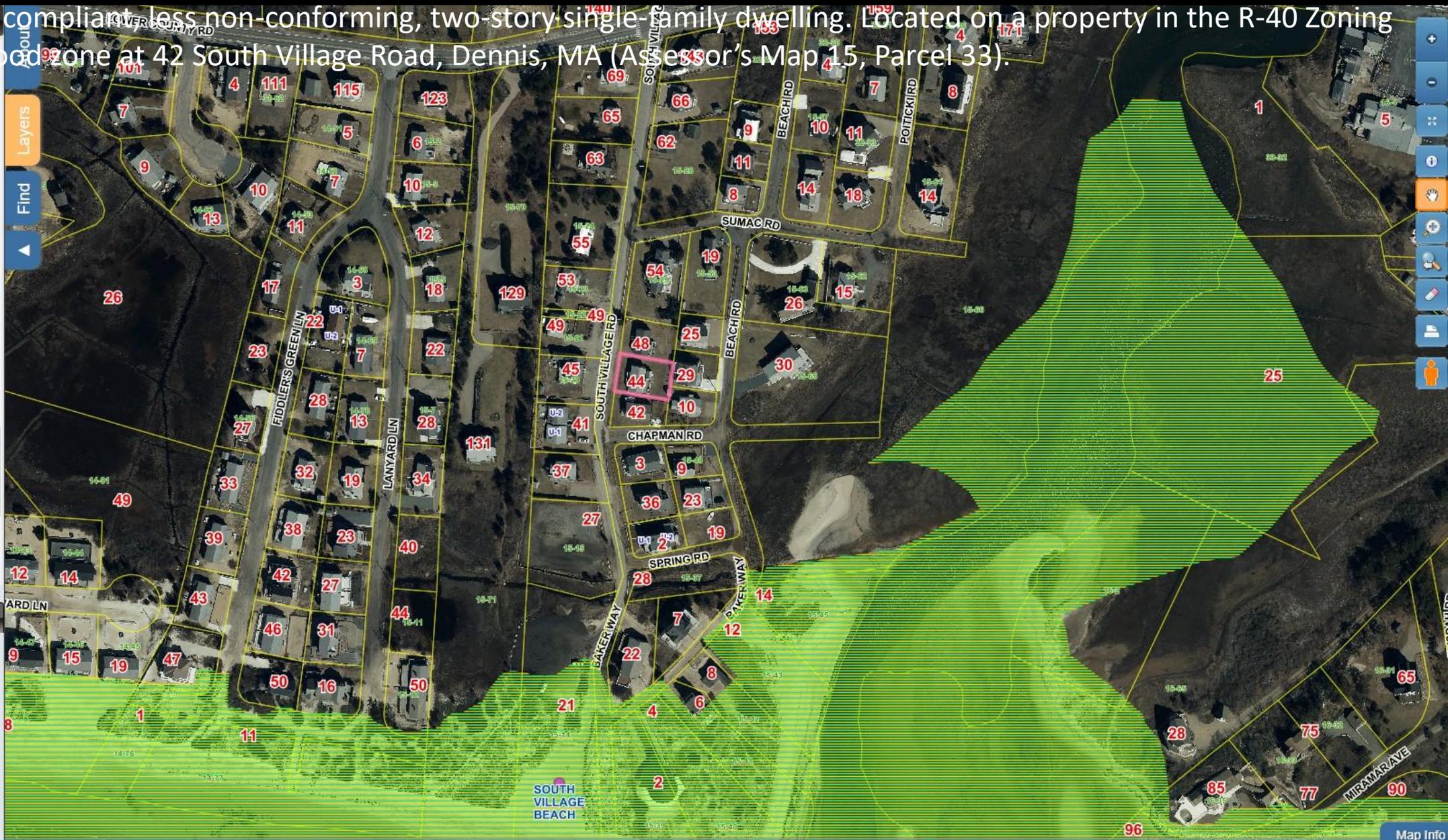


42 SOUTH VILLAGE ROAD WD (ZBAS-26-5): Domenic Previte, 11796 North Lake Drive, Boynton Beach, FL (33436) C/O Law Office of Singer & Singer is seeking a Special Permit to demolish an existing nonconforming single-family dwelling built in 1960 and reconstruct a flood compliant, less non-conforming, two-story single-family dwelling. Located on a property in the R-40 Zoning District: in an AE Flood zone at 42 South Village Road, Dennis, MA (Assessor's Map 15, Parcel 33).

- 1ft Contours
- MassDEP Regulated Areas
 - Activity and Use Limitations Sites
 - Tier Classified Oil and/or Hazardous Material - 21E Sites
- DWD Zone II - Sept. 29 2005 - June 10 2022
 - Zone II Area - Old
 - Zone II Area - June 10 2022
 - Zone II Area (New)
- MA DEP Wetlands
 - Marsh/Bog
 - Wooded Swamp
 - Salt Marsh
- MA NHESP Certified Vernal Pools
- MA NHESP Potential Vernal Pools
- NHESP 8-1-2021 Estimated Habitat Rare Species Dennis
- NHESP 8-1-2021 Priority Habitat Rare Species Dennis
- Land Use (Last Update 2013)
- Base Maps
 - OpenStreetMap
 - Google Street Map
 - Google Hybrid Map
 - 2021 MassGIS Orthos
 - 2020 CCC Regional Aerial Photo
 - 2019 MassGIS Aerial Photo
 - 2014 MassGIS Aerial Photo
 - 2012 MassGIS Aerial Photo
 - 2009 MassGIS Aerial Photo
 - 2005 MassGIS Aerial Photo
 - 2001 MassGIS Aerial Photo
 - 1994 MassGIS Aerial Photo
 - Town Base Map



