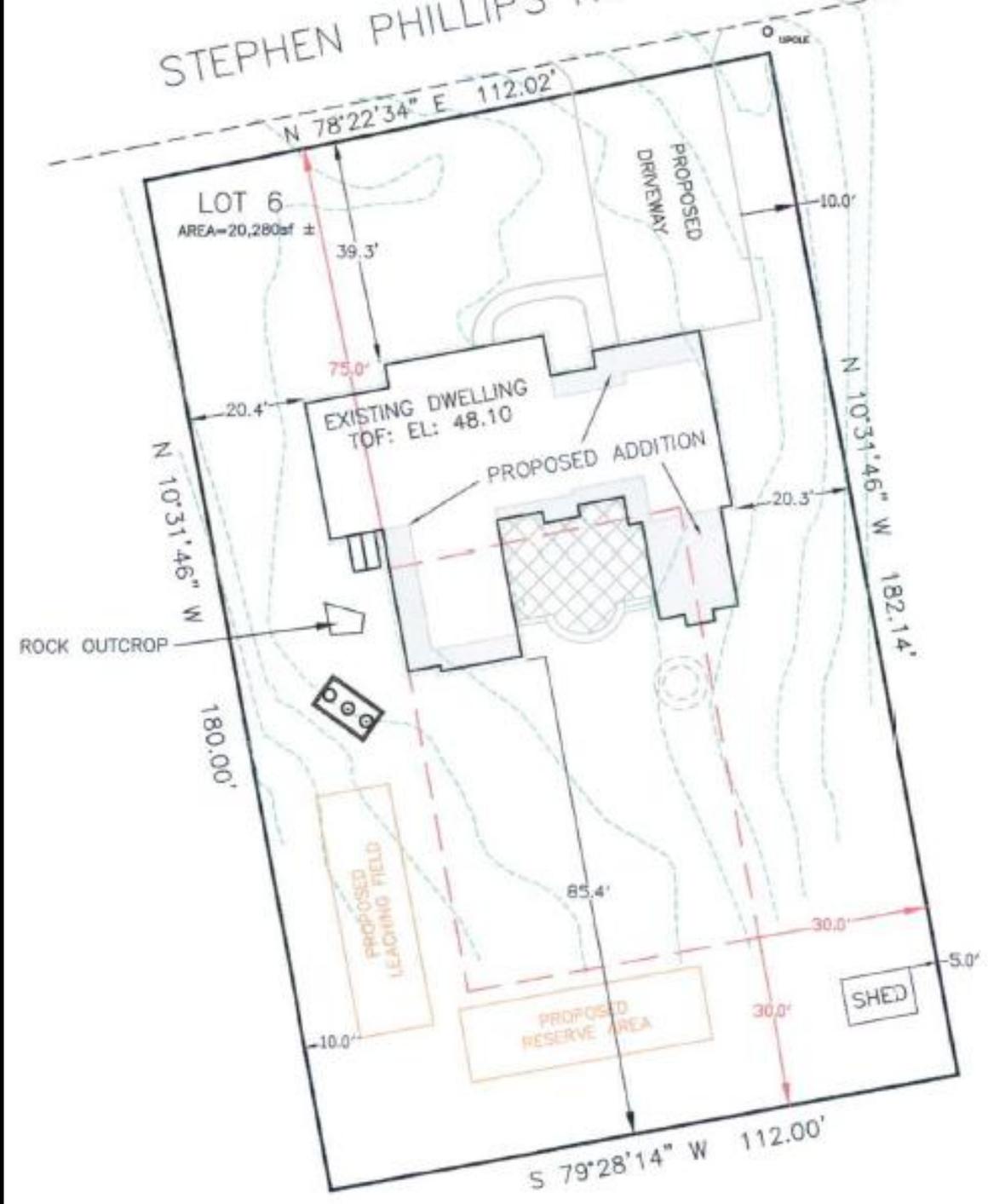
ZONING DISTRICT: R-60 RESIDENTIAL

	REQUIRED:	EXISTING:	PROPOSED:
MIN. LOT SIZE:	60,000SF	20,280SF	20,280SF
MIN LOT FRONTAGE:	50'	112'	112'
MIN. LOT WIDTH:	200'	112'	112'
MIN. FRONT SETBACK:	75'	39.3'	39.3'
MIN. SIDE SETBACK:	30'	20.3'	20.3'
MIN. REAR SETBACK:	30'	90.2'	85.4'
MAX. BUILDING COVERAGE:	15%	11%	14.7%
MAX. BUILDING HEIGHT:	35'	24'4"	27'4"

