

February 16, 2026

Dennis Zoning Board of Appeals
Dennis Town Hall
685 Route 134
South Dennis, MA 02660

RE: 247-255 Lower County Road, Dennisport, Massachusetts. SP 4.9

On behalf of Sand Dollar Customs, LLC, the applicant, BSC Group, Inc. is requesting a Special Permit to raise two buildings 3 feet and set on new foundation walls to conform to FEMA requirements. A change of use from two commercial buildings to 4 residential units is requested

The applicant requests the Planning Board approve the Special Permit under Section 4.9 (to encourage Affordable Housing) with the following waivers

1. **Section 2.3.4.1 b:** *10-foot perimeter buffer. "An area not less than ten (10) feet in width measured from and perpendicular to the lot line around the perimeter of the lot shall be landscaped with grass, trees, shrubs or other plants..."* The current site conditions have bituminous concrete up to the property line and no buffer plantings. A sizable amount of paving is to be removed and replanted as depicted on the site plan.
2. **Section 2.3.4.2 a:** *Lot Size. In R60, R40, RR, LB GCII and GCIII Zoning Districts: Two (2) or more principal residential structures may be erected on the same lot, provided the minimum lot area, width and frontage shall be the sum of the requirements for each principal residential structure for the district in which the lot is located and provided further that the minimum distance between said buildings shall be thirty (30) feet, all the requirements of §2.3.2, Intensity and Use Schedule, are met, and site plan review is obtained pursuant to Section 4.1.1. By allowing the intensity of use to revert back to the 4 residential units that were previously on site one of the units will be affordable*

Section 3.1. – Parking Requirements

3. **§ 3.1.5.2** *"No parking or loading area shall be located within twenty (20) feet of a street line and ten (10) feet from a side or rear property line..."* Currently the parking is partially on the property and off the property into the street line. This alignment will get all parking on the locus by 1'.
4. **§ 3.1.5.3** *"No parking area serving a multi-family dwelling shall be located in any required yard setback."* Currently the parking area is partially on the property and off the property and into the R.O.W. This alignment will get all parking on the locus by 1'.
5. **§ 3.1.6.1** *"A parking area or loading area shall be designed to provide for adequate backing and turning movements and to eliminate the need to back a vehicle out onto any public or private street or way, excluding single family dwellings."* By changing to the proposed alignment there

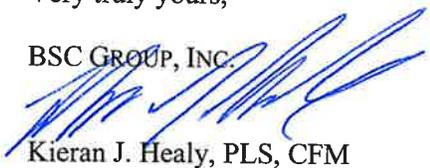
will be no need to reverse onto Lower County Road as there will be adequate turning radius on site.

6. **§ 3.1.6.2** *“Parking and loading areas shall be graded, surfaced with a non-dusting material, drained and suitably maintained to the extent necessary to avoid the nuisance of dust or erosion. The parking lot shall be designed such that no surface water is allowed to flow onto streets or adjoining property.”* The parking area is designed to drain into the site and not into Lower County Road.

7. **§ 3.1.6.6** *“Parking areas containing more than five (5) spaces shall include or be bordered within five (5) feet of the spaces by at least one (1) tree of three-inch (3") caliper, measured six inches (6") off the ground for each five (5) spaces...”* There is no space for trees between the property line and edge of parking. Two trees are proposed in the areas of bituminous removal near the intersection of Lower County Road and Shaf Hole Road. Other shrubs are also proposed for the property as depicted on the attached site plan.

If we can be of any further help on this matter, please call The BSC Group at (508) 778-8919.
Very truly yours,

BSC GROUP, INC.



Kieran J. Healy, PLS, CFM
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