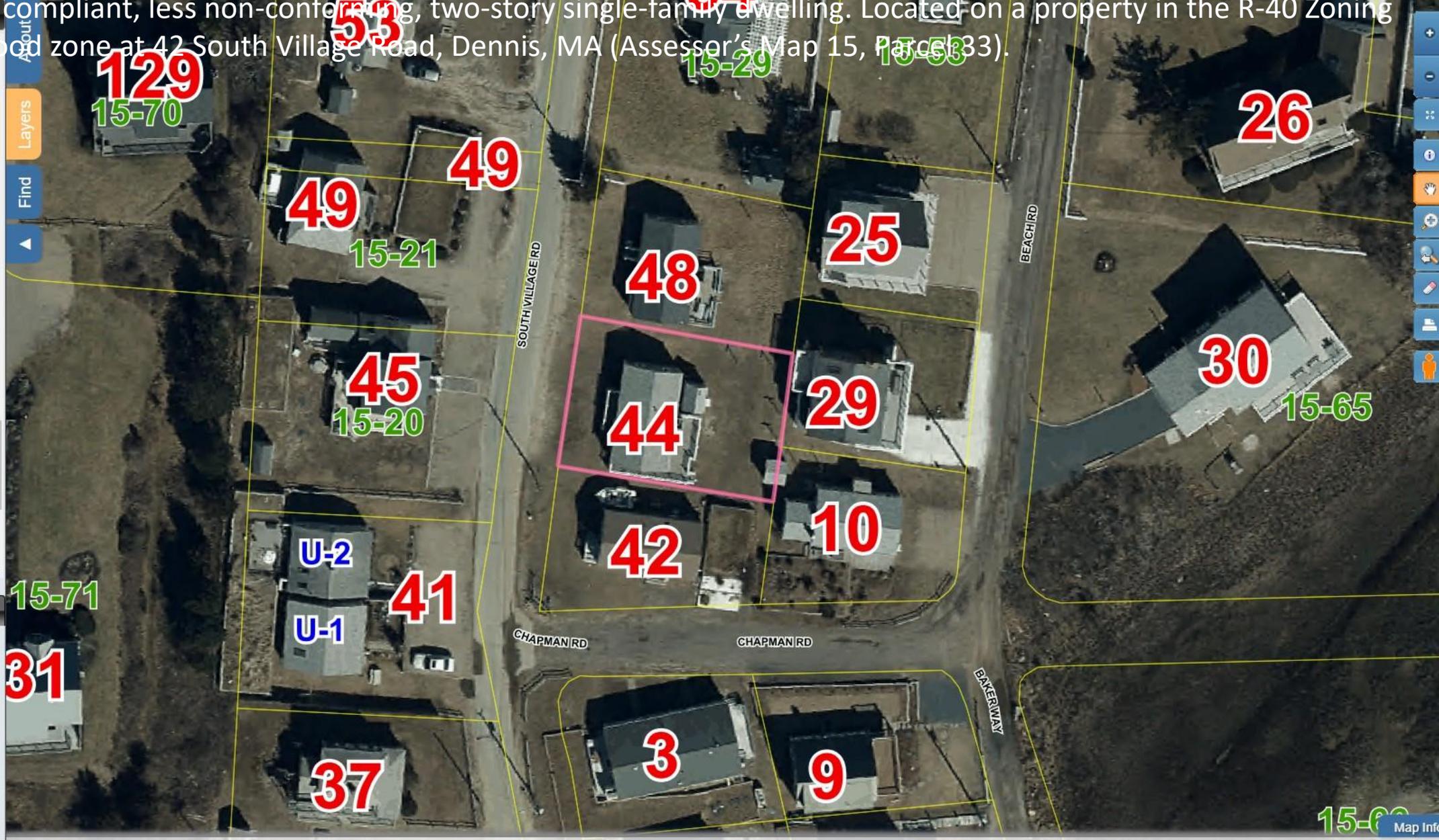
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Layers

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Find Layers



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Find Layers



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What raised septic should look like (nearby)

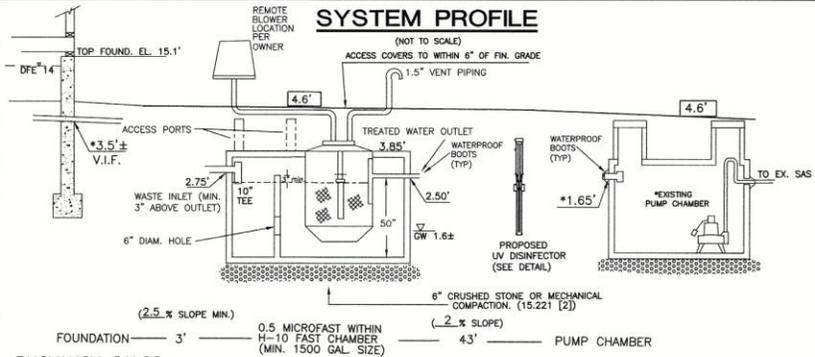




LEGEND

- 99 - EXISTING CONTOUR
- X 99.1 - EXIST. SPOT ELEV.
- [99] - PROPOSED CONTOUR
- [98.4] - PROPOSED SPOT EL.
- ⊕ - TEST HOLE
- - CONCRETE BOUND
- - UTILITY POLE
- ⊕ - FIRE HYDRANT
- ⊕ - STREET SIGN
- ⊕ - WATER SHUT OFF
- X - FENCE
- MARSH / BUFFER
- W - WATER LINE
- G - GAS LINE
- OVERHEAD ELECTRIC
- FLOOD ZONE