F.A.R

NON-CONFORMING SF:	<40%	3963.5 SF	5052.6 SF
--------------------	------	-----------	-----------

% INCREASE:
 $(5052.6 - 3963.5) / 3963.5 * 100 = 27.4\%$

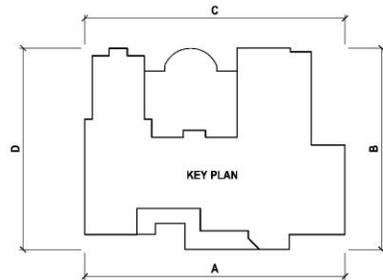


STEPHEN PHILLIPS ROAD





MUIRHEAD RESIDENCE
EAST DENNIS, MA
YAROSH ASSOCIATES, INC.
ARCHITECTS



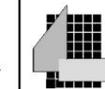
REAR ELEVATION
SCALE 1/4"=1'-0"



LEFT ELEVATION
SCALE 1/4"=1'-0"

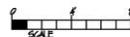
ADDITION/RENOVATION
MUIRHEAD RESIDENCE
23 STEPHEN PHILLIPS RD.
EAST DENNIS, MA

ZBA SUBMITTAL 1-15-2026



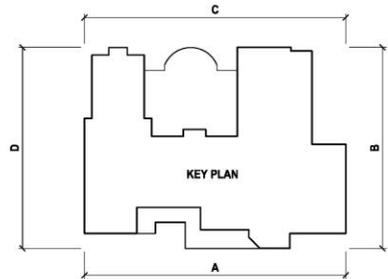
YAROSH ASSOCIATES, INC.
ARCHITECTS - PLANNERS

SCALE: AN	DATE: 9/10/16	APPROVED: -	DESIGN BY: J & K
ELEVATIONS			
PROJECT NUMBER: 1414	LOCATION: MASSACHUSETTS	DRAWING NUMBER: A-2	

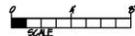




(A) **FRONT ELEVATION**
SCALE $\frac{1}{4}'' = 1'-0''$

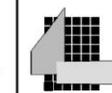


(B) **RIGHT ELEVATION**
SCALE $\frac{1}{4}'' = 1'-0''$

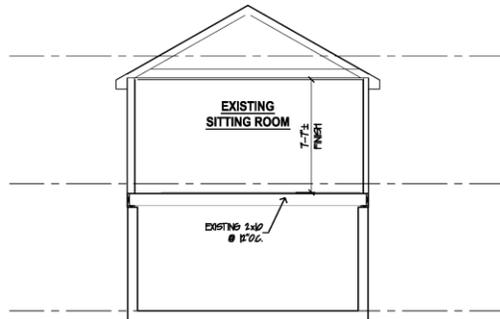


ADDITION/RENOVATION
MUIRHEAD RESIDENCE
23 STEPHEN PHILLIPS RD.
EAST DENNIS, MA

ZBA SUBMITTAL 1-15-2026

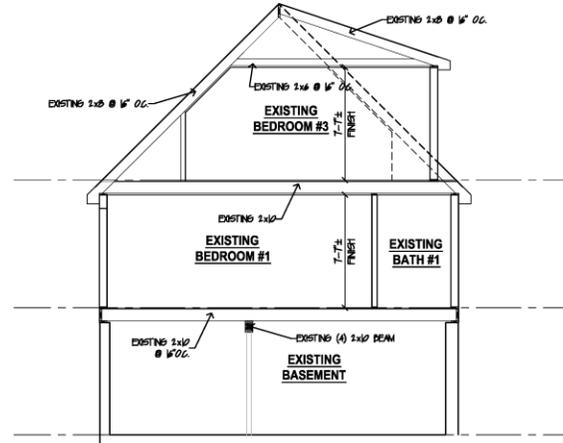


YAROSH ASSOCIATES, INC. ARCHITECTS - PLANNERS			
SCALE: AN	DATE: 12/2025	APPROVED: -	DRAWN BY: JG & KS
ELEVATIONS			
PROJECT NUMBER 1414	MADRIPEE, MASSACHUSETTS TEL: 477-6261 - FAX: 477-6277	DRAWING NUMBER A-1	