NOTE: NOT ALL SYMBOLS MAY APPEAR IN DRAWING



BUOYANCY CALCS:
 H=20 1500 GAL. FAST ST WEIGHS 13,750 LBS
 3.35 x 10.17 x 6.08 X 62.4 = 12,926 LBS UP (OK)

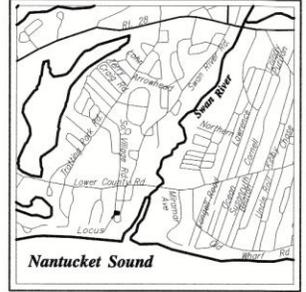
OPERATIONS AND MAINTENANCE AGREEMENT SHALL BE IN PLACE PRIOR TO ITS USE, AND SHALL BE FOR THE LIFE OF THE SYSTEM

PRESENCE OF THE FAST UNIT MUST BE RECORDED ON THE DEED TO THE PROPERTY.

INSTALLATION OF F.A.S.T. SYSTEM TO BE IN ACCORDANCE WITH PLANS AND SPECIFICATIONS OF MANUFACTURER

EFFLUENT TESTING SHALL BE REQUIRED AS PER TOWN OF DENNIS AND TITLE 5

*THE INSTALLER SHALL VERIFY THE LOCATIONS OF ALL UTILITIES AND ALL BUILDING SEWER OUTLETS AND ELEVATIONS PRIOR TO INSTALLING ANY PORTION OF SEPTIC SYSTEM



SCALE 1"=2000'±
 ASSESSORS MAP 15 PARCEL 33
 LOCUS IS WITHIN FEMA FLOOD ZONE AE (EL. 12 & 11) AS SHOWN ON COMMUNITY PANEL #25001C0593J DATED 7/16/2014
 SITE IS NOT WITHIN MODERATE WAVE ACTION ZONE
 DESIGN FLOOD ELEVATION (DFE) = EL. 14

NOTES

1. DATUM IS NAVD 88
2. MUNICIPAL WATER IS EXISTING
3. MINIMUM PIPE PITCH TO BE 1/8" PER FOOT.
4. DESIGN LOADING FOR ALL PROPOSED PRECAST UNITS TO BE AASHO H-12
5. PIPE JOINTS TO BE MADE WATERTIGHT.
6. CONSTRUCTION DETAILS TO BE IN ACCORDANCE WITH 310 CMR 15.000 (TITLE 5.)
7. THIS PLAN IS FOR PROPOSED WORK ONLY AND NOT TO BE USED FOR LOT LINE STAKING OR ANY OTHER PURPOSE.
8. PIPE FOR SEPTIC SYSTEM TO SCH. 40-4" PVC.
9. COMPONENTS NOT TO BE BACKFILLED OR CONCEALED WITHOUT INSPECTION BY BOARD OF HEALTH AND PERMISSION OBTAINED FROM BOARD OF HEALTH.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING DIGSAFE (1-888-344-7233) AND VERIFYING THE LOCATION OF ALL UNDERGROUND & OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF WORK.
11. EXISTING LEACHING FACILITY SHALL BE RETAINED.
12. ALL TANKS ARE TO BE INSTALLED WITH WATERTIGHT SLEEVES, BOOTS AND TANKS MUST BE WATERTIGHT.
13. INSTALLER TO VERIFY THE ELECTRICAL SYSTEM IS SUITABLE FOR PUMP CONNECTION. ELECTRICAL PERMIT REQUIRED.
14. FLOOD RESISTANT FOUNDATION DESIGN BY OTHERS. DFE = 14.0 NAVD88 ALL UTILITIES TO BE ABOVE DFE.
15. GUTTERS AND DOWNSPOUTS TO BE DIRECTED TO DRYWELLS OR ROOF DRIP LINES TO STONE TRENCHES.
16. FAST BLOWER AND VENT (FINAL PLACEMENT BY CONTRACTOR WITH HOMEOWNER CONSULTATION).

SYSTEM DESIGN:

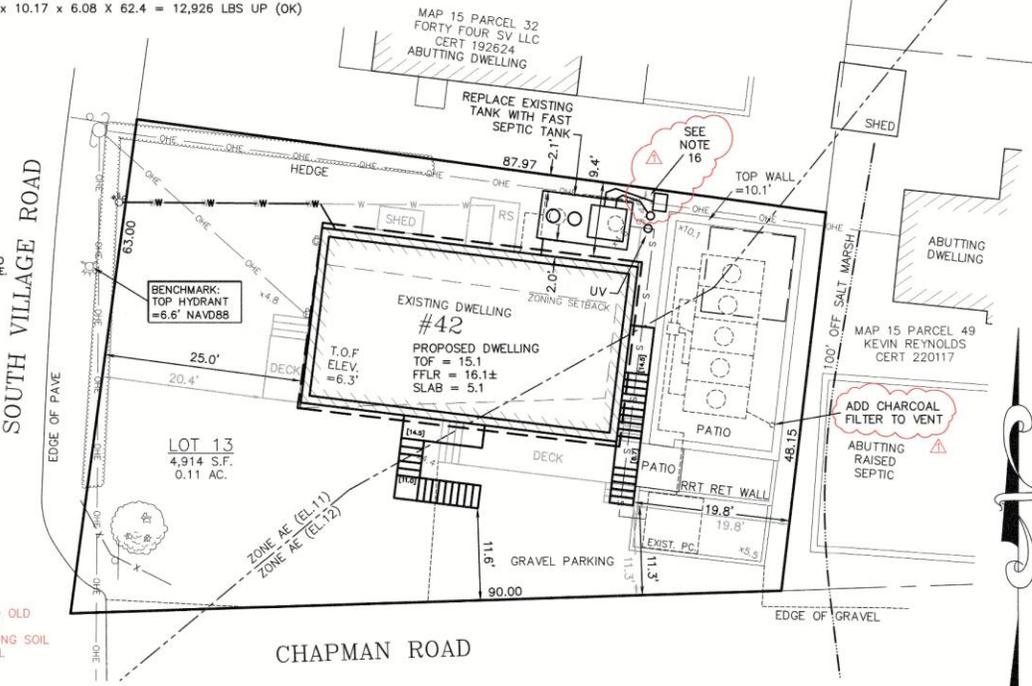
EXISTING 3 BEDROOM DWELLING
 PROPOSED 3 BEDROOM DWELLING

USE EXISTING SEPTIC SYSTEM
 INSTALLED 2000

DELETED OLD NOTE 11 REGARDING SOIL REMOVAL

THE DENNIS BOARD OF HEALTH SHALL REQUIRE THE FOLLOWING INSPECTIONS:

1. INSPECTION OF UNSUITABLE MATERIAL (IF ANY).
2. VERIFICATION OF SOIL CONDITIONS AND/OR GROUNDWATER ELEVATION (IF NECESSARY)
3. VERIFICATION OF CESSPOOL/LEACH PIT REMOVAL OR ABANDONMENT (IF NECESSARY)
4. INSPECTION OF CONTAINMENT WALL OR FLOW BARRIER INSTALLATION (IF ANY)
5. INSPECTION OF THE 3/4 - 1 1/2 INCH STONE PRIOR TO PLACEMENT
6. FINAL INSPECTION OF ALL COMPONENTS PRIOR TO BACKFILLING
7. FINAL GRADING INSPECTION
8. INSPECTION OF THE START-UP OF INNOVATIVE/ALTERNATIVE TECHNOLOGY (IF ANY) WITH VENDOR REPRESENTATIVE



ZONING SUMMARY

ZONING DISTRICT: R-40 DISTRICT

	REQUIRED:	EXISTING:	PROPOSED:
MIN. LOT SIZE	40,000 S.F.	4,914 S.F.	4,914 S.F.
MIN. LOT FRONTAGE	50'	153'	153'
MIN. LOT WIDTH	100'	58.8'	58.8'
MIN. FRONT SETBACK WEST 25'		20.4'	25.0'
MIN. FRONT SETBACK SOUTH 25'		11.3'	11.3'
MIN. SIDE SETBACK NORTH 15'		9.4'	9.4'
MIN. REAR SETBACK EAST 25'		19.8'	19.8'
MAX. BUILDING COVERAGE	15%	19.3%	19.6%
MAX. BUILDING HEIGHT	2.5 STORIES	15'	26'±
MAX. FLOOR AREA RATIO		18.2%	28.8%
NON-CONFORMING AREA		515 S.F.	634 S.F. (23% INC.)

SITE PLAN

OF
42 SOUTH VILLAGE ROAD
WEST DENNIS, MA

PREPARED FOR
DOMENIC PREVITE

DATE: NOVEMBER 17, 2025
 REV: JANUARY 12, 2026 (BOH COMMENTS Δ)
 Scale: 1"=10'
 0 5 10 15 20 25 FEET

1-12-26
 DATE DANIEL A. OJALA, P.E., P.L.S.

VARIANCES REQUESTED UNDER DENNIS REG. 16.B:
 VARIANCE REQUESTED TO ALLOW THE ADDITION/ALTERATION/NEW CONSTRUCTION OF HABITABLE SPACE IN AN ENVIRONMENTALLY SENSITIVE AREA.