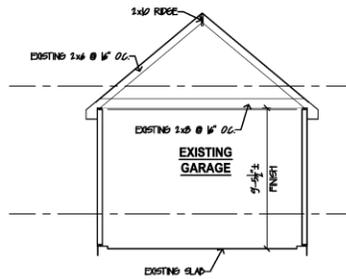
EXISTING SECTION

3
SCALE $\frac{1}{4}''=1'-0''$



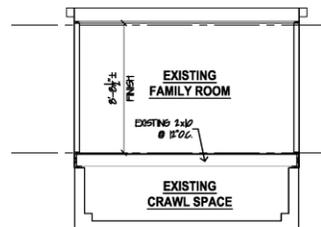
EXISTING SECTION

1
SCALE $\frac{1}{4}''=1'-0''$



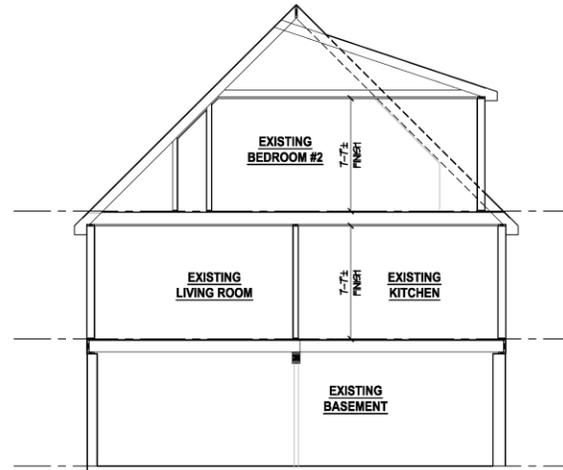
EXISTING SECTION

4
SCALE $\frac{1}{4}''=1'-0''$



EXISTING SECTION

5
SCALE $\frac{1}{4}''=1'-0''$



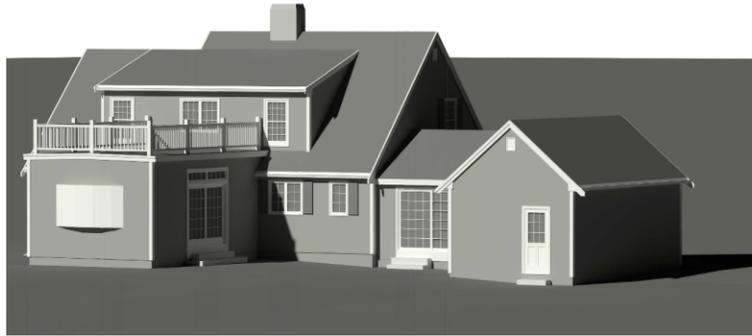
EXISTING SECTION

2
SCALE $\frac{1}{4}''=1'-0''$

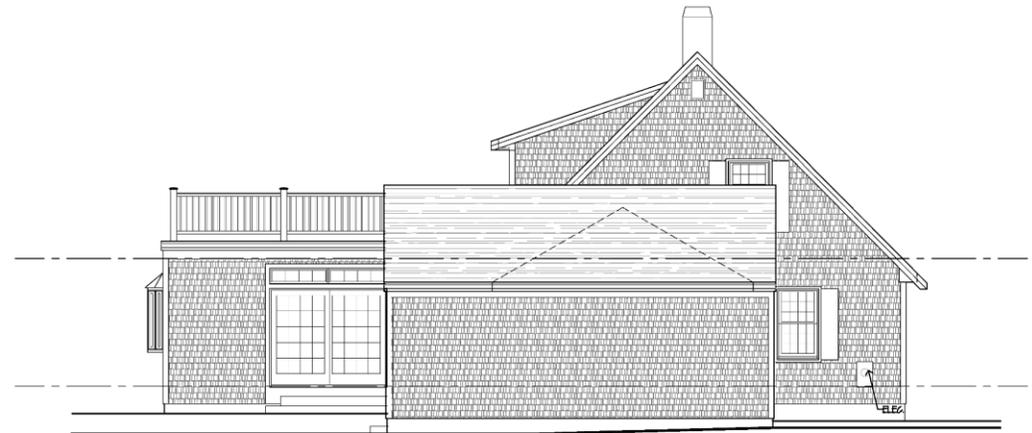
MUIRHEAD RESIDENCE
23 STEPHEN PHILLIPS RD.
EAST DENNIS, MA

ZBA SUBMITTAL 1-15-2026

YAROSH ASSOCIATES, INC. ARCHITECTS - PLANNERS			
SCALE: AN	DATE: 12/2015	APPROVED: -	DRAWN BY: JG & KS
EXISTING SECTIONS			
PROJECT NUMBER 1414	MASHPEE, MASSACHUSETTS TEL: 477-4261 - FAX: 477-9777	DRAWING NUMBER X-5	



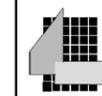
**EXISTING
REAR ELEVATION**
 (C) SCALE $\frac{1}{4}''=1'-0''$