VARIANCES REQUESTED UNDER TITLE 5: & DENNIS REG. 9:

- VARIANCE OF 7.9' REQUESTED FROM THE 10' SEPARATION REQUIREMENT FROM THE SEPTIC TANK TO THE PROPERTY LINE.
- VARIANCE OF 8' REQUESTED FROM THE 10' SEPARATION REQUIREMENT FROM THE SEPTIC TANK TO THE FOUNDATION.
- VARIANCE OF 1' REQUESTED FROM THE 1' SEPARATION REQUIREMENT BETWEEN THE INLET AND OUTLET TEES AND HIGH GROUNDWATER (BOOTS PROVIDED)

508-362-4541
 downcape.com @
down cape engineering, inc.
 civil engineers
 land surveyors
 939 Main Street (Rte 6A)
 YARMOUTHPORT MA 02675

SURVEY: OAH
 DRAFTED BY: CJF/PJT
 CHECKED BY: DP
 25-268 PREVITE.DWG

H-20 1500 GAL. FAST ST WEIGHS 13,750 LBS
 3.35 x 10.17 x 6.08 X 62.4 = 12,926 LBS UP (OK)

SCALE 1"=2000'±

ASSESSORS MAP 15 PARCEL 33

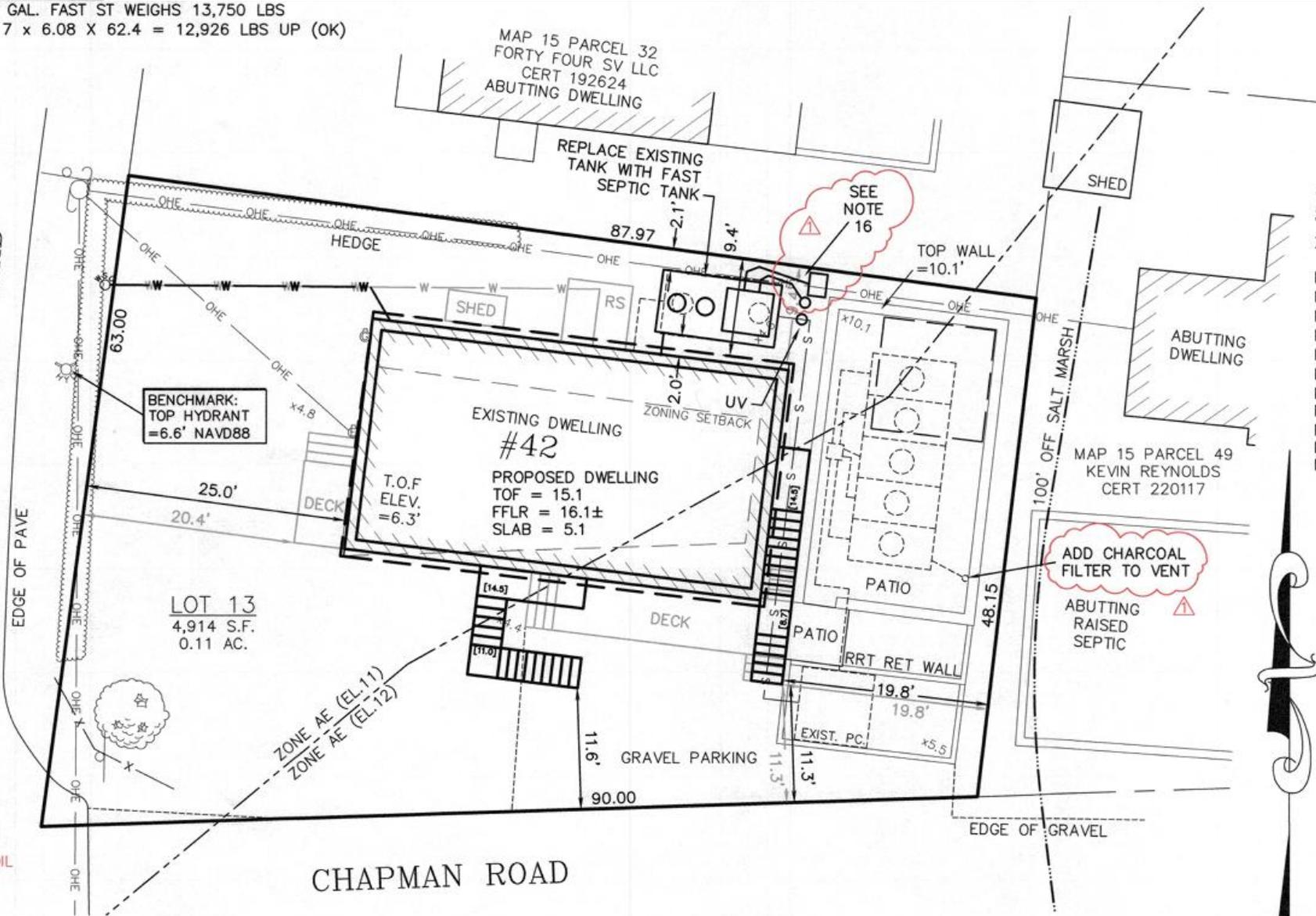
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SOUTH VILLAGE ROAD



SITE PLAN
 OF
42 SOUTH VILLAGE ROAD
WEST DENNIS, MA

PREPARED FOR
DOMENIC PREVITE

DATE: NOVEMBER 17, 2025
 REV: JANUARY 12, 2026 (BOH COMMENTS ▲)
 Scale: 1" = 10'

VARIANCES REQUESTED UNDER DENNIS REG. 16.B:
 VARIANCE REQUESTED TO ALLOW THE ADDITION/ALTERATION/NEW CONSTRUCTION OF HABITABLE SPACE IN AN ENVIRONMENTALLY SENSITIVE AREA.



SEE THE FOLLOWING INSPECTIONS:

SOUTH VILLAGE ROAD

EDGE OF PAVE

BENCHMARK:
TOP HYDRANT
= 6.6' NAVD88

LOT 13
4,914 S.F.
0.11 AC.

ZONE AE (EL.11)
ZONE AE (EL.12)

CHAPMAN ROAD

REPLACE EXISTING
TANK WITH FAST
SEPTIC TANK

SEE
NOTE
16

TOP WALL
= 10.1'

EXISTING DWELLING
#42

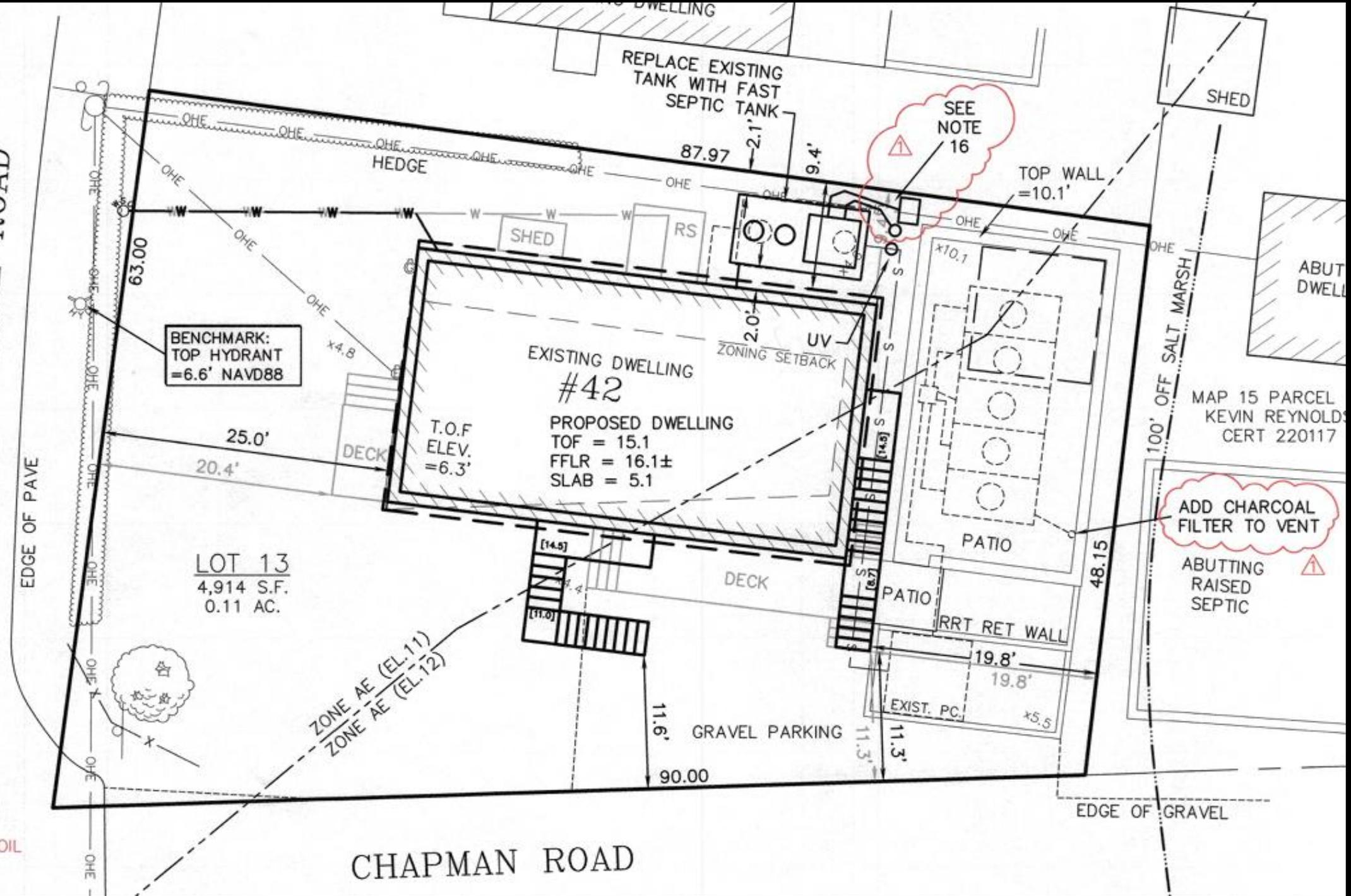
PROPOSED DWELLING
TOF = 15.1
FFLR = 16.1±
SLAB = 5.1

T.O.F
ELEV.
= 6.3'

ADD CHARCOAL
FILTER TO VENT

ABUTTING
RAISED
SEPTIC

MAP 15 PARCEL
KEVIN REYNOLDS
CERT 220117





A.M.P.M DESIGN

CUSTOM BUILDING DESIGN

www.ampm.design
508-400-6093
amandac@ampm.design

CONSULTANTS

THESE PLANS ARE NOT TO BE USED FOR PERMITTING OR CONSTRUCTION PURPOSES UNLESS MARKED AS "PERMIT SET" OR "CONSTRUCTION SET"

WORDS A.M.P.M DESIGN, THE DRAWINGS AND ALL OF THE IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INDICATED THEREON OR REPRESENTED THEREBY ARE OWNED BY AND REMAIN THE PROPERTY OF A.M.P.M DESIGN. NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, EXCEPT WITH SPECIFIC WRITTEN PERMISSION OF THE FIRM A.M.P.M DESIGN.