**EXISTING
LEFT ELEVATION**
 (D) SCALE $\frac{1}{4}''=1'-0''$

MUIRHEAD RESIDENCE
 23 STEPHEN PHILLIPS RD.
 EAST DENNIS, MA

ZBA SUBMITTAL 1-15-2026



YAROSH ASSOCIATES, INC.
ARCHITECTS - PLANNERS

SCALE: AN DATE: 8/2025 APPROVED: - DRAWN BY: G & KS

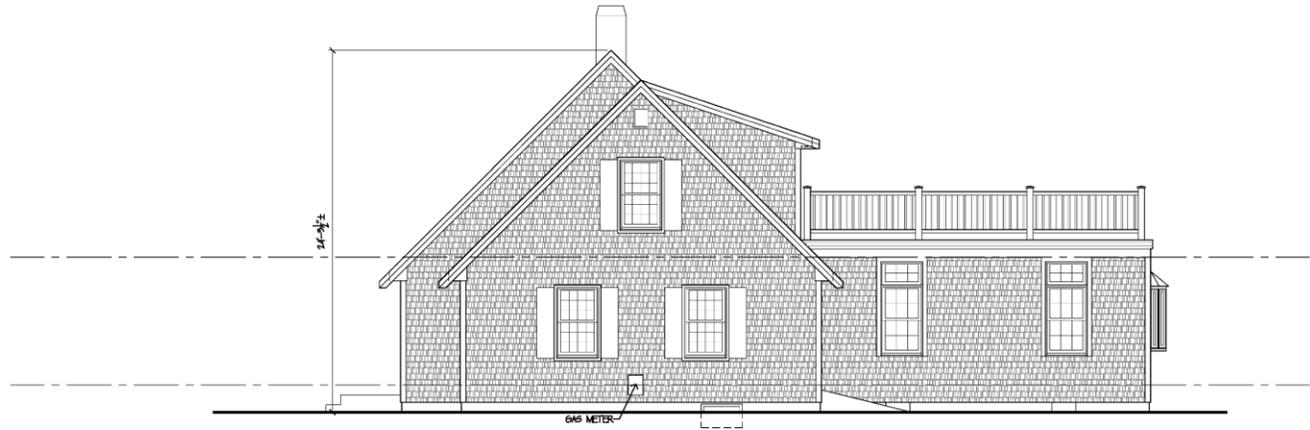
EXISTING ELEVATIONS

PROJECT NUMBER: 1414 MASSACHUSETTS REG. NO. 67481 TEL: 508-451-0777 DRAWING NUMBER: X-2



**EXISTING
FRONT ELEVATION**

(A)
SCALE $\frac{1}{4}''=1'-0''$



**EXISTING
RIGHT ELEVATION**

(B)
SCALE $\frac{1}{4}''=1'-0''$

MUIRHEAD RESIDENCE
23 STEPHEN PHILLIPS RD.
EAST DENNIS, MA

ZBA SUBMITTAL 1-15-2026

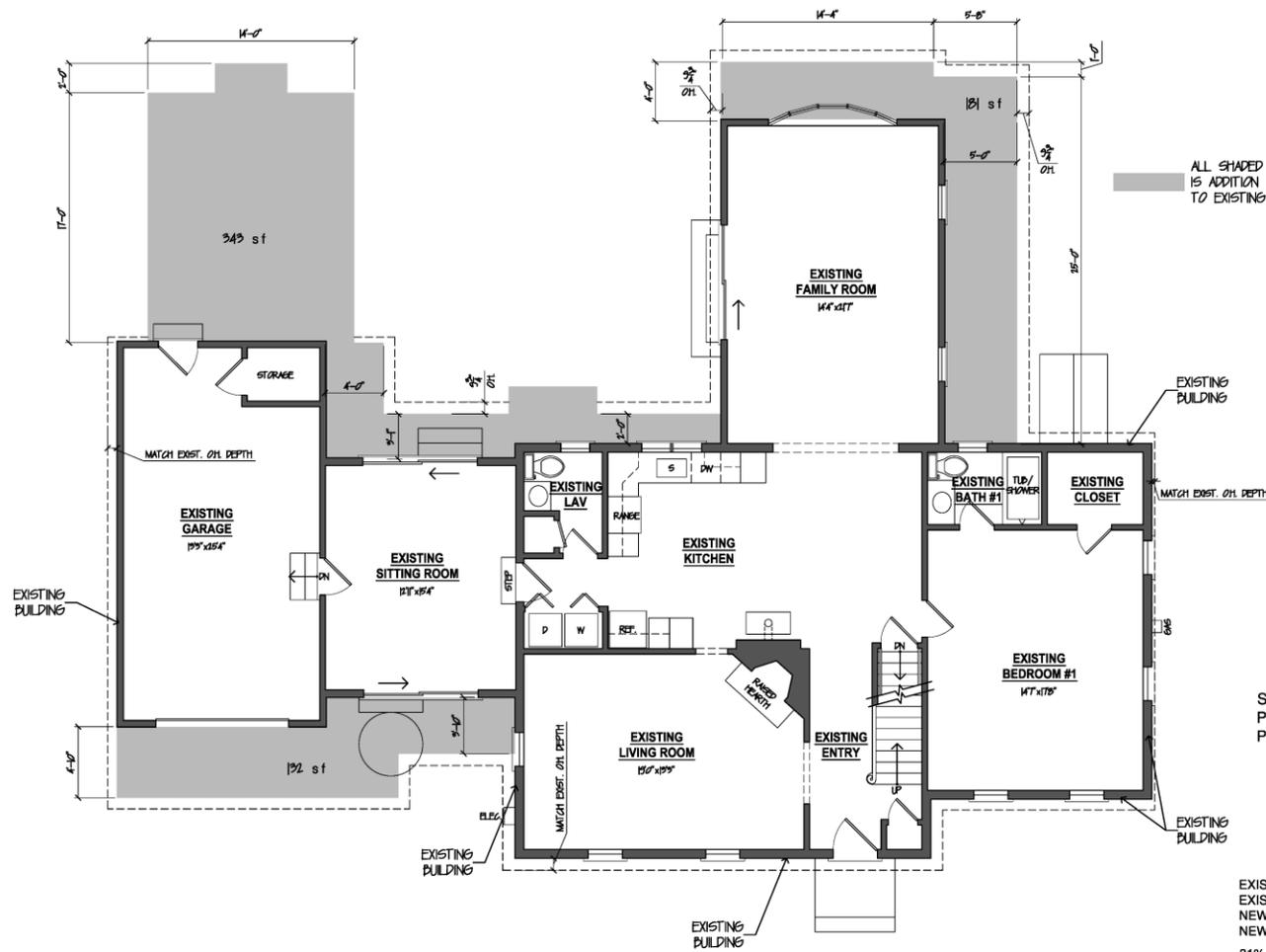


YAROSH ASSOCIATES, INC.
ARCHITECTS - PLANNERS

SCALE: AN DATE: 11/1/25 APPROVED: — DRAWN BY: JG & PS

EXISTING ELEVATIONS

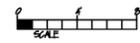
PROJECT NUMBER: 1414 MASSACHUSETTS REGISTRATION NUMBER: 18-477-0191-1998-07-0027 DRAWING NUMBER: X-1



ALL SHADED IS ADDITION TO EXISTING

SITE INFORMATION TAKEN FROM PROPOSED SITE & SEPTIC PLAN PREPARED BY MEYER & SONS, INC.

EXISTING FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

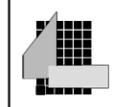


EXISTING HOUSE LOT COVERAGE	2103 sf
EXISTING HOUSE LOT COVERAGE W/ O.H.	2233 sf
NEW FOOTPRINT	2759 sf
NEW FOOTPRINT W/ O.H.	2925 sf
31% FOOTPRINT INCREASE	
EXISTING LOT COVERAGE	2233sf/20,280sf = 11.0%
PROPOSED LOT COVERAGE	2925sf/20,280sf = 14.4%