PREVITE

42 S. VILLAGE ROAD
WEST DENNIS
MA

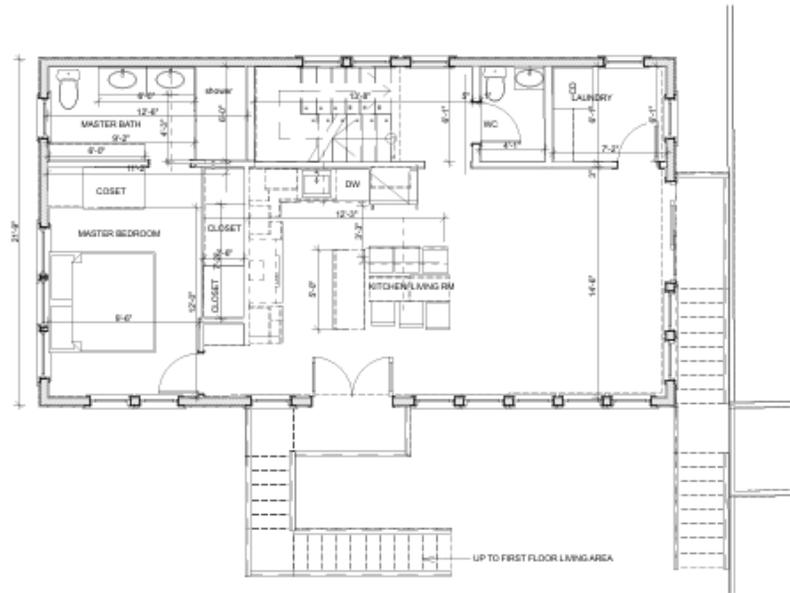
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07.15.2025	REVIEW
11.15.2025	REVIEW
01.08.2026	
01.14.2026	

PROJECT NO: [Project No.]
MODEL FILE:
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DRAWN BY: CAD Technician Full Name
COPYRIGHT:

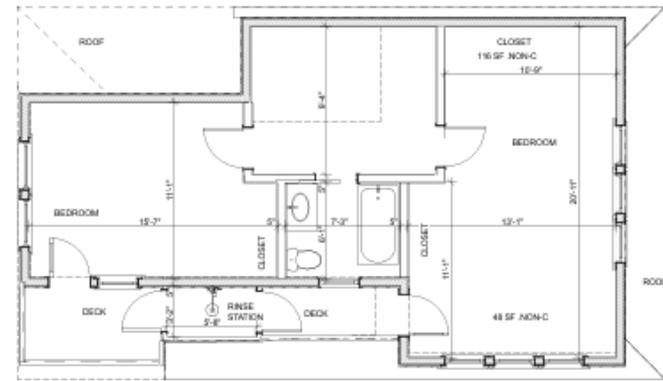
SHEET TITLE

First Floor Plan-
OPTION1

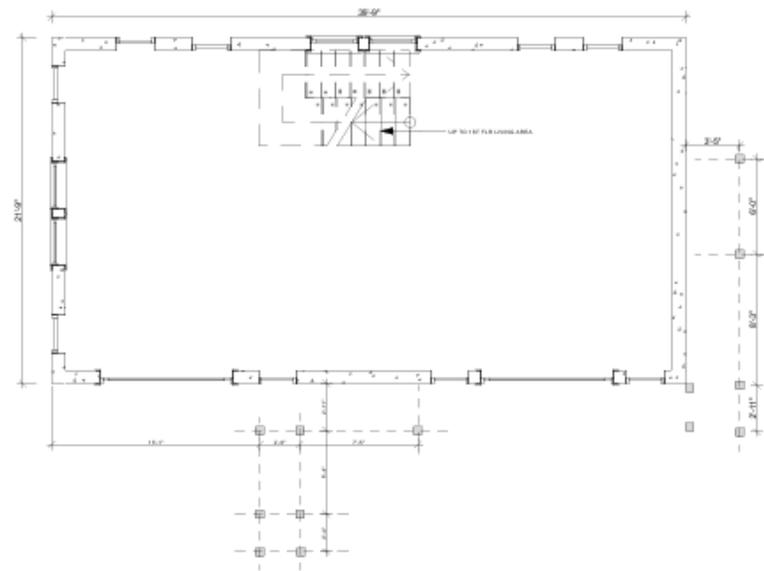
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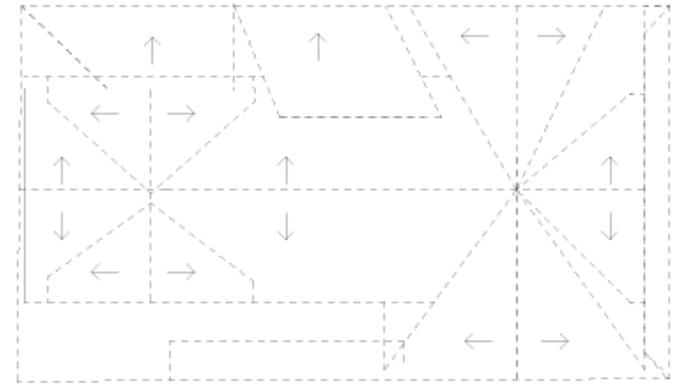
2 First Floor Plan
SCALE 1/4" = 1'-0"