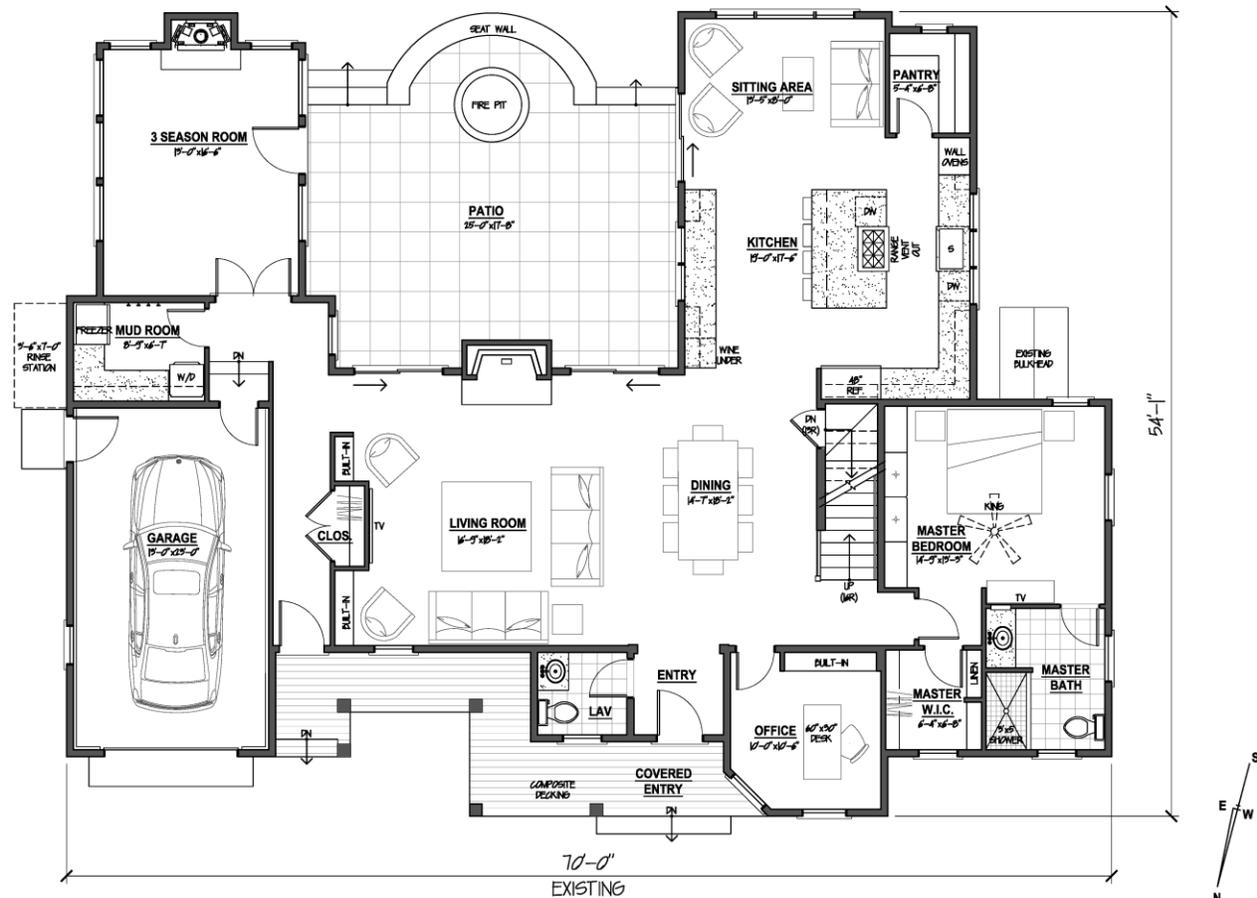
ADDED AREA ON EXISTING PLAN

ZBA SUBMITTAL 1-15-2026

MUIRHEAD RESIDENCE
23 STEPHEN PHILLIPS RD.
EAST DENNIS, MA



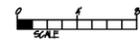
YAROSH ASSOCIATES, INC. ARCHITECTS - PLANNERS			
SCALE: AN	DATE: 12/2025	APPROVED: -	DRAWN BY: JG & KS
EXISTING FIRST FLOOR PLAN			
PROJECT NUMBER 1414	MASHPEE, MASSACHUSETTS TEL: 477-4261 FAX: 477-9777	DRAWING NUMBER X-6	



FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

FIRST FLOOR	2214 sf
SECOND FLOOR	2153 sf
TOTAL	4367 sf
GARAGE	320 sf
FRONT COVERED PORCH	181 sf
W.P. DECK	238 sf

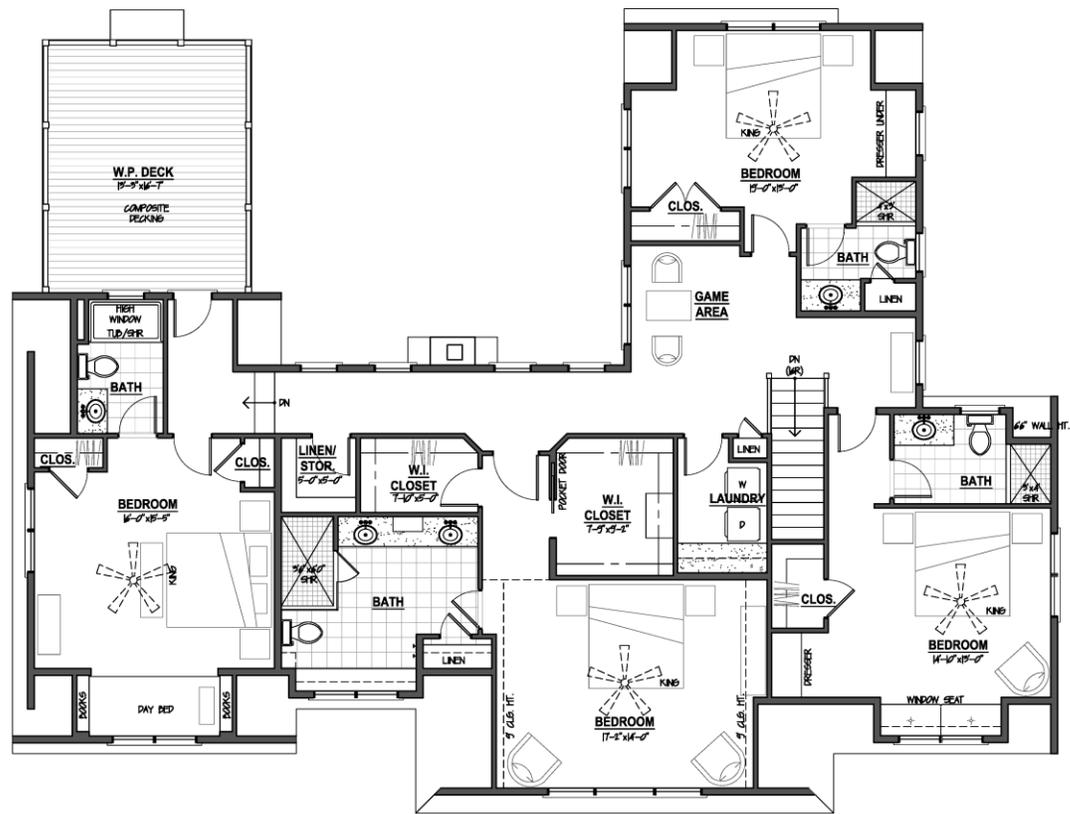


ZBA SUBMITTAL 1-15-2026

ADDITION/RENOVATION
MUIRHEAD RESIDENCE
23 STEPHEN PHILLIPS RD.
EAST DENNIS, MA



YAROSH ASSOCIATES, INC. ARCHITECTS - PLANNERS			
SCALE: AN	DATE: 12/2025	APPROVED: -	DRAWN BY: J & K
FIRST FLOOR PLAN			
PROJECT NUMBER 1414	MASHPEL, MASSACHUSETTS TEL: 477-6961 FAX: 477-9777	DRAWING NUMBER A-3	



① **SECOND FLOOR PLAN**
 SCALE 1/4" = 1'-0" 2153 SF

ADDITION/RENOVATION
 MUIRHEAD RESIDENCE
 23 STEPHEN PHILLIPS RD.
 EAST DENNIS, MA

ZBA SUBMITTAL 1-15-2026

YAROSH ASSOCIATES, INC. ARCHITECTS - PLANNERS			
SCALE: AN	DATE: 12/2015	APPROVED: -	DRAWN BY: JG & KS
SECOND FLOOR PLAN			
PROJECT NUMBER 1414	MASHPEE, MASSACHUSETTS TEL: 477-6961 FAX: 477-6977	DRAWING NUMBER A-4	



23 Stephen Phillips Road, East Dennis, MA 02641-Muirhead







Key: 16465

Town of DENNIS - Fiscal Year 2026

12/3/2025

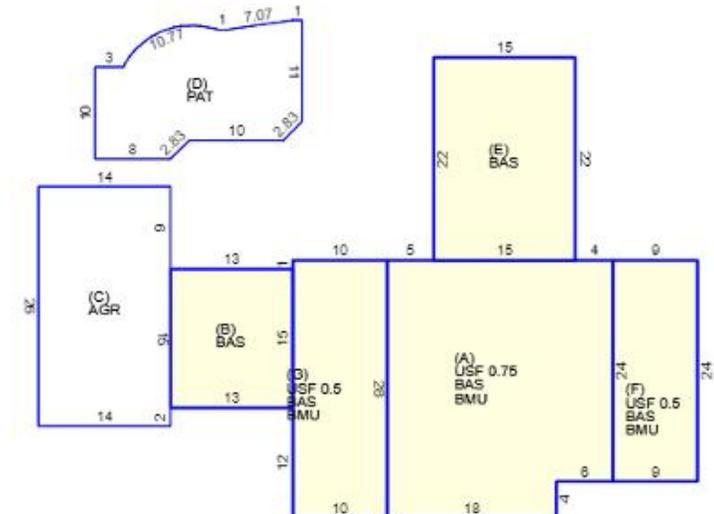
11:49:45PM

SEQ #: 16,819

Assessed Owner Of Record		Parcel ID		Location		Class	Mix%	Description			BLD #	Bldg ID	Card			
POURBAIX JOHN M TRUSTEE		408-38-0		23 STEPHEN PHILLIPS ROAD ED		1010	100	SINGLE FAMILY			1		1 of 1			
CURRENT OWNER		TRANSFER HISTORY		DOS	T	SALE PRICE	BK-PG (Cert)	PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st	%
MUIRHEAD MARY SUSAN 76 DEFOREST ROAD WILTON, CT 06897		MUIRHEAD MARY SUSAN POURBAIX JOHN M TRUSTEE		11/21/2025	QS	2,385,000	37317-1	2008-0380	11/02/2009	77	CYCLICAL REV		11/02/2009	HD	100	100
				11/06/1995	X		9916-119	000	04/28/2008	3	ALTERATIONS	5,850	05/13/2009	APK	100	100
								98-122	12/13/2002	77	CYCLICAL REV		12/13/2002	HD	0	0
								000	05/28/1998	2	ADDITIONS	30,000	10/22/1998	SF	100	100
								000	08/27/1996	77	CYCLICAL REV		08/27/1996	LB	0	0