3 Second Floor Plan
SCALE 1/4" = 1'-0"



1 FOUNDATION
SCALE 1/4" = 1'-0"



4 ROOF
SCALE 1/4" = 1'-0"



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www.amprm.design
508-400-4093
amandac@amprm.design

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PREVITE

42 S. VILLAGE ROAD
WEST DENNIS
MA

07.10.2025	REVIEW
07.15.2025	REVIEW
11.15.2025	REVIEW
01.06.2026	
01.14.2026	

PROJECT NO: Project No.
MODEL FILE:
42 S. Village Road - 0206.rvt
DRAWN BY: CAD Technician Full Name
COPYRIGHT:

SHEET TITLE

Exterior Elevations

A-201

SHEET 34

OF 48



1 North Elevation
SCALE: 1/4" = 1'-0"



2 East Elevation
SCALE: 1/4" = 1'-0"



3 South Elevation
SCALE: 1/4" = 1'-0"



4 West Elevation
SCALE: 1/4" = 1'-0"



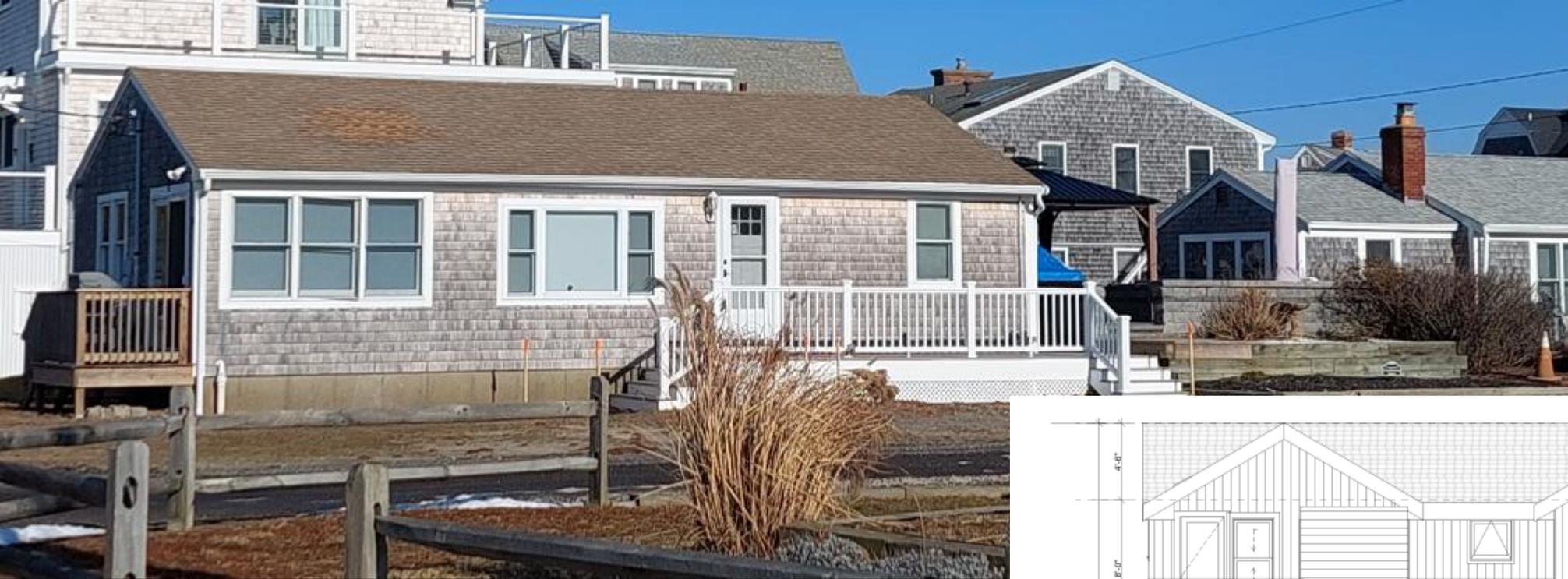
3 South Elevation

SCALE: 1/4" = 1'-0"



4 West Elevation

SCALE: 1/4" = 1'-0"



3 South Elevation
SCALE: 1/4" = 1'-0"



1 North Elevation

SCALE: 1/4" = 1'-0"



2 East Elevation

SCALE: 1/4" = 1'-0"



**TOWN OF DENNIS
BUILDING DEPARTMENT
ZONING REFERRAL LETTER
685 Route 134, South Dennis, MA 02660
(508) 760-6157**

PERMIT NUMBER:
ZDET-26-2
DATE OF REFERRAL:
January 9, 2026
FEES PAID:
\$50.00

OWNERS NAME: PREVITE DOMENIC
PROPERTY ADDRESS OF WORK: 42 SOUTH VILLAGE ROAD, WEST DENNIS, MA, 02670
MAP & PARCEL: 15-33-0
DETERMINATION OF REFERRAL: Zoning Board of Appeals (ZBA) Special permit required per 2.4.1.2.(c.2) for a raze and replace on a non-conforming lot.

ISSUED BY:

DESCRIPTION OF WORK BY APPLICANT:
Applicant seeks to raze a preexisting nonconforming single-family dwelling and replace with a flood compliant, less nonconforming, two-story single-family dwelling.