CD	T	ACRES/SF	Nbhd	FEMA	Inf1	ADJ BASE	SAF	Inf2	Lpi	Chot	CREDIT AMT	ADJ VALUE				
100	A	0.470	21	1.00	R	1.00	VW	1.00	1,317,690	1.50	90	0.90	V19	5.50		928,310

TOTAL	20,473 SF	LOC=PROX TO BEACH & OBSTRUCTED VIEW		Photo Date	11/02/2009	BLDG #	1
Nbhd	SFSUIT NK	PLANS 294/52, 319/55, 58, 362/74					



YrBlt 1981 NET AREA 2,403

COST MODEL	CURRENT TAXABLE	PREVIOUS TAXABLE
SINGLE FAMILY	926,300	899,200
	666,100	647,000
	1,700	1,700
	0	0
TOTAL	1,594,100	1,547,900

YB	UNITS	ADJ PRICE	RCNLD
	98	23.28	1,700

YR	DLCU	OVCU	MEASURE	BY	LIST	BY	REVIEW	BY	w/WallHt	NET AREA	SIZE ADJ	ADJ PRICE/SF	RCN	% GD	RCNLD	
13	1.000	1.800	11/2/2009	HD	11/2/2009	HD	11/2/2009	HD	8.0	1.00	2,403	1.000	\$374.81	900,197	74	666,100

ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	CONDITION ELEM
STORIES(FAR)	1.75	FOUNDATION	1.00	4	BSMT WALL	1.00	+ BMU	N	BMU	1,144	89.82	102,750	
ROOMS	7	EXT. COVER	1.00	4	VINYL	1.00	+ BAS	L	BASE AREA	1,339	313.80	420,182	EXTERIOR
BEDROOMS	3	ROOF SHAPE	1.00	1	GABLE	1.00	+ USF	L	UPPER STORY FIN	734	257.10	188,714	INTERIOR
BATHROOMS	2.5	ROOF COVER	1.00	1	ASPHALT SHINGLE	1.00	C AGR	N	ATT GARAGE	364	126.02	45,873	KITCHEN
FIXTURES	9	FLOOR COVER	1.00	2	SOFTWOOD	1.00	D PAT	N	PAT	267	16.93	4,520	BATHS
RES UNIT CNT	1	INT. FINISH	1.00	2	DRYWALL	1.00	E BAS	L	BASE AREA	330	313.81	103,556	HVAC/ELEC
		HEATING/COOLING	1.00	1	FORCED AIR	1.00	FPL	O	FPL, FIREPLACE	1	14,693.60	14,694	
		FUEL SOURCE	1.00	2	GAS	1.00	ODS	O	OUT DOOR SHOWER	1	5,058.90	5,059	
		SEASONAL	1.00	99	NO (YEAR ROUND)	1.00							
		PRIVATE ROAD	1.00	1	NO	1.00							
		HISTORIC DST	1.00	3	OLD KINGS	1.00							
		GENERATOR USE	1.00			1.00							



Commonwealth of Massachusetts
TOWN OF DENNIS
 BUILDING DEPARTMENT
ZONING REFERRAL LETTER
 685 Route 134, South Dennis, MA 02660
 (508) 760-6157

PERMIT NUMBER:
ZDET-26-4
 DATE OF REFERRAL:
January 13, 2026
 FEES PAID:
\$50.00

OWNERS NAME: POURBAIX JOHN M TRUSTEE
 PROPERTY ADDRESS OF WORK: 23 STEPHEN PHILLIPS ROAD, EAST DENNIS, MA, 02641
 MAP & PARCEL: 408-38-0
 DETERMINATION OF REFERRAL: Zoning Board of Appeals Special Permit required for the voluntary demolition and reconstruction that will increase in height and volume within required minimum setbacks in the R-60 district.

ISSUED BY:

DESCRIPTION OF WORK BY APPLICANT:
 we are requesting a zoning referral in regards to the the dennis zoning bylaw 2.41.2.B
 49% rule has been calculated and concluded that we are at 34.5% additional living space

EFF. YR/AGE	1991 / 33
COND FUNC	28 26 %
ECON	0
DEPR	28 % GD 74
RCNLD	\$666,100